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CITY OF PITTSBURG, KANSAS
COMMISSION AGENDA
Tuesday, June 28, 2022
5:30 PM

CALL TO ORDER BY THE MAYOR:

- a. Flag Salute Led by the Mayor
- b. Public Input

CONSENT AGENDA:

- a. Approval of the June 14, 2022, City Commission Meeting minutes.
- b. Approval of the application submitted by Harold Leroy Smith for a Cereal Malt Beverage License for the annual celebration to honor the life of Brandon Smith to be held at the Frisco Event Center (210 East 4th Street) from 5:00 p.m. until 11:00 p.m. on Saturday, July 30th, 2022, and authorize the City Clerk to issue the license.
- c. Approval of staff request to submit an application to the Kansas Housing Resources Corporation's (KHRC) Tenant Based Rental Assistance (TBRA) program for a grant in the amount of \$100,000 to be used to provide security deposit assistance to income eligible households and authorization for the Mayor to sign the appropriate documents on behalf of the City.
- d. Approval of the Appropriation Ordinance for the period ending June 28, 2022, subject to the release of HUD expenditures when funds are received.

ROLL CALL VOTE.

PUBLIC HEARING:

- a. PUBLIC HEARING - The City of Pittsburg advertised for a Public Hearing to be held on Tuesday, June 28, 2022, at 5:30 p.m., in the City Commission Room, located in the Law Enforcement Center at 201 North Pine, to consider an appeal of the Planning Commission/Board of Zoning Appeals' decision to deny the Petition for a Conditional Use Permit to allow a communications tower at 401 Thomas. **Approve or disapprove the ruling of the Planning Commission/Board of Zoning Appeals.**

CITY OF PITTSBURG, KANSAS
COMMISSION AGENDA
Tuesday, June 28, 2022
5:30 PM

SPECIAL PRESENTATION:

- a. ECONOMIC DEVELOPMENT QUARTERLY REPORT - Director of Economic Development Blake Benson, and Pittsburg State University Director of External Engagement Chad Mishmash, will present the quarterly Economic Development Report. **Receive for file.**

CONSIDER THE FOLLOWING:

- a. IMAGINE PITTSBURG/GROW PITTSBURG REQUEST - Consider the recommendation of the Economic Development Advisory Committee (EDAC) to allocate \$150,000 from the Revolving Loan Fund (RLF) for start-up costs that would allow Imagine Pittsburg to establish "Grow Pittsburg", a new Community Development Corporation (CDC), to support development projects in our community. **Approve or disapprove the recommendation.**
- b. 4th OF JULY FIREWORKS DISPLAY CONTRACT - Consider staff recommendation to utilize City funds in the amount of \$18,700 for the annual 4th of July fireworks show to be provided by J and M Displays, Inc. **Approve or disapprove the recommendation.**

NON-AGENDA REPORTS & REQUESTS:

ADJOURNMENT

OFFICIAL MINUTES
OF THE MEETING OF THE
GOVERNING BODY OF THE
CITY OF PITTSBURG, KANSAS
June 14, 2022

A Regular Session of the Board of Commissioners was held at 5:30 p.m. on Tuesday, June 14, 2022, in the City Commission Room, located in the Law Enforcement Center, 201 North Pine, with Mayor Cheryl Brooks presiding and the following members present: Dawn McNay, Chuck Munsell, and Ron Seglie. Commissioner Stu Hite participated in the meeting by phone.

Mayor Brooks led the flag salute.

274th BIRTHDAY OF THE UNITED STATES ARMY – Commissioner Seglie announced that today is the 274th birthday of the United States Army.

INVOCATION – Pete Mayo, on behalf of Ascension Via Christi Health, provided an invocation.

PARKING ORDINANCES – John Lair, 1608 North Joplin, encouraged the City to enforce the City's traffic Ordinances restricting vehicles from being parked on sidewalks and on the wrong side of City streets.

EXPLORE CRAWFORD COUNTY – JEFFERSON HIGHWAY ASSOCIATION RECOGNITION - Chris Wilson, representing Explore Crawford County, presented Mayor Brooks with an Outstanding City Award from the Jefferson Highway Association for leadership in preserving the history and heritage of the Jefferson Highway.

LIONS CLUB – Pittsburg Lions Club President Lori Horton, 222 North Highland, thanked the sponsors and vendors that participated in the recent Lions Club State Conference that was held in Pittsburg at Memorial Auditorium. Ms. Horton thanked Memorial Auditorium staff members Kyle, Jess, Olivia and Gabe for their assistance and hospitality during the conference.

APPROVAL OF MINUTES – On motion of Munsell, seconded by McNay, the Governing Body approved the May 24, 2022, City Commission Meeting minutes as presented. Motion carried.

LAND BANK BOARD OF TRUSTEES APPOINTMENT – On motion of Munsell, seconded by McNay, the Governing Body appointed Dane Arck to a first three-year term as a member of the Land Bank Board of Trustees effective immediately and concluding on December 31, 2024. Motion carried.

KANSAS HOUSING RESOURCES CORPORATION - GRANT APPLICATION – On motion of Munsell, seconded by McNay, the Governing Body authorized staff to submit an application to the Kansas Housing Resources Corporation's (KHRC) Emergency Solutions Grant (ESG) program for a grant in the amount of \$69,500 to be used for homeless prevention and rapid rehousing, and authorized the Mayor to sign the necessary documents on behalf of the City. Motion carried.

OFFICIAL MINUTES
OF THE MEETING OF THE
GOVERNING BODY OF THE
CITY OF PITTSBURG, KANSAS
June 14, 2022

APPROPRIATION ORDINANCE – On motion of Munsell, seconded by McNay, the Governing Body approved the Appropriation Ordinance for the period ending June 14, 2022, subject to the release of HUD expenditures when funds are received with the following roll call vote: Yea: Brooks, Hite, McNay, Munsell and Seglie. Motion carried.

KANSAS STATE HISTORIC PRESERVATION OFFICE – GRANT ACCEPTANCE – On motion of McNay, seconded by Munsell, the Governing Body accepted a grant in the amount of \$16,000 from the Historic Preservation Fund for the Off Broadway Survey, pending allocation of federal funds to the Kansas State Historic Preservation Office for federal fiscal year 2022, and authorized the Mayor to sign the necessary documents on behalf of the City. Motion carried.

Commissioner McNay requested that Quentin Holmes, Director of Community Development and Housing, provide an update on both the On Broadway Survey and the Off Broadway Survey at a future City Commission Meeting

CHANGE ORDER NO. 1 – NORTH WATER TOWER BLAST & PAINT PROJECT – On motion of Munsell, seconded by McNay, the Governing Body approved Change Order No. 1 to the North Water Tower Blast & Paint Project, for structural modifications to include the addition of a 30" shell manway and an interior ladder, reflecting an increase of \$16,000.00 to the contract with Utility Service Co, Inc., bringing the overall contract amount to \$303,000.00 and to increase the number of working days by ten, and authorized the Mayor to sign the Change Order on behalf of the City. Motion carried.

COMMISSIONER STU HITE - Mayor Brooks noted that Commissioner Stu Hite is participating in the meeting this evening by phone.

PITTSBURG STATE UNIVERSITY KELCE COLLEGE OF BUSINESS ECONOMIC RESEARCH PROPOSAL – On motion of McNay, seconded by Seglie, the Governing Body approved the recommendation of the Economic Development Advisory Committee (EDAC) to support the Pittsburg State University Kelce College of Business Economic Research Proposal at an investment level of \$25,000 to fund the project for one year, and authorized the Mayor to sign the appropriate documents on behalf of the City. Motion carried with Commissioner Hite abstaining due to his employment with Pittsburg State University.

COMEAU JEWELRY COMPANY REQUEST – On motion of Hite, seconded by McNay, the Governing Body approved the recommendation of the Economic Development Advisory Committee (EDAC) to grant the request submitted by Comeau Jewelry Company, for an allocation of up to \$70,000 in funding to be used specifically to offset a portion of the anticipated infrastructure costs to support the Comeau Jewelry Company construction project at 525 South Broadway. Motion carried.

OFFICIAL MINUTES
OF THE MEETING OF THE
GOVERNING BODY OF THE
CITY OF PITTSBURG, KANSAS
June 14, 2022

SCHNELLE SM, INC. REQUEST – On motion of Munsell, seconded by Hite, the Governing Body approved the recommendation of the Economic Development Advisory Committee (EDAC) to grant the request submitted by Schnelle SM, Inc., for an allocation of up to \$60,000 in funding to be used specifically to offset a portion of the anticipated infrastructure costs to support the Fireplace Creations construction project located at 4th and Highland. Motion carried.

JMAC QOZ BUSINESS II, LLC - PAYMENT DEFERRAL REQUEST – On motion of McNay, seconded by Brooks, the Governing Body approved the recommendation of the Economic Development Advisory Committee (EDAC) to grant the request submitted by JMAC QOZ Business II, LLC, for a six-month deferral on the repayment of their loan to support the Villas at Creekside project, adjusting the payment schedule to reflect a first payment due on November 1, 2022, and authorized the Mayor to sign the appropriate documents on behalf of the City. Motion carried.

3P DEVELOPMENT GROUP, LLC REQUEST – On motion of McNay, seconded by Seglie, the Governing Body approved the recommendation of the Economic Development Advisory Committee (EDAC) to grant the request submitted by 3P Development Group, LLC, for an allocation of up to \$250,000 in funding to be used specifically for the reimbursement of infrastructure-related costs associated with the Sunflower Estates project located on North Home Street near Meadowlark Elementary School. Motion carried.

ORDINANCE NO. G-1338 – On motion of Seglie, seconded by Munsell, the Governing Body adopted Ordinance No. G-1338, amending Sections 6-190 through 6-195 and Section 6-197 of the Pittsburg City Code to authorize the possession and consumption of Cereal Malt Beverage within the Common Consumption Area boundaries, and authorized the Mayor to sign the Ordinance on behalf of the City. Motion carried.

EARLES ENGINEERING & INSPECTION - CONSULTANT AGREEMENT – On motion of Seglie, seconded by Brooks, the Governing Body authorized staff to enter into a Consultant Agreement with Earles Engineering & Inspection, of Pittsburg, Kansas, for engineering services associated with the Manhole 7b-13A sewer lining project, with engineering fees not to exceed \$26,800.00, with the estimated project cost of \$448,000.00 to be paid using the Wastewater Collections Operating Fund, and authorized the Mayor and City Clerk to sign the Consultant Agreement on behalf of the City. Motion carried.

NON-AGENDA REPORTS AND REQUESTS –

DUSTROL, INC. – On motion of Hite, seconded by McNay, the Governing Body accepted a proposal submitted by Dustrol, Inc., in the amount of \$72,703.19, for mobilization, cold milling, and related hauling services for five street projects within the City. Motion carried.

OFFICIAL MINUTES
OF THE MEETING OF THE
GOVERNING BODY OF THE
CITY OF PITTSBURG, KANSAS
June 14, 2022

PUBLIC INPUT RESPONSE – Commissioner Seglie stated that John Lair brought up a good point during Public Input regarding parking. Discussion was held regarding the enforcement of parking violations. Commissioner Seglie suggested Police Officers apply stickers to the windshields of illegally parked vehicles, as a way of notifying the vehicle owners of the violations.

ADJOURNMENT: On motion of McNay, seconded by Munsell, the Governing Body adjourned the meeting at 6:54 p.m. Motion carried.

Cheryl L. Brooks, Mayor

ATTEST:

Tammy Nagel, City Clerk

INTEROFFICE MEMORANDUM

To: Tammy Nagel, City Clerk
From: Megan Keener, Housing Manager
CC: Quentin Holmes, Director of Community Development & Housing
Daron Hall, City Manager
Date: June 21, 2022
Subject: ***Agenda Item – June 28th, 2022***
Grant Application: Tenant Based Rental Assistance (TBRA to provide security deposit assistance to income eligible households)

The City of Pittsburg is requesting approval to submit a grant application for the 2022 Tenant Based Rental Assistance (TBRA) program, made available through the Kansas Housing Resource Corporation (KHRC) in the amount of \$100,000. The program funds will provide an estimated 270 extremely low-low income households with security deposit assistance. Our office will help with security deposit equal to for one month of rent, with a maximum grant amount of \$700 to each household. The grant funds will be available to income qualifying applicant within the city limits of Pittsburg and are paid directly to the property owners.

The administration funding to administer the TBRA program is 7% of the grant award. The grant award amount of \$100,000 would provide administration funding in the amount of \$7,000 distributed over the three-year grant period.

The City of Pittsburg Public Housing Agency under the department of Community Development & Housing has been an administrator of the TBRA program a total of twelve grant periods, with the most recent award of \$100,000 in 2021. We are currently working with the funds from the 2019 & 2020 TBRA grant and we have assisted 223 families so far with security deposit assistance.

Please place this item on the Commission agenda for approval to submit the grant application to the Kansas Housing Resource Corporation, and to sign all required certifications.

Respectfully Submitted,



Megan Keener

Housing Manager, Community Development & Housing

KANSAS HOUSING

Tenant Based Rental Assistance 2022 Application

2022 TBRA Applicants:

For the 2022 TBRA application round, the amount of funding that a grantee may apply for is \$400,000. The administration will be awarded as 7% above the granted amount; however, 2022 contracts will not pay administration funds that are not drawn during the grant period. Unexpended admin funds may be converted to subsidy, at KHRC's discretion.

Additionally, the maximum number of months for a set up/tenant will be 12 months. As usual, tenants are eligible for recertification at the 12-month mark.

Eligible Applicants

HOME Program funds for the Tenant Based Rental Assistance program will be made available through a competitive application process. Eligible entities are local units of government, public housing authorities, and non-profit agencies. Applicants must have demonstrated experience managing a tenant based rental assistance program.

TENANT BASED RENTAL ASSISTANCE (TBRA)

2022 APPLICATION

AVAILABLE FUNDING: \$1,600,000

Applicant/Agency: City of Pittsburg, Kansas

A. Application Process

1. Submittal Requirements

The Kansas Housing Resources Corporation (KHRC) must receive **one original** of the application before 4:00 p.m. on Thursday June 30, 2022. An acknowledgment (receipt) will be provided upon request. Applications submitted via mail or other delivery system should be sent using that company's return receipt process, as this will be your notice that the application has been received. Submit the application package to:

Kansas Housing Resources Corporation
Attn: TBRA Program Manager
611 S. Kansas Avenue, Suite 300
Topeka, Kansas 66603-3803

2. Eligible Applicants

HOME Program funds for the Tenant Based Rental Assistance program will be made available to local units of government, public housing authorities, and non-profit agencies on a competitive basis. Applicants must have demonstrated experience managing a tenant based rental assistance program.

3. Standard Application Forms

In an effort to provide the required information to the review team, to reduce required paperwork, and to encourage all eligible applicants to participate, only applications on standard forms will be considered. A complete set of forms must be submitted.

B. Application Instructions

1. Applications must include the following:

- Funding Summary (form provided in Application)
- Statement of Assurances and Certifications (form provided in Application)
- Narratives – Project Need and Project Impact
- Budget Worksheet
- Administrative Plan, **must include Violence Against Women Act (VAWA) procedures if applying for a subsidy program**

2. The applicants should review the entire application form and instructions before beginning to prepare the application. Applicants must submit one original of the application.

3. Only information received by the Kansas Housing Resources Corporation prior to the application deadline will be considered in the selection process. Failure to submit required information will be grounds for rejection of the application.

C. Ratings Criteria (750 Points Maximum)

1. Project Need (300 points maximum)

Applicants will receive up to 300 points based on comparison with other TBRA Project Need descriptions according to the following criteria: The application should provide identification and documentation of how the level of need for the TBRA request was determined by the applicant. Information should include the number of families on the current waiting list, the number of families currently receiving assistance, the total population and per capita income of the community, the proposed program tenants who fall at or below 30% of the median income, the proposed number of homeless, disabled, elderly, or single parent households, and those paying over 50% of their income for rent.

2. Project Impact (300 points maximum)

Applicants will receive up to 300 points based on comparison with other TBRA Project Impact descriptions according to the following criteria: The applicant must describe how the program design addresses the identified need, how this program will enhance the community, and how this program will further the intent of providing housing to very-low income persons. The number of Section 8 or TBRA tenants from the/a previous year who moved to a Section 8 program or to self-sufficiency should be indicated. Other measures of success for previous tenants who received rental subsidies but later moved to self-sufficiency may be indicated. If services are offered in conjunction with rental assistance (e.g., homeless case management, disability support services, etc.) those services and the populations receiving them should be described. Note that participation in offered services *cannot* be a requirement for receiving TBRA.

3. Capacity (100) Points

Administrative Plans will be evaluated. Areas reviewed will include the minimum requirements for the Administrative Plan indicated in the KHRC TBRA Policy. Points will be awarded for rental housing experience, administrative support for previous TBRA grant awards (if applicable), proposed marketing efforts to the proposed geographical area, and accuracy of reports if previous TBRA grant awards have been made. Compliance review issues for existing TBRA grantees will be considered.

4. Non-Local HOME Areas (50) Points

Applicants in non- Local HOME Participating Jurisdictions (local PJs) will receive a funding preference. Within the HOME Program, the cities of Topeka, Lawrence, Wichita, Kansas City and Johnson County are considered local PJs. Local PJs receive HUD HOME funding directly. Applicants outside of these jurisdictions will receive 50 points. (NOTE: Applications serving local HOME PJs are restricted to serving special populations as identified in the Kansas Consolidated Plan.)

TENANT BASED RENTAL ASSISTANCE FUNDING SUMMARY

APPLICANT DATA

Name of Applicant : City of Pittsburg, Kansas

Contact Person: Megan Keener, Housing Manager

Telephone/Email: Area Code (620) Telephone 230-5572 E-mail megan.keener@pittks.k

Contact Address: 216 N Broadway, Ste G

City/Zip Code: Pittsburg, KS 66762

<input checked="" type="checkbox"/>	Local government	U.S. Congressional District(s)*	<u>2</u>
<input checked="" type="checkbox"/>	Public Housing Authority (PHA)	State Senate District*	<u>12</u>
<input type="checkbox"/>	Non-Profit	State Representative District*	<u>3</u>
<input type="checkbox"/>	For-profit	*Districts for agency city/county location only	

	TBRA Proposed Activities	Total Proposed Households	(UNITS)
<input type="checkbox"/>	Rental Subsidies	Rental Subsidy	<u> </u>
<input checked="" type="checkbox"/>	Security Deposits	Security Deposit Subsidy	<u>270</u>
<input type="checkbox"/>	Utility Deposits*	Utility Deposit Subsidy*	<u> </u>

**Utility Deposit cannot be used as a stand-alone activity. Must be utilized with rental subsidy, security deposit subsidy, or both.*

Total funding requested \$ 100,000

Has applicant previously been awarded a HOME Grant?						Yes <input type="checkbox"/>		No <input type="checkbox"/>	
Year	2021	\$ 100,000	Year	2020	\$ 90,000	Year	2019	\$ 100,000	
Year	2018	\$ 100,000	Year	2017	\$ 100,000	Year	2015	\$ 100,000	
FUNDING HISTORY-MOST RECENT TBRA GRANT (IF APPLICABLE)*									
Check if not APPLICABLE <input type="checkbox"/>									
data for grant award <u>2020</u> (Provide Grant Year)* January 1-December 31 <u>2020</u> (List Year)* (DATA BELOW FOR ONE CALENDAR YEAR JANUARY -DECEMBER AND ONE GRANT AWARD ONLY)*									
Total Tenant Households (UNITS) Served to Date from ONE Grant Award FOR ONE Calendar Year (Only)								<u>25</u>	
Average TBRA Rental Subsidy Paid Per Unit			\$ <u> </u>		Total Household UNITS Receiving Rental Subsidies			(Total Number) <u> </u>	
Average TBRA Security Deposit Paid Per Unit			\$ <u>500</u>		TOTAL HOUSEHOLD UNITS Receiving Security Deposit Subsidies			(Total Number) <u>25</u>	
Average TBRA Utility Deposit PAID PER UNIT (Provided with Rental Subsidy and/or Security deposit)			\$ <u> </u>		TOTAL Household UNITS Receiving Utility Deposit Subsidies			(Total Number) <u> </u>	

Project Summary

Please provide a brief description of the project. Describe how the proposed project is consistent with the Consolidated Plan. (See "Certification of Consistency" or "How to Use the Plan.")

Please see TBRA Attachments

Please provide your TBRA Tenant Selection Policy (24 CFR 92.209 (c) that is included in your Administrative Plan.

Please see TBRA Attachments

Estimated number of tenant **households** (total families/units) who will benefit from the proposed 2022 TBRA Program: 270

Estimated number of **persons** (including children in households) who will benefit from the proposed 2022 Program: 635

2022		
Proposed TBRA Targeted Populations		
Please indicate the proposed number of participants who you think will fall within the following categories		
Category	Number	Percent to be Served (Percentages may involve a duplicate count).
Homeless	115	23%
Single Parent Households	185	38%
Special Populations to be served, if applicable (Elderly, People with Mental Illness, SPMI, other specific disabilities.)	Specific Special Populations to be Served: <u>Elderly & Disabled</u> Numbers of each proposed Specific Special Population: <u>Elderly - 90</u> <u>Disabled - 90</u>	15%
Paying more than 30% for rent	50	10%
Paying more than 50% for rent	150	30%

Number of households currently on your waiting list for rental housing subsidy (Section 8)
180

How many months does your waiting list average? # 1

List proposed number of tenant households to be served with 2022 grant funding:

Median income to be served: 51%-60% _____ (# of households total)

31%-50% _____ (# of households total)

0%-30% _____ (# of households total)

Census Per Capita Income for proposed county(ies) (refer to www.census.gov/quickfacts/):

County Crawford Per Capita Income \$23,936 Median Income \$42,615

County _____ Per Capita Income _____ Median Income _____

County _____ Per Capita Income _____ Median Income _____

*If the applicant serves more than three counties list the three most representative counties within the area served.

Agency administering the grant. Give the experience level of the administrator. _____

Please see TBRA Attachments

PROJECT SUMMARY

TBRA HOME Program funds requested (do not include 7% Administrative Fee): \$ 100,000

Maximum amount requested cannot exceed \$400,000.

FURTHERING FAIR HOUSING

All applicants who receive a grant award must affirmatively further fair housing. Title VII and Executive Order 11063 requirements apply to all recipients, regardless of community size and/or racial/ethnic characteristics. The fair housing provisions apply to the community as a whole and pertain to the sale or rent of housing, the financing of housing, and the provision of brokerage services. **MEANINGFUL STEPS TO FURTHER FAIR HOUSING MUST BE TAKEN.** Such steps must be documented and will be monitored by the Kansas Housing Resources Corporation.

Marketing Procedures

Describe your Marketing Plan for the proposed geographical area served. Please list all area newspapers, television stations, and radio stations in your area where you plan to advertise the availability of the TBRA program. Marketing efforts must take place in all geographical service areas. Marketing via referrals only, local presentations, or exclusive use of a waiting list are not considered effective marketing techniques. Press releases must be provided (possibly e-mailed) to all media within the jurisdiction of the grantee.

	Name	City
Newspapers	The Morning Sun - The Joplin Globe	Pittsburg, KS - Joplin, MO/Region
Television Stations	KOAM/Fox 14 - KODE - KSN - City Cable	Pittsburg/Joplin - The Four State Region
Radio Stations	KKOW - KSEK	Pittsburg/The Four State Region
Other	City of Pittsburg Website & Facebook - Service Providers	Pittsburg Area

OTHER ATTACHMENTS

- ☒ A detailed project location map must be attached to each application.
- ☒ Letters of commitment indicating support for the proposed TBRA Program and/or all proposed sources of non-federal matching/leveraging funds.
- ☒ TBRA Project Budget Form.
- ☒ Housing Administrative Plan
- ☒ Uniform Grant Guidance, 2 CFR 200, Subpart F, may require nonfederal entities to have a single or program-specific audit conducted for any year in which the nonfederal entity expends \$750,000 or more combined from all federal sources. Medicare and Medicaid are not considered federal awards. A copy of the applicant agency's latest fiscal year's audit including findings must be included with the TBRA application.
- ☐ Check here if audit report is not required due to applicant agency expending less than \$750,000 annually in federal funding.

Applicant: City of Pittsburg, Kansas

CERTIFICATIONS

The applicant certifies that the information contained in the Application Summary is true and correct and the appropriate governing body has duly authorized the document. The applicant agrees that, if approved, this, with the attached Certifications, will become a part of the agreement for activities and services authorized under the HOME Investment Partnerships Program.

Name: Cheryl Brooks
Title: Mayor, City of Pittsburg
Date: June 28, 2022

Name: Quentin Holmes
Title: Director of CD & Housing
Date: June 28, 2022

Signature: _____

Signature: _____

Signature of Chief Elected Official

Date

If the applicant is a non-profit entity and not a local unit of government, the Executive Director and a Board member must sign the application.

Name: _____
Title: _____
Date: _____

Name: _____
Title: _____
Date: _____

Signature of Executive Director

Date

Signature of Board Member

Date

City of Pittsburg, Kansas

TENANT BASED RENTAL ASSISTANCE BUDGET WORKSHEET

2022 PROPOSED BUDGET FOR <u>ESTIMATED</u> PROGRAM HOUSEHOLDS		Number of Bedrooms				
	1	2	3	4	5+	
(1) Estimated Housing Cost (equals HUD FMR payment standard for county served. If more than one county is served use the FMR for one county in your jurisdiction)						
(2) Average Monthly Adjusted Income x 0.30						
(3) Est. Monthly Subsidy Cost [(1) minus (2)]						
(4) Enter number of months (24 months)						
(5) Total Per Household Cost [(3) x (4)]						
(6) Enter estimated number of families (households) to be assisted						
(7) Basic Cost by BR Size [(5) x (6)]						
(8) Per Household Security Deposit Cost	\$600	\$850	\$1,000	\$1,200	N/A	
(9) Estimated Number of Security Deposit Households	95	80	60	5	N/A	
(10) Total Estimated Per Household Security Deposit cost [(8) x (9)]	\$57,000	\$68,000	\$60,000	\$6,000	N/A	
(11) Per Household Utility Deposit Cost						
(12) Estimated Number of Utility Deposit Households (utility deposits must be provided with either rental subsidies or security deposits. They are not a "stand alone" activity)						
(13) Total Utility Deposit Costs [(11) x (12)]						
(14) Total Security and Utility Deposit Costs [(10) + (12)]	\$57,000	\$68,000	\$60,000	\$6,000	N/A	
(15) Total Cost by BR Size [(7) + (13)]						
(16) Total Estimated Cost (Add all costs in Row (14) Do not include 7% Administrative Fee Provided by KHRC						\$191,000

Applicant: City of Pittsburg, Kansas

**TENANT BASED RENTAL ASSISTANCE
PROJECT NARRATIVES**

The following describes the criteria and information for an applicant to apply for 2022 HOME TBRA funds. All applicants shall complete the HOME Funding Summary. The remainder of the application shall consist of four sections: (1) Project Need, (2) Project Impact, (3) Capacity, (4) Map/description of geographical jurisdiction served. Narratives for these sections shall be typed on standard letter-sized paper with appropriate headings and subcategories.

1. Project Need – Applicants must identify and document the need in the community or jurisdiction for TBRA. Information in the narrative should include the following:
 - a. Per capita income from the U.S. census for the city/county jurisdiction served. Reference: www.quickfacts.census.gov.
 - b. Number of families on the current waiting list for housing assistance in the community and the approximate amount of time a family waits on the list to be assisted.
 - c. Tenant data-Number of families to be served who are below 50% of the area Median Income, homeless or rent burdened (paying more than 50% of their income for rent or paying more than 30% of their income for rent).
 - d. Description of any special population needs within the geographic area (elderly, disabled, handicapped, etc.)
 - e. Number and percentage of homeless and single-parent households in applicant's service area.
 - f. Description of any other rental subsidy program(s) operating in the service area.
2. Project Impact – Applicants must describe how TBRA addresses the needs described in the Project Need narrative. Information should include:
 - a. The number of households (families) and total number of individuals including children as well as a list of specific counties that will receive the proposed assistance.
 - b. Timeline describing the initial distribution of assistance to the final commitment of funds during the proposed three-year grant award funding.
 - c. Description of the plan for continued assistance for families after the end of the program (Section 8, self-sufficiency, etc.)
 - d. List impact (self-sufficiency) in terms of tenants who have moved in a previous year from the TBRA program to Section 8 or who no longer qualify for assistance due to an increase in income level.
 - e. Description of other methods to be used to measure the success of the program.

3. Capacity

- a. Administrative Plan –The Plan must be attached and must meet minimum standards established in the KHRC TBRA Policy.
- b. Rental Housing Capacity- The agency must have administrative support for the program, a history of rental housing administration and a proposed marketing plan that covers the geographical jurisdiction and is not limited to agency referrals, local presentations, etc. If applicant is a previous TBRA grantee, compliance issues and attempts to resolve issues should be described.

4. Non-Local HOME Area

- a. A map of the jurisdiction served must be provided.
- b. Applicants serving areas outside Local HOME Participating Jurisdictions (local PJs) will receive a funding preference. The cities of Topeka, Lawrence, Wichita, and Kansas City, and Johnson County are considered local PJs. Applicants outside of these jurisdictions will receive 50 points. (NOTE: Applications serving local PJs are restricted to serving special populations, as identified in the Kansas Consolidated Plan.)

Statement of Assurances & Certifications

The grantee hereby assures and certifies with respect to the grant that:

1. It possesses legal authority to make application and to execute a housing program.
2. Its governing body has duly adopted or passed as an official act, a resolution, motion or similar action authorizing the person identified as the official representative of the grantee to submit the final statement, all understandings and assurances contained therein, and directing and authorizing the person identified as the official representative of the grantee to act in connection with the submission of the final statement, and to provide such additional information as may be required.
3. That prior to submission of its application to the Kansas Housing Resources Corporation (KHRC), the grantee has met the citizen participation requirements, prepared its application and projected use of funds, and made the application available to the public, as required by Section 104(a)(2) of the Housing and Community Development Act of 1974, as amended, and implemented at 24 CFR 570.486.
4. It has developed its final statement (application) of projected use of funds so as to give maximum feasible priority to activities that benefit low-income families.
5. Its chief executive officer or other officer of the grantee approved by the KHRC:
 - a. Consents to assume the status of a responsible federal official under the National Environmental Policy Act of 1969 and other provisions of federal law as specified in 24 CFR 58.1(a); and
 - b. Is authorized and consents on behalf of the grantee and himself/herself to accept the jurisdiction of the federal courts for the purpose of enforcement of his/her responsibilities as such an official.
6. The loan will be conducted and administered in compliance with:
 - a. Title VI of the Civil Rights Act of 1964 (Pub. L. 88-352), and implementing regulations issued at 24 CFR Part I;
 - b. Fair Housing Amendments Act of 1988, as amended, administering all programs and activities relating to housing and community development in a manner to affirmatively further fair housing; and will take action to affirmatively further fair housing in the sale or rental of housing, the financing of housing, and the provisions of brokerage service. Title VII and Executive Order 11063 requirements apply to all recipients, regardless of community size and/or racial/ethnic characteristics. The fair housing provisions apply to the community as a whole and pertain to the sale or rent of housing, the financing of housing, and the provision of brokerage services. *MEANINGFUL STEPS TO FURTHER FAIR HOUSING MUST BE TAKEN.* Such steps must be documented and will be monitored by the Kansas Housing Resources Corporation;
 - c. Section 109 of the Housing and Community Development Act of 1974, as amended, and the regulations issued pursuant thereto (24 CFR Section 570.602);
 - d. Section 3 of the Housing and Urban Development Act of 1968, as amended, and implementing regulations at 24 CFR Part 135;
 - e. Executive Order 11246, as amended by Executive Orders 11375 and 12086, and implementing regulations issued at 41 CFR Chapter 60;

- f. Executive Order 11063, as amended by Executive Order 12259, and implementing regulations at 24 CFR Part 107;
 - g. Section 504 of the Rehabilitation Act of 1973 (Pub. L. 93-112), as amended and implementing regulations when published for effect;
 - h. The Age Discrimination Act of 1975, as amended, (Pub. L. 94-135), and implementing regulations when published for effect;
 - i. The relocation requirements of Title II and the acquisition requirements of Title III of the Uniform Relocation Assistance and Real Property Acquisition Policies Act of 1970, as amended and the implementing regulations at 24 CFR 570.488;
 - j. Anti-displacement and relocations plan requirement of Section 104(d) of Title I, Housing and Community Development Act of 1974, as amended;
 - k. Relocation payment requirements of Section 105(a)(11) of Title I, Housing and Community Development Act of 1974, as amended;
 - l. The labor standards requirements as set forth in 24 CFR 92.354 and HUD regulations issued to implement such requirements;
 - m. Executive Order 11988 relating to the evaluation of flood hazards and Executive Order 11288 relating to the prevention, control, and abatement of water pollution;
 - n. The regulations, policies, guidelines, and requirements of 2 CFR 200 as it relates to the acceptance and use of federal funds under this federally assisted program; and
 - o. The American Disabilities Act (ADA) (P.L. 101-336: 42 U.S.C. 12101) provides disabled people access to employment, public accommodations, public services, transportation and telecommunications.
7. The conflict of interest provisions of 24 CFR 92.356 apply to any person who is an employee, agent, consultant, officer, or elected official or appointed official of the state, or of a unit of general local government, or of any designated public agencies, or subrecipients which are receiving funds. None of these persons may obtain a financial interest or benefit from the activity, or have an interest or benefit from the activity, or have an interest in any contract, subcontract or agreement with respect thereto, or the proceeds thereunder, either for themselves or those with whom they have family or business ties, during their tenure or for one year thereafter, and that it shall incorporate or cause to be incorporated, in all such contracts or subcontracts a provision prohibiting such interest pursuant to the purpose of this certification.
 8. It will comply with the provisions of the Hatch Act that limits the political activity of employees.
 9. It will give the state, HUD, and the Comptroller General or any authorized representative access to and the right to examine all records, books, papers, or documents related to the grant.
 10. It will comply with the lead paint requirements of 24 CFR Part 35.
 11. The local government will not attempt to recover any capital costs of public improvements assisted in whole or in part with HOME funds by assessing properties owned and occupied by low and moderate income persons unless:
 - a. HOME funds are used to pay the proportion of such assessment that related to non-HOME funding, or
 - b. The local government certifies to the state that for the purposes of assessing properties owned and occupied by low and moderate income persons who are not very low income that the local government does not have sufficient HOME funds to comply with the provision of a. above.

12. It accepts the terms, conditions, selection criteria, and procedures established by this program description and that it waives any right it may have to challenge the legitimacy and the propriety of these terms, conditions, criteria, and procedures in the event that its application is not selected for HOME funding.
13. It will comply with the regulations, policies, guidelines, and requirements with respect to the acceptance and use of federal funds for this federally assisted program.
14. It will comply with all parts of Title I of the Housing and Community Development Act of 1974, as amended, which have not been cited previously, as well as with other applicable laws.

The grantee hereby certifies it will comply with the above stated assurances.

Signature,

(Authorized local elected official if grantee is a governmental entity, or authorized Executive Director if grantee is a non-profit agency)

Cheryl Brooks

Name (typed or printed)

Mayor, City of Pittsburg

Title

City of Pittsburg/Pittsburg Public Housing Authority

Applicant Agency/Housing Authority

June 28, 2022

Date

VENDOR I.D.	NAME	STATUS	CHECK DATE	INVOICE AMOUNT	DISCOUNT	CHECK NO	CHECK STATUS	CHECK AMOUNT
C-CHECK	VOID CHECK	V	6/10/2022			191161		
C-CHECK	VOID CHECK	V	6/10/2022			191162		
C-CHECK	VOID CHECK	V	6/10/2022			191169		
C-CHECK	VOID CHECK	V	6/10/2022			191186		
C-CHECK	VOID CHECK	V	6/10/2022			191187		
C-CHECK	VOID CHECK	V	6/10/2022			191192		
C-CHECK	VOID CHECK	V	6/10/2022			191193		
C-CHECK	VOID CHECK	V	6/10/2022			191194		
C-CHECK	VOID CHECK	V	6/17/2022			191222		
C-CHECK	VOID CHECK	V	6/17/2022			191223		

* * T O T A L S * *	NO	INVOICE AMOUNT	DISCOUNTS	CHECK AMOUNT
REGULAR CHECKS:	0	0.00	0.00	0.00
HAND CHECKS:	0	0.00	0.00	0.00
DRAFTS:	0	0.00	0.00	0.00
EFT:	0	0.00	0.00	0.00
NON CHECKS:	0	0.00	0.00	0.00
VOID CHECKS:	10 VOID DEBITS	0.00		
	VOID CREDITS	0.00	0.00	
TOTAL ERRORS:	0			

VENDOR SET: 99 BANK: *	TOTALS:	NO	INVOICE AMOUNT	DISCOUNTS	CHECK AMOUNT
		10	0.00	0.00	0.00
BANK: *	TOTALS:	10	0.00	0.00	0.00

VENDOR I.D.	NAME	STATUS	CHECK DATE	INVOICE AMOUNT	DISCOUNT	CHECK NO	CHECK STATUS	CHECK AMOUNT
0224	KDOR	D	6/09/2022			000000		2,983.24
0321	KP&F	D	6/10/2022			000000		49,986.40
0728	ICMA	D	6/10/2022			000000		1,291.56
1050	KPERS	D	6/10/2022			000000		40,089.34
6415	GREAT WEST TANDEM KPERS 457	D	6/10/2022			000000		5,118.00
6952	ADP INC	D	6/17/2022			000000		9,899.87
7290	DELTA DENTAL OF KANSAS INC	D	6/10/2022			000000		2,977.90
7290	DELTA DENTAL OF KANSAS INC	D	6/17/2022			000000		3,326.42
7877	TRUSTMARK HEALTH BENEFITS INC	D	6/09/2022			000000		11,824.40
7877	TRUSTMARK HEALTH BENEFITS INC	D	6/17/2022			000000		4,143.20
8526	HEALTH PLANS, INC	D	6/10/2022			000000		4,222.78
8526	HEALTH PLANS, INC	D	6/15/2022			000000		29,378.23
8526	HEALTH PLANS, INC	D	6/21/2022			000000		11,862.58
6524	ELLIOTT EQUIPMENT COMPANY	E	6/13/2022			015537		247.43
7138	OME CORP, LLC	E	6/13/2022			015538		208.00
7791	C4 HOLDINGS LLC	E	6/13/2022			015539		195.11
7992	GILMORE & BELL	E	6/13/2022			015540		20,000.00
8205	MRI SOFTWARE LLC	E	6/13/2022			015541		955.00
8560	SOUTHERN UNIFORM AND TACTICAL,	E	6/13/2022			015542		234.97
0044	CRESTWOOD COUNTRY CLUB	E	6/13/2022			015543		390.40
0046	ETTINGERS OFFICE SUPPLY	E	6/13/2022			015544		806.37
0055	JOHN'S SPORT CENTER, INC.	E	6/13/2022			015545		292.50

VENDOR I.D.	NAME	STATUS	CHECK DATE	INVOICE AMOUNT	DISCOUNT	CHECK NO	CHECK STATUS	CHECK AMOUNT
0087	FORMS ONE, LLC	E	6/13/2022			015546		3,464.71
0133	JIM RADELL CONSTRUCTION COMPAN	E	6/13/2022			015547		5,856.85
0142	HECKERT CONSTRUCTION CO INC	E	6/13/2022			015548		2,321.85
0202	CLIFF HIX ENGINEERING INC	E	6/13/2022			015549		91.00
0276	JOE SMITH COMPANY, INC.	E	6/13/2022			015550		898.79
0292	UNIFIRST CORPORATION	E	6/13/2022			015551		69.00
0328	KANSAS ONE-CALL SYSTEM, INC	E	6/13/2022			015552		309.60
0516	AMERICAN CONCRETE CO INC	E	6/13/2022			015553		158.78
0823	TOUCHTON ELECTRIC INC	E	6/13/2022			015554		1,645.44
2707	THE LAWNSCAPE COMPANY, INC.	E	6/13/2022			015555		501.00
2960	PACE ANALYTICAL SERVICES LLC	E	6/13/2022			015556		2,999.00
2994	COMMERCIAL AQUATIC SERVICE INC	E	6/13/2022			015557		1,042.78
3802	BRENNTAG MID-SOUTH INC	E	6/13/2022			015558		4,305.00
4452	RYAN INSURANCE, LLC	E	6/13/2022			015559		4,472.00
6577	GREENSPRO INC	E	6/13/2022			015560		2,181.40
6595	AMAZON.COM, INC	E	6/13/2022			015561		26,001.60
6822	ELIZABETH BRADSHAW	E	6/13/2022			015562		652.10
6995	SUMMER WARREN	E	6/13/2022			015563		501.50
7038	SIGNET COFFEE ROASTERS	E	6/13/2022			015564		46.25
7151	QUADIENT FINANCE USA INC	E	6/13/2022			015565		1,300.00
7479	MID-AMERICA VALVE & EQUIPMENT	E	6/13/2022			015566		407.00
7629	EARLES ENGINEERING & INSPECTIO	E	6/13/2022			015567		6,962.00

VENDOR I.D.	NAME	STATUS	CHECK DATE	INVOICE AMOUNT	DISCOUNT	CHECK NO	CHECK STATUS	CHECK AMOUNT
7667	BRENT'S ELECTRIC, LLC	E	6/13/2022			015568		2,799.51
7744	DARREN L SWARTZ	E	6/13/2022			015569		115.00
7749	CHARLIE PHILLIPS	E	6/13/2022			015570		78.00
7754	WILLOW TREE WEAVING	E	6/13/2022			015571		18.00
7839	VISION SERVICE PLAN INSURANCE	E	6/13/2022			015572		1,852.20
7852	TRIA HEALTH, LLC	E	6/13/2022			015573		1,799.38
7904	MICHELLE MCCLURE	E	6/13/2022			015574		9.00
8046	CONVERGEONE, INC.	E	6/13/2022			015575		12,960.75
8206	LINDE INC	E	6/13/2022			015576		2,500.63
8238	US BANCORP GOVT LEASING & FINA	E	6/13/2022			015577		254,191.10
8246	BETHANY ANN BROOKS	E	6/13/2022			015578		412.00
8291	ELYSE MUSIL	E	6/13/2022			015579		500.00
8309	MISSISSIPPI LIME COMPANY	E	6/13/2022			015580		14,666.43
8339	TEDDER INDUSTRIES, LLC	E	6/13/2022			015581		2,878.67
8449	ENCORE ENERGY SERVICES, INC.	E	6/13/2022			015582		1,835.85
8532	YANA FELDMAN	E	6/13/2022			015583		1,265.69
8609	MIDWEST MOLD INSPECTIONS, LLP	E	6/13/2022			015584		595.00
6524	ELLIOTT EQUIPMENT COMPANY	E	6/21/2022			015636		689.26
6528	GALE GROUP/CENGAGE	E	6/21/2022			015637		328.70
7392	ASSURECO RISK MANAGEMENT & REG	E	6/21/2022			015638		350.00
8467	WASTE CORPORATION OF KANSAS, L	E	6/21/2022			015639		410.92
8528	SARANN AUTO LEASING, INC.	E	6/21/2022			015640		1,800.00

VENDOR I.D.	NAME	STATUS	CHECK DATE	INVOICE AMOUNT	DISCOUNT	CHECK NO	CHECK STATUS	CHECK AMOUNT
0044	CRESTWOOD COUNTRY CLUB	E	6/21/2022			015641		288.60
0046	ETTINGERS OFFICE SUPPLY	E	6/21/2022			015642		496.65
0054	JOPLIN SUPPLY COMPANY	E	6/21/2022			015643		3,094.17
0087	FORMS ONE, LLC	E	6/21/2022			015644		1,049.10
0101	BUG-A-WAY INC	E	6/21/2022			015645		160.00
0105	PITTSBURG AUTOMOTIVE	E	6/21/2022			015646		1,215.62
0109	RANDY VILELA TRUCKING & HAULIN	E	6/21/2022			015647		9,800.00
0128	ASCENSION VIA CHRISTI HOSPITAL	E	6/21/2022			015648		1,903.00
0133	JIM RADELL CONSTRUCTION COMPAN	E	6/21/2022			015649		1,946.70
0135	PITTSBURG AREA CHAMBER OF COMM	E	6/21/2022			015650		400.00
0142	HECKERT CONSTRUCTION CO INC	E	6/21/2022			015651		6,175.97
0181	INGRAM LIBRARY SERVICES	E	6/21/2022			015652		28.96
0201	SPICER-ADAMS WELDING, INC.	E	6/21/2022			015653		204.35
0203	GADES SALES CO INC	E	6/21/2022			015654		9,045.00
0276	JOE SMITH COMPANY, INC.	E	6/21/2022			015655		1,462.96
0335	CUSTOM AWARDS, LLC	E	6/21/2022			015656		25.00
0409	WISEMAN'S DISCOUNT TIRE INC	E	6/21/2022			015657		119.90
0577	KANSAS GAS SERVICE	E	6/21/2022			015658		729.48
0597	CORNEJO & SONS LLC	E	6/21/2022			015659		2,919.64
0746	CDL ELECTRIC COMPANY INC	E	6/21/2022			015660		75.00
0866	AVFUEL CORPORATION	E	6/21/2022			015661		40,333.79
1478	KANSASLAND TIRE #1828	E	6/21/2022			015662		96.55

VENDOR I.D.	NAME	STATUS	CHECK DATE	INVOICE AMOUNT	DISCOUNT	CHECK NO	CHECK STATUS	CHECK AMOUNT
1629	PITTSBURG BEAUTIFUL	E	6/21/2022			015663		42,638.00
1792	B&L WATERWORKS SUPPLY, LLC	E	6/21/2022			015664		2,555.39
2186	PRODUCERS COOPERATIVE ASSOCIAT	E	6/21/2022			015665		1,185.61
2767	BRENNTAG SOUTHWEST, INC	E	6/21/2022			015666		6,968.20
2825	STATE OF KANSAS	E	6/21/2022			015667		462.64
2960	PACE ANALYTICAL SERVICES LLC	E	6/21/2022			015668		2,029.00
3261	PITTSBURG AUTO GLASS	E	6/21/2022			015669		175.00
3281	USA BLUE BOOK	E	6/21/2022			015670		336.63
4085	GILMORE & BELL	E	6/21/2022			015671		1,350.00
4307	HENRY KRAFT, INC.	E	6/21/2022			015672		271.54
4452	RYAN INSURANCE, LLC	E	6/21/2022			015673		2,976.00
5014	MID-AMERICA SANITATION INC.	E	6/21/2022			015674		180.00
6851	SCHULTE SUPPLY INC	E	6/21/2022			015675		4,180.00
7127	UNIQUE MANAGEMENT SERVICES, IN	E	6/21/2022			015676		34.95
7162	TIMOTHY JOSEPH ANDERSON	E	6/21/2022			015677		312.00
7167	QUADIENT LEASING USA INC	E	6/21/2022			015678		345.93
7620	POMP'S TIRE SERVICE INC	E	6/21/2022			015679		388.50
8046	CONVERGEONE, INC.	E	6/21/2022			015680		1,012.50
8325	FLEET FUELS LLC	E	6/21/2022			015681		717.65
8337	BLACKSTONE AUDIO, INC.	E	6/21/2022			015682		221.04
8492	RUSSELL F. MIZE	E	6/21/2022			015683		1,650.00
8535	HEALTH PLANS, INC	E	6/21/2022			015684		38,854.24

VENDOR SET: 99 City of Pittsburg, KS

BANK: 80144 BMO HARRIS BANK

DATE RANGE: 6/08/2022 THRU 6/21/2022

VENDOR I.D.	NAME	STATUS	CHECK DATE	INVOICE AMOUNT	DISCOUNT	CHECK NO	CHECK STATUS	CHECK AMOUNT
8615	JENNA MELNICKI	E	6/21/2022			015685		350.00
8475	AMERICAN LAWN & LANDSCAPE, INC	R	6/10/2022			191159		50.00
0523	AT&T	R	6/10/2022			191160		9,736.85
8278	GERSON BOCANEGRA	R	6/10/2022			191163		25.00
8576	FRANK R CORDER	R	6/10/2022			191164		175.00
4263	COX COMMUNICATIONS KANSAS LLC	R	6/10/2022			191165		692.68
4263	COX COMMUNICATIONS KANSAS LLC	R	6/10/2022			191166		364.03
4263	COX COMMUNICATIONS KANSAS LLC	R	6/10/2022			191167		96.07
7517	CRAW-KAN TELEPHONE COOPERATIVE	R	6/10/2022			191168		1,426.51
0375	WICHITA WATER CONDITIONING	R	6/10/2022			191170		26.50
1108	EVERGY KANSAS CENTRAL INC	R	6/10/2022			191171		14.50
6358	FIREX, INC.	R	6/10/2022			191172		65.00
1	HUSTON, CARMELLA	R	6/10/2022			191173		8.00
7190	LEXISNEXIS RISK DATA MANAGEMEN	R	6/10/2022			191174		381.92
8417	FRED LUNDIEN	R	6/10/2022			191175		200.00
8577	BENJAMIN ALDEN MARSH	R	6/10/2022			191176		75.00
1	MEADOWSIDE BAPTIST CHURCH	R	6/10/2022			191177		50.00
7601	MEYER LAW FIRM, LLC	R	6/10/2022			191178		133.33
1	MILLER, HEATHER	R	6/10/2022			191179		8.00
8252	PERRY SUMMY	R	6/10/2022			191180		142.00
8612	JESSI SNEAD	R	6/10/2022			191181		2.00
8103	ANDY ROBERTS	R	6/10/2022			191182		78.00

VENDOR I.D.	NAME	STATUS	CHECK DATE	INVOICE AMOUNT	DISCOUNT	CHECK NO	CHECK STATUS	CHECK AMOUNT
7270	SECURITY 1ST TITLE, LLC	R	6/10/2022			191183		690.00
7576	SEK URGENT CARE, LLC	R	6/10/2022			191184		100.00
8375	TRASH HOG LLC	R	6/10/2022			191185		1,606.62
8089	JORAN STOUT-MITCHELL	R	6/10/2022			191188		75.00
7890	SYN-TECH SYSTEMS INC	R	6/10/2022			191189		1,275.00
6260	TRANE	R	6/10/2022			191190		816.00
5589	CELLCO PARTNERSHIP	R	6/10/2022			191191		12,320.72
8430	EQUIPMENTSHARE.COM, INC	R	6/10/2022			191195		220.00
1	YORK, CASSANDRA	R	6/10/2022			191196		13.00
1	SELEMAEA, MORGAN	R	6/15/2022			191197		260.14
1	A-1 MINI STORAGE	R	6/17/2022			191215		55.00
7856	BARDAVON HEALTH INNOVATIONS, L	R	6/17/2022			191216		250.00
5480	BITNER MOTORS	R	6/17/2022			191217		56.82
1	BLOEMER, DELILA	R	6/17/2022			191218		75.00
8278	GERSON BOCANEGRA	R	6/17/2022			191219		25.00
6545	CENTER POINT INC	R	6/17/2022			191220		24.67
7657	COPY PRODUCTS, INC.	R	6/17/2022			191221		1,373.00
4263	COX COMMUNICATIONS KANSAS LLC	R	6/17/2022			191224		91.55
4263	COX COMMUNICATIONS KANSAS LLC	R	6/17/2022			191225		78.21
0375	WICHITA WATER CONDITIONING	R	6/17/2022			191226		149.51
1	DODSON, CHAD	R	6/17/2022			191227		75.00
1108	EVERGY KANSAS CENTRAL INC	R	6/17/2022			191228		3,021.12

VENDOR I.D.	NAME	STATUS	CHECK DATE	INVOICE AMOUNT	DISCOUNT	CHECK NO	CHECK STATUS	CHECK AMOUNT
1	FLANAGAN, MATTIE	R	6/17/2022			191229		75.00
1	GAGE, BRAYDEN	R	6/17/2022			191230		75.00
1	GEGG, TRISTAN	R	6/17/2022			191231		75.00
1	HALL, JACOB	R	6/17/2022			191232		75.00
1	HAMILTON, K'VON	R	6/17/2022			191233		75.00
6923	HUGO'S INDUSTRIAL SUPPLY INC	R	6/17/2022			191234		472.00
4108	INLAND TRUCK PARTS CO	R	6/17/2022			191235		4,803.20
1	KATSIKIS, KOLBE	R	6/17/2022			191236		75.00
3766	KDHE - INDUSTRIAL PROGRAM SECT	R	6/17/2022			191237		60.00
1	LOPEZ, CRUZ	R	6/17/2022			191238		75.00
7945	LUCKY-BUT LAWN CARE, LLC	R	6/17/2022			191239		40.00
8507	PITTSBURG PUBLISHING COMPANY,	R	6/17/2022			191240		107.50
8610	MOTOROLA SOLUTIONS, INC.	R	6/17/2022			191241		34,794.20
1	OHARA, BROOKE	R	6/17/2022			191242		75.00
7802	CHRISTOPHER L PATTERSON	R	6/17/2022			191243		145.60
1	PEERY, RIVER	R	6/17/2022			191244		75.00
1	PETERSON, HUNTER	R	6/17/2022			191245		413.28
0397	PITTSBURG POLICE DEPT	R	6/17/2022			191246		30.00
8616	RANDOLPH B. MEANS	R	6/17/2022			191247		725.00
8486	SCBA SALES & RENTALS LLC	R	6/17/2022			191248		2,300.00
1	SHEPERD, JILLIAN	R	6/17/2022			191249		75.00
1	SHIDLER, ALEXIS	R	6/17/2022			191250		75.00

VENDOR I.D.	NAME	STATUS	CHECK DATE	INVOICE AMOUNT	DISCOUNT	CHECK NO	CHECK STATUS	CHECK AMOUNT
1	SINCER, SARAH	R	6/17/2022			191251		65.00
6377	SOUTHEAST KANSAS RECYCLING CEN	R	6/17/2022			191252		30.00
1	STADLMAN, DOMINICK	R	6/17/2022			191253		75.00
1	TALENT, GABRIEL	R	6/17/2022			191254		75.00
8581	THE DUGOUT SPORT SHOP INC	R	6/17/2022			191255		70.00
8203	VB OPCO LLC	R	6/17/2022			191256		2,450.00
8430	EQUIPMENTSHARE.COM, INC	R	6/17/2022			191257		1,434.27
1	WILES, TANNER	R	6/17/2022			191258		75.00
8576	FRANK R CORDER	R	6/17/2022			191259		75.00
8417	FRED LUNDIEN	R	6/17/2022			191260		200.00
8577	BENJAMIN ALDEN MARSH	R	6/17/2022			191261		75.00
8089	JORAN STOUT-MITCHELL	R	6/17/2022			191262		175.00

* * T O T A L S * *	NO	INVOICE AMOUNT	DISCOUNTS	CHECK AMOUNT
REGULAR CHECKS:	77	85,916.80	0.00	85,916.80
HAND CHECKS:	0	0.00	0.00	0.00
DRAFTS:	13	177,103.92	0.00	177,103.92
EFT:	98	582,338.78	0.00	582,338.78
NON CHECKS:	0	0.00	0.00	0.00
VOID CHECKS:	0 VOID DEBITS	0.00		
	VOID CREDITS	0.00	0.00	

TOTAL ERRORS: 0

	NO	INVOICE AMOUNT	DISCOUNTS	CHECK AMOUNT
VENDOR SET: 99 BANK: 80144TOTALS:	188	845,359.50	0.00	845,359.50
BANK: 80144 TOTALS:	188	845,359.50	0.00	845,359.50

VENDOR I.D.	NAME	STATUS	CHECK DATE	INVOICE AMOUNT	DISCOUNT	CHECK NO	CHECK STATUS	CHECK AMOUNT
3706	GERALD PERRY TENNIS CO INC	E	6/17/2022			015585		29,850.00

* * T O T A L S * *	NO	INVOICE AMOUNT	DISCOUNTS	CHECK AMOUNT
REGULAR CHECKS:	0	0.00	0.00	0.00
HAND CHECKS:	0	0.00	0.00	0.00
DRAFTS:	0	0.00	0.00	0.00
EFT:	1	29,850.00	0.00	29,850.00
NON CHECKS:	0	0.00	0.00	0.00
VOID CHECKS:	0 VOID DEBITS	0.00		
	VOID CREDITS	0.00	0.00	

TOTAL ERRORS: 0

	NO	INVOICE AMOUNT	DISCOUNTS	CHECK AMOUNT
VENDOR SET: 99 BANK: EFT TOTALS:	1	29,850.00	0.00	29,850.00
BANK: EFT TOTALS:	1	29,850.00	0.00	29,850.00
REPORT TOTALS:	189	875,209.50	0.00	875,209.50

Passed and approved this 28th day of June, 2022.

Cheryl L. Brooks, Mayor

ATTEST:

Tammy Nagel, City Clerk

Interoffice Memorandum

To: Daron Hall, City Manager
CC: Tammy Nagel, City Clerk
From: Dexter Neisler, Zoning Administrator (DN:dg)
Date: June 9, 2022
Subject: Agenda Item – June 28, 2022
22-12: Conditional Use Permit – Newlin – 401 Thomas

The City of Pittsburg advertised for a Public Hearing to be held on Tuesday, June 28, 2022, at 5:30 pm in the City Commission Room, at the Law Enforcement Center, 201 N Pine, to consider an **APPEAL** of the Planning Commission/Board of Zoning Appeals' decision to **DENY** the Petition for a Conditional Use Permit to allow a communications tower at 401 Thomas.

The Planning Commission/Board of Zoning Appeals, in its meeting of May 23, 2022, considered a request submitted by Joe Newlin (property owner) and Jessica Norrid, GSS, Inc. (applicant) to allow a communications tower at 401 Thomas. Following Public Hearing, which included public comment, on the motion of Dickinson, seconded by Michael, the Planning Commission/Board of Zoning Appeals disapproved the request.

Per Article 23, Section 106 of the City of Pittsburg's Zoning Ordinance and Subdivision Regulations:
Any decision of the Planning Commission regarding development plans may be appealed to the Governing Body, whose decision shall be final. An appeal shall be filed in writing with the Zoning Administrator not fifteen (15) days following the date of the Planning Commission's final action. If no appeal is taken within that time, the decision of the Planning Commission shall be final. The appeal shall set forth the basis for the appeal and the relief sought by the applicant. The Zoning Administrator shall schedule the appeal before the Governing Body no later than thirty (30) days following the filing of the appeal. The Zoning Administrator shall notify all interested persons in writing of the time and place of the Governing Body's meeting at least ten (10) days prior to said meeting.

In this regard, would you place this item on the agenda for the City Commission meeting scheduled for June 28, 2022.

Requested Action: For the Governing Body to conduct a Public Hearing and to accept or reject the ruling of the Planning Commission/Board of Zoning Appeals.

If you have any questions regarding this matter, please feel free to contact me at 620-230-5517.

Sincerely,

Dexter Neisler
Zoning Administrator

DN:dg 

City of Pittsburg, Kansas
Planning Commission/Board of Zoning Appeals
Municipal Court Room, Law Enforcement Center
May 23, 2022 | 5:30 pm

Members Present: Martin Dickinson, Mike Hanika, Derek Heikes, Kyle Michael, Leah Posterick, Mike Wilber

City Staff: DeAnna Goering, Dexter Neisler

- I. Call to Order
 - a. Meeting called to order at 5:30 PM
 - b. Chairperson Michael led the flag salute
- II. Consider the Following:
 - a. Approval of Minutes
 - i. Consider the approval of the April Meeting Minutes (April 25, 2022)
 1. Motion: Approve April Minutes (Posterick)
 - a. Motion: Seconded (Michael)
 - b. Motion: 5-0-0 (Wilber Absent)
- III. Public Hearings
 - a. Case No. 21-12 – Newlin – Conditional Use – 401 Thomas
 - i. Following Public Hearing, on the motion of Dickinson, seconded by Michael, the Planning Commission/Board of Zoning Appeals disapproved the request submitted by Joe Newlin for a Conditional Use Permit for a communications tower at 401 Thomas.
 1. Motion Carried, 6-0-0
- IV. Non-Agenda Reports & Requests
 - a. Digital Sign Ordinance Review
 - i. Discussion of progress of digital sign ordinance, discussion regarding sign sizes, display types, and transition types/times.
- V. Adjournment
 - a. Motion: Adjourn the regular meeting of the Planning Commission/Board of Zoning Appeals. (Michael)
 - i. Motion: Seconded (Posterick)
 - ii. Motion: Carried, 6-0-0
 - b. Meeting adjourned at 6:01 pm

Kyle Michael, Chairperson

ATTEST:

DeAnna Goering, Secretary

Table of Contents

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Approval of Minutes	3
Consider approval of the April 25, 2022, Planning Commission/Board of Zoning Appeals meeting minutes.	
Case No. 22-12 – Newlin – Variance – 401 Thomas	5
The City of Pittsburg advertised for a Public Hearing to be held on May 23, 2022, at the Planning Commission/Board of Zoning Appeals meeting, commencing at 5:30 pm, to consider a petition submitted by Joe Newlin for a conditional use permit for a communications tower at 401 Thomas.	
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City of Pittsburg, Kansas
Planning Commission/Board of Zoning Appeals
Municipal Court Room, Law Enforcement Center
Monday, May 23, 2022 | 5:30 pm

- I. Call to Order
 - a. Flag Salute Led by Chairperson
- II. Consider the Following:
 - a. Approval of Minutes
 - i. Consider the approval of the April 25, 2022, Planning Commission/Board of Zoning Appeals meeting minutes.
 - 1. Motion, Second, and Vote
- III. Public Hearings
 - a. Case No. 21-12 – Newlin – Conditional Use – 401 Thomas: The City of Pittsburg advertised for Public Hearing to be held on May 23, 2022 at the Planning Commission/Board of Zoning Appeals meeting, commencing at 5:30 pm, to consider a petition submitted by Joe Newlin for a conditional use permit for a communications tower at 401 Thomas.
 - i. Public Hearing
 - 1. Call applicant to speak about the request.
 - 2. Hear persons in favor of the request.
 - 3. Hear persons opposed to the request.
 - 4. Allow for rebuttal.
 - 5. Close Public Hearing
 - ii. Discussion & Deliberation
 - iii. Motion, Second, and Vote
- IV. Non-Agenda Reports & Requests
- V. Adjournment

City of Pittsburg, Kansas
Planning Commission/Board of Zoning Appeals
Municipal Court Room, Law Enforcement Center
April 25, 2022 | 5:30 pm

Members Present: Martin Dickinson, Derek Heikes, Laura Klusener, Kyle Michael, Leah Posterick

City Staff: Pete Earles, DeAnna Goering, Quentin Holmes, Dexter Neisler

- I. Call to Order
 - a. Meeting called to order at 5:30 PM
 - b. Chairperson Michael led the flag salute
- II. Consider the Following:
 - a. Approval of Minutes
 - i. Consider the approval of the March Meeting Minutes (March 28, 2022)
 1. Motion: Approve March Minutes (Dickinson)
 - a. Motion: Seconded (Klusener)
 - b. Motion: Carried, 5-0-0
- III. Public Hearings
 - a. Case No. 22-11 – Walmart – Variance – 1011 E Centennial
 - i. Following Public Hearing, on the motion of Michael, seconded by Posterick, the Planning Commission/Board of Zoning Appeals approved the request submitted by Walmart Real Estate Business Trust for a variance at 1011 E Centennial.
 1. Motion Carried, 5-0-0
- IV. Site Plans
 - a. Case No. 22-14 – Schnelle – Site Plan – 1305 E 4th
 - i. On the motion of Michael, seconded by Dickinson, the Planning Commission/Board of Zoning Appeals approved the site plan submitted by Brian Schnelle for property located at 1305 E 4th.
- V. Non-Agenda Reports & Requests
 - a. Digital Sign Ordinance Review
 - i. No ordinance presented for review at this time. Discussion of strategies and methods for updating City codes.
- VI. Adjournment
 - a. Motion: Adjourn the regular meeting of the Planning Commission/Board of Zoning Appeals. (Michael)
 - i. Motion: Seconded (Posterick)

- ii. Motion: Carried, 5-0-0
- b. Meeting adjourned at 5:51 pm

Kyle Michael, Chairperson

ATTEST:

DeAnna Goering, Secretary



Return Completed Application to:
Zoning Administrator
201 W 4th Street
Pittsburg, KS 66762

Case No.: 22-12
Date Filed: 3/31/22
Date Paid:
Publication Date: 4/29/22
PC/BZA Date: 5/23/22

Ref

Conditional Use Permit Application

Property Owner's Information

Name: Joseph Newlin
Address: 401 Thomas St
Phone: 417-439-7762 Email: constrectn@gmail.com

Applicant's Information

Name: Jessica Norrid
Address: 1054 Texan Trail, Ste 300, Grapevine, Tx 76051
Phone: 682-330-8223 Email: jnorrid@gssmidwest.com

Property Information

Street Address of Affected Property: 401 Thomas St, Pittsburg Kansas
Current Zone of Affected Property: CP-2
Applicant's Interest in Property: Contracted by Property Owner
Desired Use of Property: Communications Tower
Description of Submitted Plans (Plot Plan, Elevations, Etc): All attached.

Legal Description of Property:

That part of the Northwest Quarter of Section 5, Township 31 South, Range 25 East of the 6th Principal Meridian, Crawford County, Kansas, and being more particularly described as follows:

Referring to the Southeast corner of Government Lot Number 4, according to the U.S. Government Survey thereof, in Crawford County, Kansas, a 1/2" Pipe found for corner; thence westerly, on a Grid bearing of South 87°32'21" West, on the South line of Government Lot Number 4, 80.00 feet; thence departing said South line, northerly, North 02°18'56" West, 15.25 feet, to the Point of Beginning for the described 65'x65' Lease Area; thence following the perimeter for the Lease Area on the following bearings and distances: northerly, North 02°18'52" West, 65.00 feet; thence easterly, North 87°41'08" East, 65.00 feet; thence southerly, South 02°18'52" East, 65.00 feet; thence westerly, South 87°41'08" West, 65.00 feet, to the Point of Beginning.

Containing a total calculated area of 4,225 square feet, or 0.097 acres, more or less.

RECEIVED

MAR 31 2022

City of Pittsburg
Community Development
Page 5 of 56

Owner's Certification

I/we acknowledge the receipt of the instruction packet explaining the method of submitting this application. I/we realize that this application cannot be processed unless it is completed in its entirety, is accompanied by all required supporting documentation as required in the instruction packet, and is accompanied by the appropriate, non-refundable fee.

I/we further certify that the foregoing information is true and correct to the best of my/our knowledge. If my/our request is granted, I/we will complete construction in accordance with plans submitted and approved by the Planning Commission/Board of Zoning Appeals (PC/BZA).

I/we authorize unannounced inspections of the subject property by City staff for the purpose of collecting information to review and analyze this request. I/we acknowledge that the PC/BZA and the Governing Body of the City of Pittsburg, Kansas, shall have authority to impose such conditions as it deems necessary in order to serve the public interest and welfare.

Landlord signed this in office, per Deanna

Owner's Signature

Date

Owner Authorization Form Signed

Owner's Signature

Date

This application must bear the signature(s) of the property owner(s). If an authorized agent signs on the owner's behalf, the agent shall sign his own name and attach the Owner Authorization form to this application.

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MAR 31 2022

**City of Pittsburg
Community Development**

Office Use Only

Date Received: _____

Date Reviewed: _____

☐ Approved

☐ Denied

Conditions of Approval/Reasons for Denial

Signature of Zoning Administrator

(seal)

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MAR 31 2022

City of Pittsburg
Community Development

Planning Commission/Board of Zoning Appeals
Owner Authorization Form

I/We Joe Newlin, hereby referred to as the "Owner",
being of lawful age, do hereby on this 20 day of January, 20 22, make
the following statements to wit:

1. I/We, the Owner, on the date first written, am/are the lawful owner(s) in fee simple absolute of the following described real property:
401 Thomas, Pittsburg KS 66762
2. I/We, the Owner, have previously authorized and hereby authorize _____
(herein referred to as "Agent") to act on my/our behalf for the purpose of making
application with the Pittsburg, Kansas, Planning Commission/Board of Zoning Appeals,
regarding the property located at _____. Such authorization includes,
but is not limited to, all acts or items whatsoever necessarily required of Owner in the
application process.
3. It is understood that in the event the Owner is a corporation or partnership, the individual
whose signature appears below for and on behalf of the Owner has the authority to so
bind the corporation or partnership to the terms and statements contained within this
instrument.

In witness whereof, I, the undersigned, have set my hand and seal below.

Owner

Date

Owner

Date

State of Kansas, Crawford County } ss.

The foregoing instrument was acknowledged before me on this 20 day of January,
20 22, by Joe Newlin.

Notary Public

My Commission Expires: 5-10-23





PARENT PARCEL:

The Land referred to in this Commitment is described as follows:

All the following-described real estate, situated in Crawford County, Kansas, to wit:

All of a tract of land described as beginning at the Southeast Corner of Government Lot Number Four (4) of the Northwest Quarter (NW/4) in Section Five (5), Township Thirty One (31) South, Range Twenty Five (25) East of the Sixth Principal Meridian, according to the U.S. Government Survey thereof, in Crawford County, Kansas, thence North 02° 18' 39" West along the West line of Random Acres 630.0 feet, thence South 02° 25' 18" West to the East line of Meadowbrook Mail Addition 335.84 feet, thence along said East line South 02° 21' 19" East 600.0 feet to the Southeast Corner of Meadowbrook Mail Addition being the South line of Lot Four (4) Northwest Quarter (NW/4), thence along said South line North 87° 32' 55" East, 334.0 feet to the point of beginning.

EXCEPT that part thereof, if any, included in the Plat of Lindale Addition (now vacated) according to the recorded Plat thereof.

EXCEPT AND SUBJECT TO: reservations, restrictions, covenants, easements and rights-of-way of record, if any;

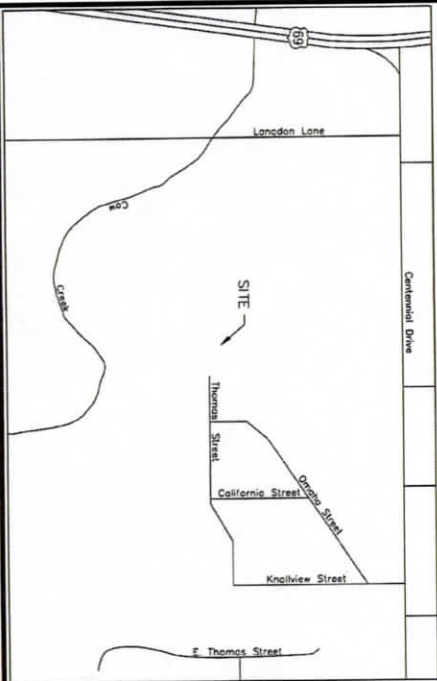
LEASE AREA:

That part of the Northwest Quarter of Section 5, Township 31 South, Range 25 East of the 6th Principal Meridian, Crawford County, Kansas, and being more particularly described as follows:

Referring to the Southeast corner of Government Lot Number 4, according to the U.S. Government Survey thereof, in Crawford County, Kansas, a 1/2" Pipe found for corner, thence westerly, on a Grid bearing of South 87° 32' 21" West, on the South line of said Lot 4, 80.00 feet; thence departing said South line, northerly, North 02° 18' 56" West, 15.25 feet, to the Point of Beginning for the described 65 X 65 Lease Area; thence following the perimeter for the Lease Area on the following bearings and distances: northerly, North 02° 18' 52" West, 65.00 feet; thence easterly, North 87° 41' 08" East, 65.00 feet; thence southerly, South 02° 18' 52" East, 65.00 feet; thence westerly, South 87° 41' 08" West, 65.00 feet, to the Point of Beginning.

Containing a total calculated area of 4,225 square feet, or 0.097 acres, more or less.

VICINITY MAP



SURVEYORS NOTES

- 1.) Generally located in Kansas State Plane Coordinate System, South Zone (NAD-83).
- 2.) Not a survey of the parent parcel shown, but to be used only for the purposes shown hereon.
- 3.) The Utility locations shown hereon were determined by observed above ground evidence only. The surveyor was not provided with above ground markings to determine any subsurface locations, and makes no guarantee that the underground utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated. This set of plans not physically located the underground utilities.

Zoning Information: CP-2

Flood Information:

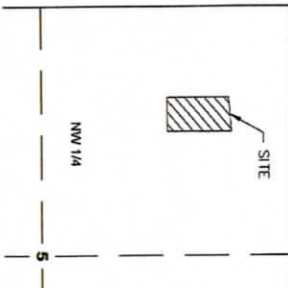
Property falls within a Zone "X" area determined to be partially inside a 0.2% chance of annual flood based upon FEMA Flood Risk Map No. 20037C0339E, dated April 16, 2005.

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MAR 31 2022

City of Pittsburg
Community Development

PARENT PARCEL DETAIL



Surveyor's Certificate

I, Joyne M. Malone, a Professional Registered Land Surveyor under the laws of the State of Kansas, certify the above survey was executed by me, on the date shown. Distances shown are measured in feet and decimals of a foot.

Signed this 30th day of August, 2021

Joyne M. Malone



Prepared For:



Prepared For:

TOWNE ENGINEERING PROFESSIONALS
326 IRON ROAD
PALESTINE, NC 28663
(919) 664-6351

Surveyed By:



Site Information:

Site Name: VIA CHRISTIE
Site No.: 589405

Site Address:

401 THOMAS
PITTSBURG, KS 66762
CRAWFORD COUNTY
PID: 0192130502004003010
(BOOK 638, PAGE 203)

Owner Information:

JOSEPH C. NEWMAN

LEASE SITE &
EASEMENT EXHIBIT
1 OF 4

DATE OF SURVEY	DATE OF SALE
08/11/2021	08/23/21
Preparation (Revision)	08/23/21 (R)
Add Lease Area & Easement	08/30/21 (R)
Final	

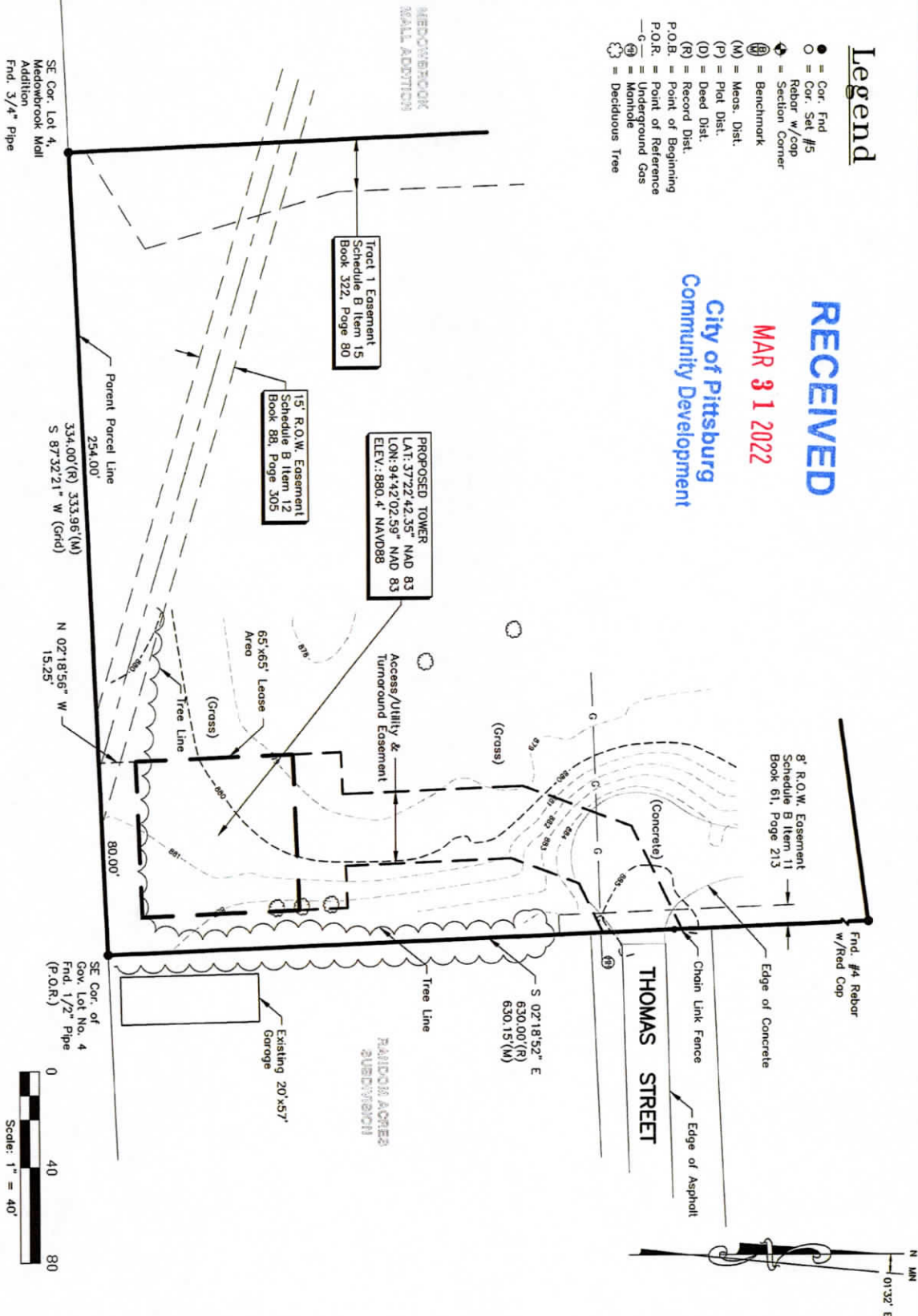
Legend

- = Cor. Find
- = Cor. Set #5
- ⬇ = Rebar w/cap
- ⬆ = Section Corner
- ⊕ = Benchmark
- Ⓜ = Meas. Dist.
- Ⓟ = Plot Dist.
- Ⓡ = Record Dist.
- Ⓡ = Record Dist.
- P.O.B. = Point of Beginning
- P.O.R. = Point of Reference
- G— = Underground Gas
- C— = Montide
- ⊕ = Deciduous Tree

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MAR 31 2022

**City of Pittsburgh
Community Development**



Prepared For:
uscellular

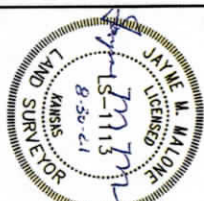
Prepared For:
TOWER ENGINEERING PROFESSIONALS
355 IRON ROAD
RALEIGH, NC 27603
(919) 661-5581

Surveyed By:
HENKIN & REYNOLDS
P.L.L.C.
1000 10TH AVENUE
SUITE 200
PITTSBURGH, PA 15222
(412) 326-1113

Site Information:
Site Name: **VIA CHRISTIE**
Site No.: **589405**

Site Address:
401 THOMAS
PITTSBURGH, KS 66762
CRAWFORD COUNTY
PID: 0182130502004003010
(BOOK 638, PAGE 203)

Owner Information:
JOSEPH C. NEWMAN



**LEASE SITE &
EASEMENT EXHIBIT
2 OF 4**

Date of Survey	08/11/2021
Surveyor	JAYNE M. MALONE
Field Notes	08/22/21
Field Notes	08/22/21
Field Notes	08/22/21

ACCESS/UTILITY & TURNAROUND EASEMENT:

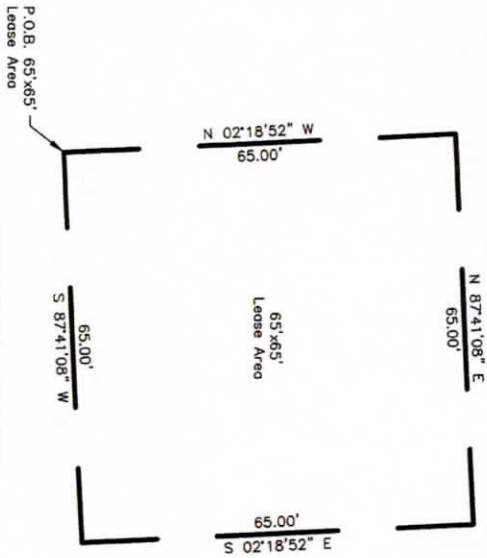
An Access/Utility and Turnaround Easement located in that part of the Northwest Quarter of Section 5, Township 31 South, Range 25 East of the 6th Principal Meridian, Crawford County, Kansas, and being more particularly described as follows:

Referring to the Southeast corner of Government Lot Number 4, according to the U.S. Government Survey thereof, in Crawford County, Kansas, a 1/2" Pipe found for corner, thence westerly, on a Grid bearing of South 87°32'21" West, to the South line of said Lot 4, 80.00 feet, thence departing said South line, northerly, North 02°18'52" West, 15.25 feet, to the Southwest corner of the described 65'x65' Lease Area, thence northerly, North 02°18'52" West, to the West line of the Lease Area, 65.00 feet, to the Point of Beginning for the described Access/Utility and Turnaround Easement; thence following the perimeter for the easement on the following bearings and distances: northerly, North 02°18'52" West, 20.00 feet; thence easterly, North 87°41'08" East, 17.50 feet; thence northerly, North 02°18'52" West, 74.47 feet; thence northeasterly, North 20°41'41" East, 48.14 feet; thence northeasterly, North 64°15'42" East, 47.61 feet, to a point of intersection on the East line of Government Lot Number 4, according to the U.S. Government Survey thereof; thence southerly, South 02°18'52" East, on said East line, 32.69 feet; thence departing the East line of said Government Lot Number 4, southwesterly, South 64°15'42" West, 22.62 feet; thence southwesterly, South 20°41'41" West, 30.04 feet; thence southerly, South 02°18'52" East, 68.36 feet; thence easterly, North 87°41'08" East, 17.50 feet; thence southerly, South 02°18'52" West, 20.00 feet, to the Northeast corner of the described 65'x65' Lease Area, thence westerly, South 87°41'08" West, on the North line of the Lease Area, 65.00 feet, to the Point of Beginning.

Containing a total calculated area of 5,669 square feet, or 0.130 acres, more or less.

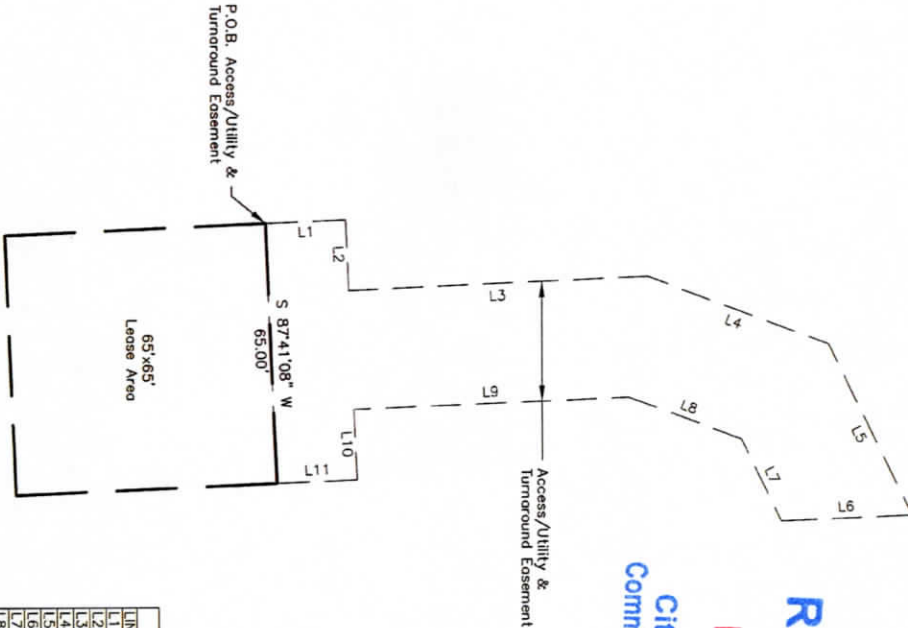
LEASE AREA DETAIL

Scale: 1" = 20'



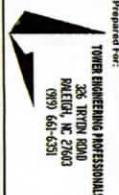
ACCESS/UTILITY & TURNAROUND EASEMENT DETAIL

Scale: 1" = 30'



LINE	BEARING	DISTANCE
L1	N 02°18'52" W	20.00'
L2	N 87°41'08" E	17.50'
L3	N 02°18'52" W	74.47'
L4	N 20°41'41" E	48.14'
L5	N 64°15'42" E	47.61'
L6	S 02°18'52" E	32.69'
L7	S 64°15'42" W	22.62'
L8	S 20°41'41" W	30.04'
L9	S 02°18'52" E	68.36'
L10	N 87°41'08" E	17.50'
L11	S 02°18'52" E	20.00'

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MAR 31 2022
City of Pittsburg
Community Development



Site Information:
Site Name: VIA CHRISTIE
Site No.: 589405

401 THOMAS
PITTSBURG, KS 66762
CRAWFORD COUNTY
PID: 0192130502004003010
(BOOK 638, PAGE 203)

Owner Information:
JOSEPH C. NEWLIN



LEASE SITE &
EASEMENT EXHIBIT
3 OF 4

Date of Survey	08/11/2021
Revised	
Drawn by	JB
Checked by	JB
Reviewed by	JB
Final	08/30/21

TITLE REPORT:

Based on title report provided by Stewart Title Guaranty Company, File Number: 21108336KS, bearing an effective date of April 15, 2021 2:40PM, the following are of survey matters:

8. Right of Way Easement to Rural Water District No. 5 recorded in Book 56 Page 371. Affects but cannot be plotted because it is blanket in nature.
9. Temporary Construction Easement to the City of Pittsburg, recorded in Book 56 Page 579. Does not affect.
10. Right-of-Easement to the City of Pittsburg recorded in Book 57 Page 203. May affect. Backup document is illegible.
11. Right-of-Easement to the City of Pittsburg recorded in Book 61 Page 213. Affects and is shown hereon.
12. Right-of-Easement to the City of Pittsburg recorded in Book 88 Page 305. Affects and is shown hereon.
13. Resolution and Order of the Board of County Commissioners of Crawford County, Kansas, Establishing Main and Lateral Sewer District No. 1, Crawford County, Kansas in the Vicinity of Langdon Lane, Crawford County, Kansas, recorded in Book 99 Page 673. Does not affect.
14. Right-of-Easement to the City of Pittsburg recorded in Book 247 Page 7. Does not affect.
15. Permanent Right of Easement to the City of Pittsburg, recorded in Book 322 Page 80. Affects and is shown hereon.
16. Permanent Right of Easement recorded in Book 576 Page 232. Does not affect.
17. Permanent Right of Easement recorded in Book 578 Page 561. Does not affect.
18. Sanitary Sewer and Lift Station Easement recorded in Book 588 Page 811. Does not affect.

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City of Pittsburg
Community Development



Surveyed By: 6773



Site Information:
Site Name: VIA CHRISTIE
Site No.: 589405

Site Address:
401 THOMAS
PITTSBURG, KS 66762
CRAWFORD COUNTY
PID: 0192130502004003010
(BOOK 638, PAGE 203)

Owner Information:
JOSEPH C. NEWMAN



LEASE SITE &
EASEMENT EXHIBIT
4 OF 4

Date of Survey:	08.11.2021
Date of Revision:	08.23.21
Prepared by:	08.23.21
Field:	08.23.21
Final:	08.23.21

NOTES:

1. THE BASIS OF THE MERIDIANS AND COORDINATES FOR THIS PLAT IS THE KANSAS STATE PLANE COORDINATE SYSTEM SOUTH ZONE, NORTH AMERICAN DATUM 1983 (KSSPCS SOUTH ZONE, NAD 83), BASED ON DIFFERENTIAL GPS OBSERVATIONS PERFORMED ON AUGUST 11, 2021.
2. VERTICAL INFORMATION SHOWN, BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) IN FEET.
3. ALL DISTANCES ARE GROUND UNLESS OTHERWISE NOTED.
4. THE TOWER IS LOCATED IN ZONE "X" AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN ACCORDING TO FEMA COMMUNITY PANEL #2003700339E, DATED APRIL 16, 2009.

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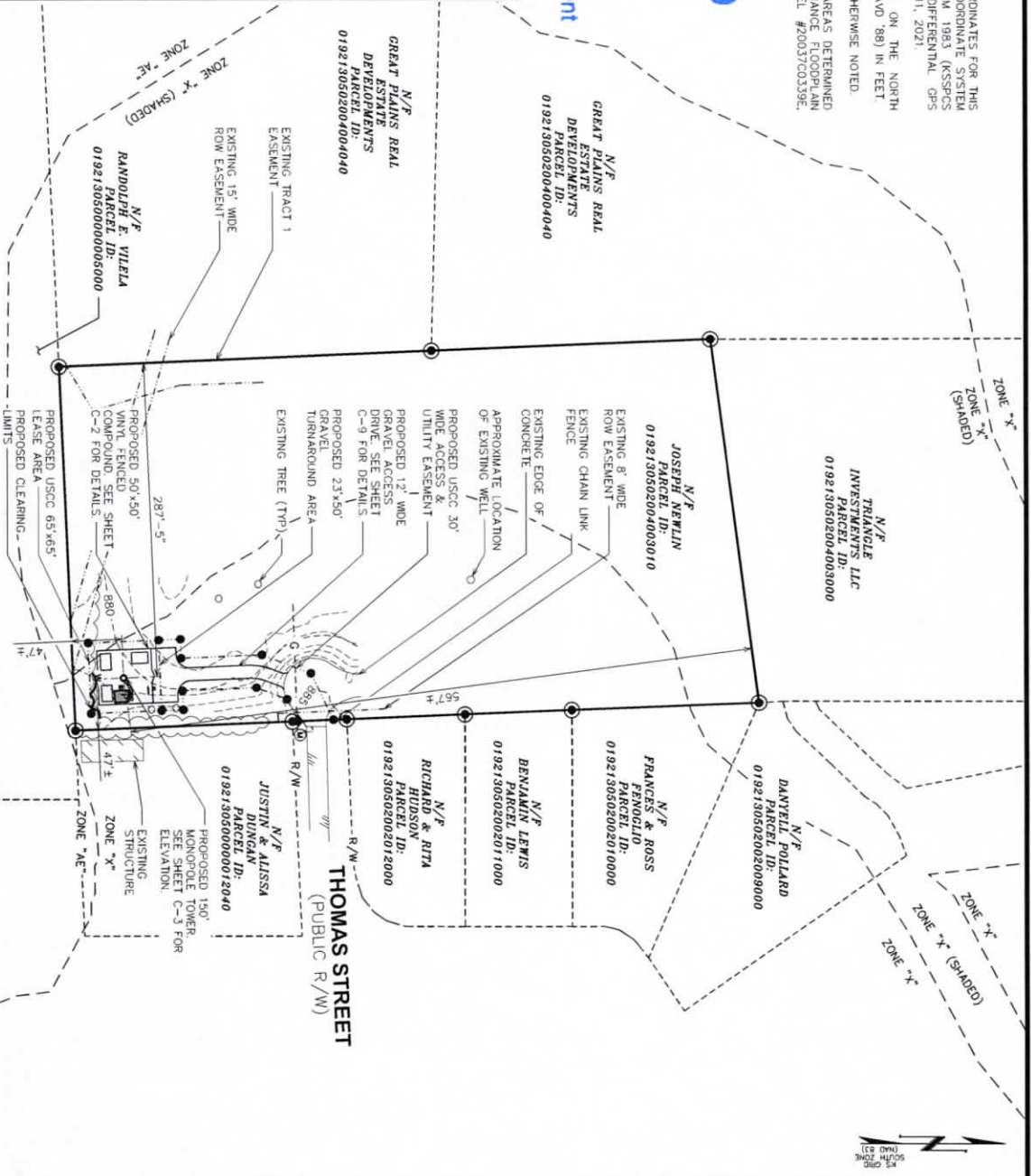
City of Pittsburg
Community Development

LEGEND

- EXIST. PROPERTY LINE
- ADJ. PROPERTY LINE
- EXIST. UTILITY POLE
- EXIST. LIGHT POLE
- EXIST. HYDRANT
- EXIST. TELLER PEDESTAL
- EXIST. MANHOLE
- PROPERTY CORNER
- LEASE/EASE CORNER
- EXIST. CONTOUR LINE
- EDGE OF PAVEMENT
- UNDERGROUND GAS
- RIGHT-OF-WAY
- VINYL FENCE
- EXISTING CROP LINE

SITE PLAN

SCALE: 1" = 100'



PLANS PREPARED FOR:
uscellular
800 CORNERSTONE DRIVE
KNOXVILLE, TN 37932
(865) 777-8054

PROJECT INFORMATION:
VIA CHRISTIE
SITE #: 589405
(E911 ADDRESS T.B.O.)
401 THOMAS STREET
PITTSBURG, KS 66762
(CRAWFORD COUNTY)

PLANS PREPARED BY:

TOWER ENGINEERING PROFESSIONALS
326 TRYON ROAD
RALEIGH, NC 27603-3630
OFFICE: (919) 661-6361
www.teppgroup.net

SEAL:
KANSAS PROFESSIONAL ENGINEER
2844
March 24, 2022

1	03-14-22	CONSTRUCTION
0	01-18-21	PRELIMINARY
REV	DATE	ISSUED FOR:
DRAWN BY:	GLB	CHECKED BY:
SHEET TITLE:	SHEET 2A	

SHEET NUMBER:	REVISION:
C-1	2
TEP#	257246

City of Pittsburgh
Community Development

		PLANS PREPARED FOR: 800 CORNERSTONE DRIVE KNOXVILLE, TN 37932 (865) 777-8054	
PROJECT INFORMATION: VIA CHRISTIE SITE #: 589405 (EST. ADDRESS T.B.D.) 1000 THE BRIDGE PITTSBURGH, PA 15222 (CRANFORD COUNTY)		PLANS PREPARED BY: 	
		TOWER ENGINEERING PROFESSIONALS 326 RYON ROAD RALEIGH, NC 27603-3630 OFFICE: (919) 661-6351 www.tepgroup.net	
SEAL: 		March 24, 2002	
2	03-26-02	CONSTRUCTION	
1	03-14-02	CONSTRUCTION	
0	10-10-01	PRELIMINARY	
REV	DATE	ISSUED FOR:	
DRAWN BY:	GLB	CHECKED BY:	GLB
SHEET TITLE: COMPOUND DETAIL			
SHEET NUMBER: C-2		REVISION: 2	
TEP #: 2077246			

NOTES:

1. PROPOSED CABLES TO BE RUN PER SPECIFICATIONS OF PASSING STRUCTURAL ANALYSIS.
2. TOWER SHALL BE CONSTRUCTED OF GALVANIZED STEEL OR PAINTED PER APPLICABLE STANDARDS OF THE FAA OR OTHER APPLICABLE FEDERAL OR STATE AGENCY
3. TOWER ELEVATION SHOWN FOR REFERENCE ONLY. VERIFY ACTUAL TOWER DESIGN & LOADING WITH TOWER DRAWINGS FROM MANUFACTURER AND/OR PASSING STRUCTURAL ANALYSIS PRIOR TO CONSTRUCTION.

EUPEN HYBRID CABLE LENGTH

PROPOSED RAYCAP QUANTITY AT GROUND LEVEL:	2
ICE BRIDGE LENGTH:	20'-FT
RAYCAP CENTERLINE + 20'-FT BUFFER:	165'-FT
TOTAL ESTIMATED LENGTH OF HYBRID CABLE:	185'-FT
TOTAL EST. LENGTH OF HYBRID CABLE (ROUNDED UP):	200'-FT

JUMPER INFO

FIBER/POWER JUMPER LENGTH FROM RAYCAP TO RRU			
BAND 2/4	BAND 5	BAND 71/12	
ALPHA SECTOR:	10-M (32.8 FT)	10-M (32.8 FT)	10-M (32.8 FT)
BETA SECTOR:	10-M (32.8 FT)	10-M (32.8 FT)	10-M (32.8 FT)
GAMMA SECTOR:	10-M (32.8 FT)	10-M (32.8 FT)	10-M (32.8 FT)

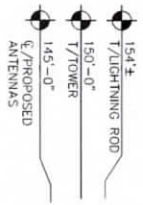
1/2" JUMPER FROM RRU TO ANTENNA			
BAND 2/4	BAND 5	BAND 71/12	
ALPHA SECTOR:	25'-FT	25'-FT	25'-FT
BETA SECTOR:	25'-FT	25'-FT	25'-FT
GAMMA SECTOR:	25'-FT	25'-FT	25'-FT

RET JUMPER INFO

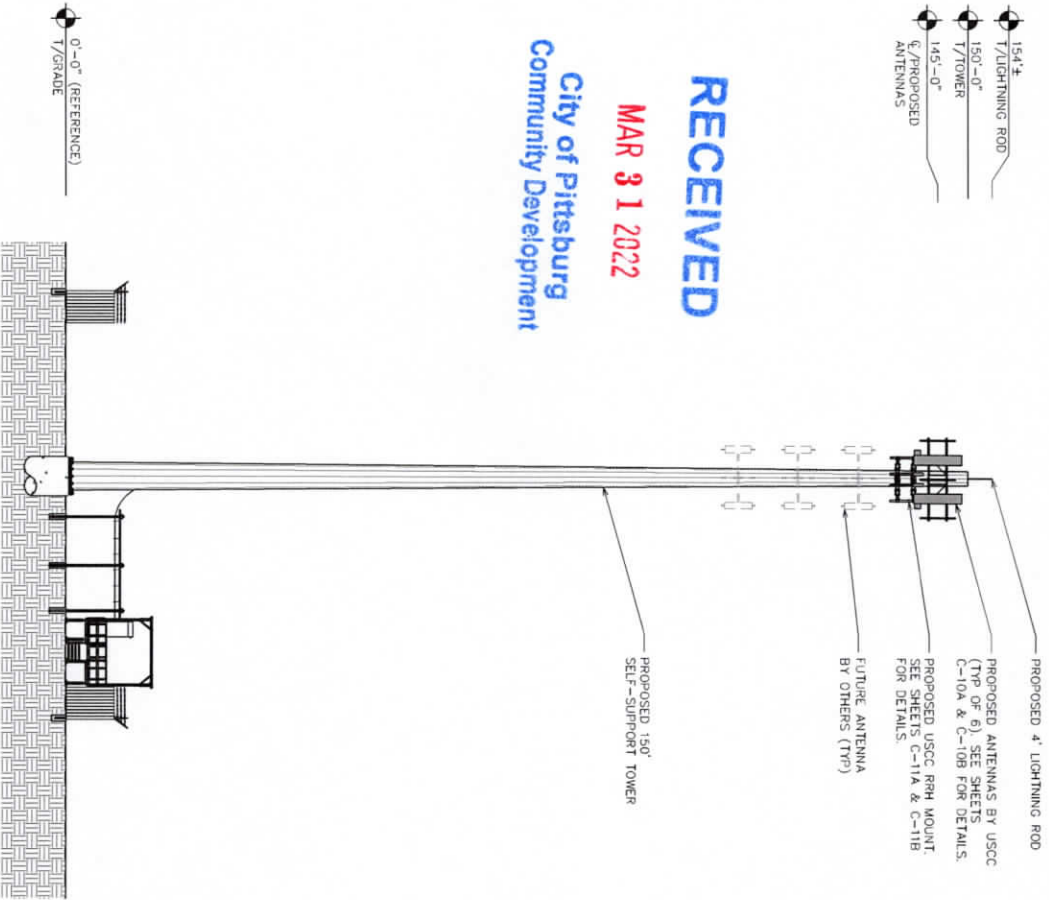
RRU TO ANTENNA			
BAND 5	BAND 71/12		
ALPHA SECTOR:	10-M (32.8 FT)	10-M (32.8 FT)	
BETA SECTOR:	10-M (32.8 FT)	10-M (32.8 FT)	
GAMMA SECTOR:	10-M (32.8 FT)	10-M (32.8 FT)	

TOWER ELEVATION

SCALE: 1" = 20'



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0 20 40
 SCALE IN FEET

PLANS PREPARED FOR:



800 CORNERSTONE DRIVE
 KNOXVILLE, TN 37932
 (865) 777-8054

PROJECT INFORMATION:

VIA CHRISTIE
 SITE #: 589405

(E911 ADDRESS T.B.O.)
 401 THOMAS STREET
 PITTSBURGH, KS 66762
 (CRAWFORD COUNTY)

PLANS PREPARED BY:



TOWER ENGINEERING PROFESSIONALS
 326 TRYON ROAD
 RALEIGH, NC 27603-3630
 OFFICE: (919) 661-6361
 www.tepgroup.net

SEAL:



1	03-14-22	CONSTRUCTION
0	10-10-21	PRELIMINARY
REV	DATE	ISSUED FOR:
DRAWN BY:	GLB	CHECKED BY:

SHEET TITLE:

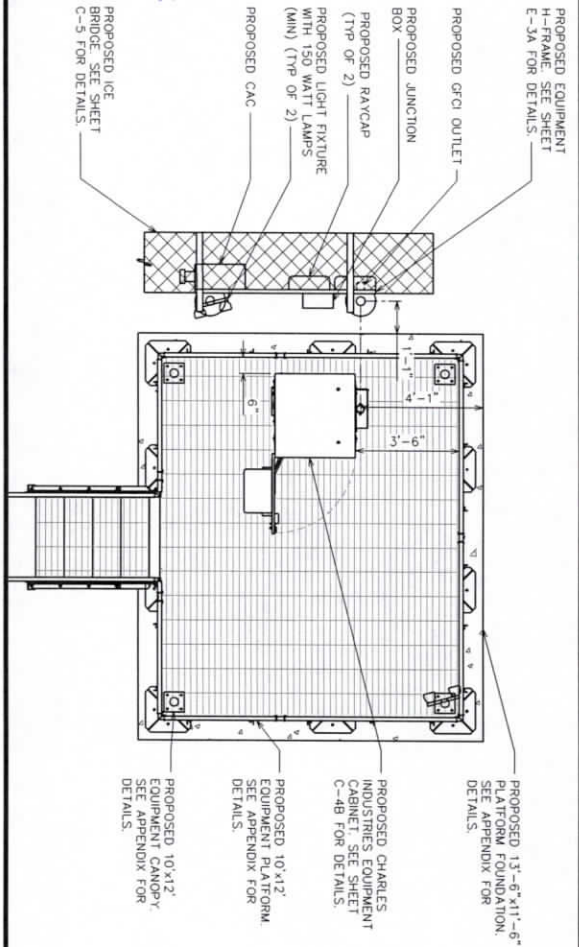
TOWER ELEVATION

SHEET NUMBER: REVISION:

C-3

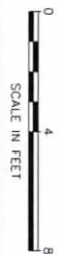
1
 TEP #: 257246

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City of Pittsburg
Community Development



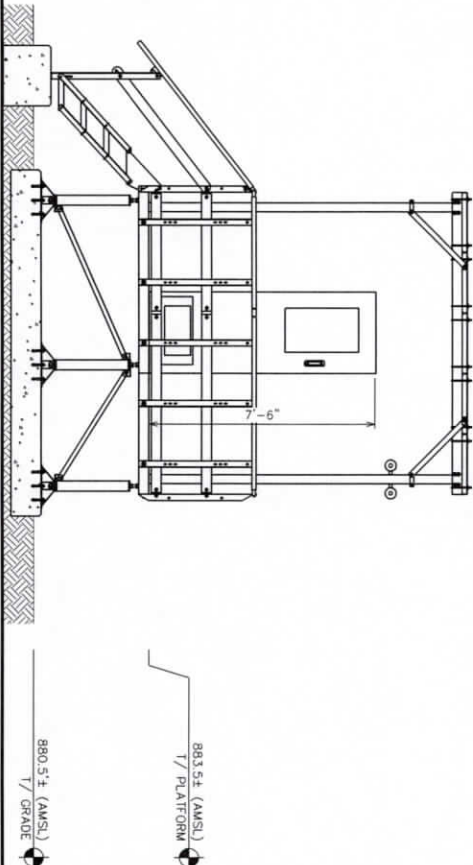
EQUIPMENT LAYOUT

SCALE: 1/4" = 1'-0"



EQUIPMENT ELEVATION

SCALE: 1/4" = 1'-0"



PLANS PREPARED FOR:
uscellular
 800 CORNERSTONE DRIVE
 KNOXVILLE, TN 37932
 (865) 777-8054

PROJECT INFORMATION:
VIA CHRISTIE
SITE #: 589405
 (E911 ADDRESS T.B.O.)
 401 THOMAS STREET
 PITTSBURG, KS 66762
 (CRAWFORD COUNTY)

PLANS PREPARED BY:

TOWER ENGINEERING PROFESSIONALS

326 TRYON ROAD
 RALEIGH, NC 27603-3530
 OFFICE: (919) 661-6351
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REV	DATE	ISSUED FOR:
2	03-26-22	CONSTRUCTION
1	03-14-22	CONSTRUCTION
0	10-19-21	PRELIMINARY
REV	DATE	ISSUED FOR:
DRAWN BY:	GLD	CHECKED BY:
		GLD

SHEET TITLE:
CABINET & PLATFORM DETAILS

SHEET NUMBER:
C-4A
 REVISION:
2
 TEP #: 25724G

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City of Pittsburgh
Community Development

CHARLES CABINET DETAIL (CUBE-SS4B231UN4)

SCALE: N.T.S.

LT-SS4B231UN4

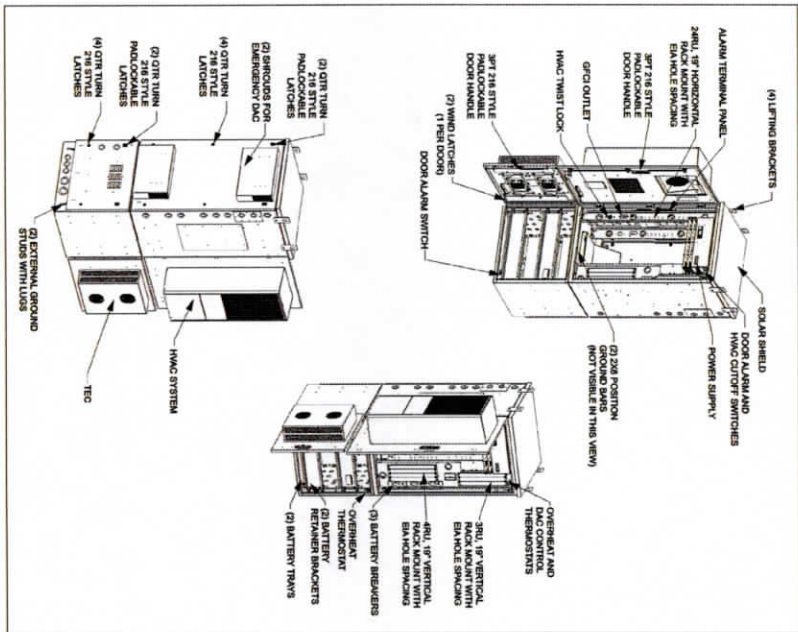


Figure 3 CUBE Components

2\"/>

Page 2 of 5

PLANS PREPARED FOR:



800 CORNERSTONE DRIVE
KNOXVILLE, TN 37932
(865) 777-8054

PROJECT INFORMATION:

VIA CHRISTIE
SITE #: 589405
(E911 ADDRESS T.B.O.)
401 THOMAS STREET
PITTSBURGH, PA 15222
(CRAWFORD COUNTY)

PLANS PREPARED BY:

TOWNE ENGINEERING PROFESSIONALS

326 TRYON ROAD
RALEIGH, NC 27603-3530
OFFICE: (919) 661-6351
www.towneengineering.com

SEAL:



SHEET TITLE:

CABINET & PLATFORM
DETAILS

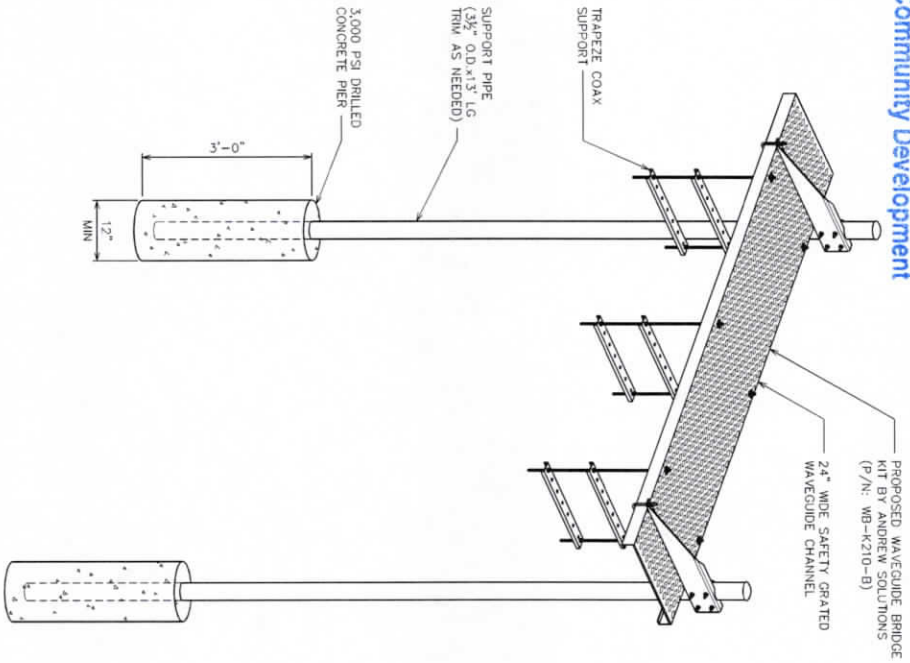
SHEET NUMBER: REVISION:

C-4B 1
TEP# 257246

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MAR 31 2022

City of Pittsburg
Community Development



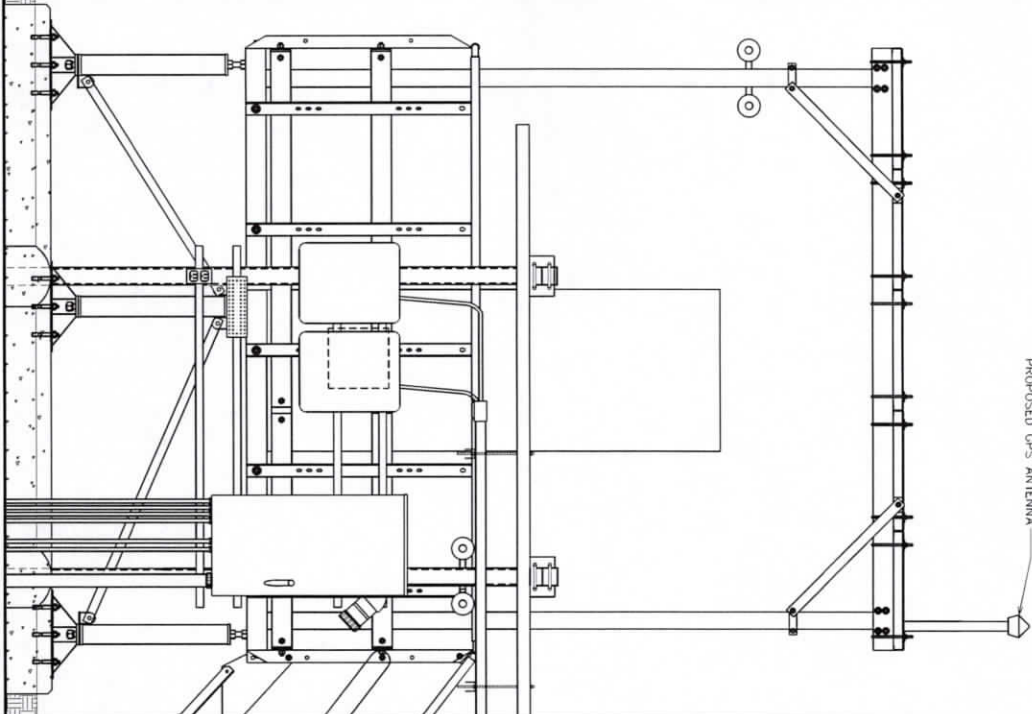
ICE BRIDGE DETAIL

SCALE: N.T.S.

NOTE:

GPS ANTENNA SHALL BE MOUNTED TO THE EQUIPMENT CANOPY WITH A UNIVERSAL GPS MOUNTING KIT (VALMONT P/N: B1841) OR AN APPROVED EQUIVALENT.

PROPOSED GPS ANTENNA



GPS MOUNTING DETAIL

SCALE: N.T.S.

PLANS PREPARED FOR:



800 CORNERSTONE DRIVE
KNOXVILLE, TN 37932
(865) 777-8054

PROJECT INFORMATION:

VIA CHRISTIE
SITE #: 589405

(E911 ADDRESS T.B.D.)
401 THOMAS STREET
PITTSBURG, KS 66762
(CRAWFORD COUNTY)

PLANS PREPARED BY:



TOWER ENGINEERING PROFESSIONALS
326 TRYON ROAD
RALEIGH, NC 27603-3530
OFFICE: (919) 661-5351
www.tepgroup.net

SEAL:



SHEET TITLE:

ICE BRIDGE
DETAIL

SHEET NUMBER:

C-5

REVISION:

2

TEP# 257246

DRAWN BY: GJB CHECKED BY: GJB

REV DATE ISSUED FOR:

1 03-14-22 CONSTRUCTION

0 10-16-21 PRELIMINARY

2 03-26-22 CONSTRUCTION

3 03-26-22 CONSTRUCTION

4 03-26-22 CONSTRUCTION

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54 03-26-22 CONSTRUCTION

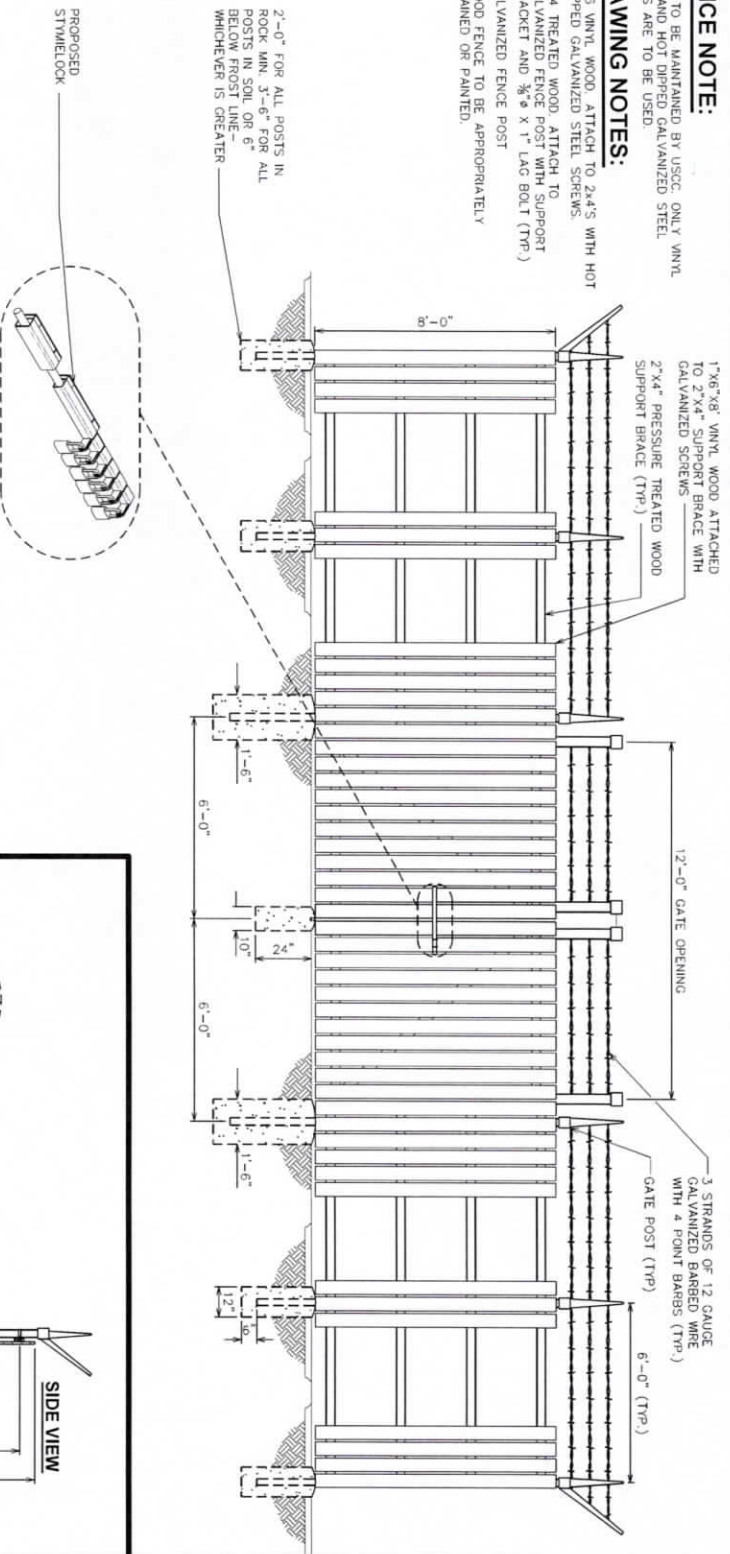
55 03-26-22 CONSTRUCTION

FENCE NOTE:

FENCE TO BE MAINTAINED BY USCC. ONLY VINYL WOOD AND HOT DIPPED GALVANIZED STEEL SCREWS ARE TO BE USED.

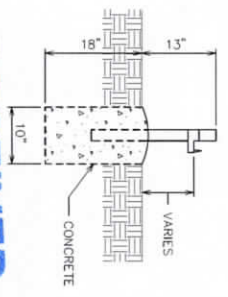
DRAWING NOTES:

- 1 1/6" VINYL WOOD ATTACH TO 2x4'S WITH HOT DIPPED GALVANIZED STEEL SCREWS.
- 2 2x4 TREATED WOOD ATTACH TO GALVANIZED FENCE POST WITH SUPPORT BRACKET AND 3/8" X 1" LAG BOLT (TYP)
- 3 GALVANIZED FENCE POST
- 4 WOOD FENCE TO BE APPROPRIATELY STAINED OR PAINTED.



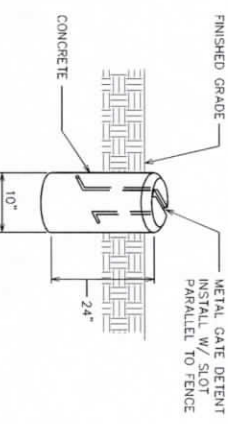
TYPICAL FENCE ELEVATION

SCALE: N.T.S.



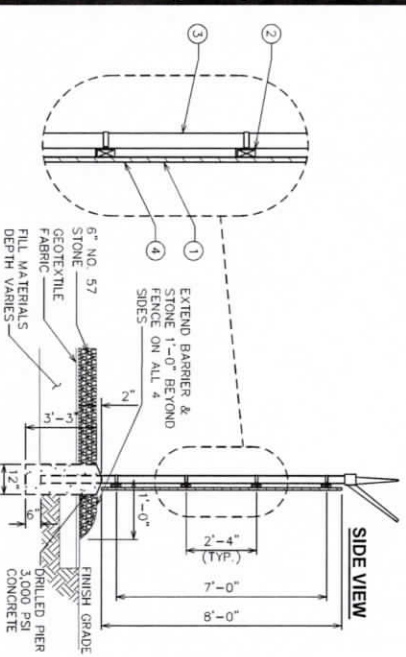
GATE STOP / KEEPER DETAIL

SCALE: N.T.S.



GATE DETENT DETAIL

SCALE: N.T.S.



FENCE DETAIL (SIDE VIEW)

SCALE: N.T.S.

PLANS PREPARED FOR:
uscellular
800 CORNERSTONE DRIVE
KNOXVILLE, TN 37932
(865) 777-8054

PROJECT INFORMATION:
VIA CHRISTIE
SITE #: 589405
(6911 ADDRESS T.B.O.)
KNOXVILLE, TN 37932
(CRAMFORD COUNTY)

PLANS PREPARED BY:



TOWER ENGINEERING PROFESSIONALS
285 TRYON ROAD
RALEIGH, NC 27603-6530
OFFICE: (919) 661-6361
www.tepgroup.net



REV	DATE	ISSUED FOR
1	03/14/22	CONSTRUCTION
0	10/16/21	PRELIMINARY
REV	DATE	ISSUED FOR
DRAWN BY: GLD	CHECKED BY: GLD	

FENCE DETAILS

SHEET NUMBER:	REVISION:
C-6	1
TDP#	297246

MAR 31 2022

NOTES:

1. SIGNS SHALL BE MADE OF ALUMINUM WITH 1/2" HOLES 3/4" FROM EACH CORNER TO HANG SIGNS ON FENCE.
2. SIGNS SHALL BE INSTALLED AS FOLLOWS:
GATE: NO TRESPASSING, RF GUIDELINES, RF WARNING, NFPA SULFURIC ACID, AUTHORIZED PERSONNEL ONLY
INTERIOR OF FENCE GATE: EXIT SIGN
3. SIGNS SHALL BE INSTALLED WITH CENTER AT 5' ABOVE FINISHED GRADE.

NO TRESPASSING
OPERATIONS LICENSED BY
THE FEDERAL GOVERNMENT
PERSONS VANDALIZING THIS FACILITY
WILL BE PROSECUTED UNDER APPLICABLE
FEDERAL, STATE AND LOCAL LAWS.
PRIOR TO ENTRY OR IN CASE OF
EMERGENCY CONTACT U.S. CELLULAR:
(800) 510-6091
SITE NUMBER 589405

NOTICE
GUIDELINES FOR WORKER'S
All persons should have electromagnetic energy (EMF) safety training and be aware of the following:
All personnel entering this site must be authorized.
Check all posted signs.
Assume all antennas are active.
Before working on antennas, notify carriers and disable.
Maintain minimum 3 feet clearance from all antennas.
Do not stand in front of antennas.
Use personal RF monitors while working near antennas.
Never operate base station antennas in equipment rooms.
Do not operate base station antennas in equipment rooms.

NOTICE
Radio frequency fields beyond
this point may exceed the FCC
general public exposure limit.
Only all posted signs and site guidelines
for working in radio frequency
environments.

Sulfuric Acid
Colorless to dark-brown, oil,
odorless liquid. Corrosive, causes
severe burns to eyes/skin/
respiratory tract. May cause
blindness. Chronic: tooth erosion,
GI disturbances, and dermatitis.
Reaction with water produces
excessive heat.
CAS No. 7664-93-9

1. NO TRESPASSING SIGN
SIZE: 22" X 22" (0.063" ALUMINUM)
(TO BE MOUNTED ON GATE)

2. RF GUIDELINES
SIZE: 6" X 4"
(TO BE MOUNTED ON GATE)

3. RF WARNING SIGN
SIZE: 10" X 14"
(TO BE MOUNTED ON GATE)

4. NFPA SULFURIC ACID SIGN
SIZE: 6.25" X 9"
(TO BE MOUNTED ON GATE)

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Community Development

EXIT

CAUTION
AUTHORIZED
PERSONNEL
ONLY

5. REFLECTIVE EXIT SIGN
SIZE: 10" X 7"
(TO BE MOUNTED TO INTERIOR GATE FENCE)

6. AUTHORIZED PERSONNEL ONLY SIGN
SIZE: 14" X 10"
(TO BE MOUNTED ON GATE)

TYPICAL SIGNS AND SPECIFICATIONS

SCALE: N.T.S.

PLANS PREPARED FOR:
uscellular
800 CORNERTONE DRIVE
KNOXVILLE, TN 37932
(865) 777-8054

PROJECT INFORMATION:
VIA CHRISTIE
SITE #: 589405
(591 ADDRESS, T.B.D.)
401 THOMAS STREET
PITTSBURGH, KS 66762
(CRAWFORD COUNTY)

PLANS PREPARED BY:

TOWER ENGINEERING PROFESSIONALS
326 TRYON ROAD
RALEIGH, NC 27603-6350
OFFICE: (919) 661-6351
www.tegroup.net

SEAL:

KANSAS
PROFESSIONAL ENGINEER
28446
March 24, 2022

1	03-14-22	CONSTRUCTION
0	10-16-21	PRELIMINARY
REV	DATE	ISSUED FOR:
DRAWN BY:	GLB	CHECKED BY:
		GLB

SIGNAGE DETAILS

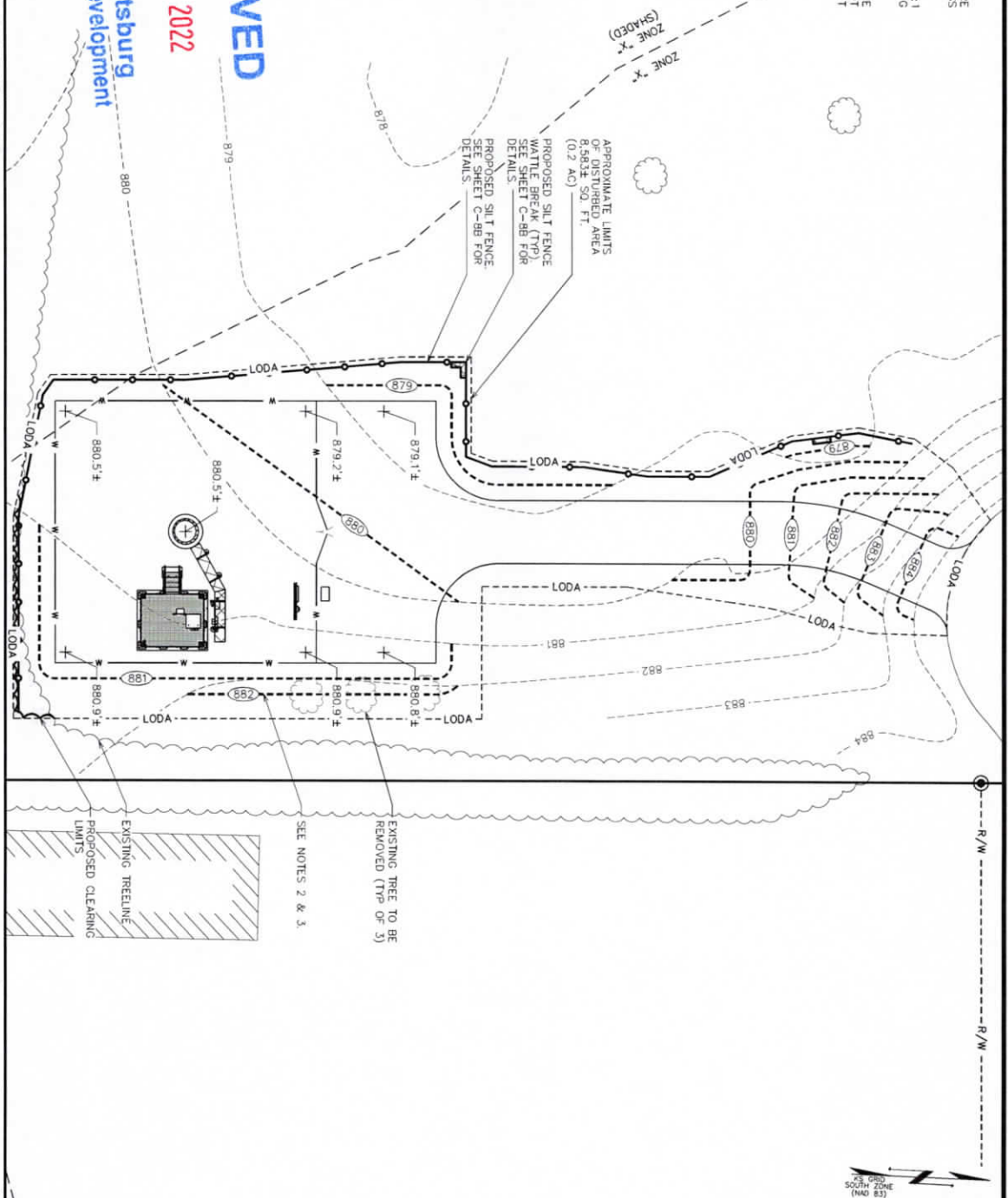
SHEET NUMBER:	REVISION:
C-7	1
TEP#:	25724G

NOTES:

1. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE ACROSS COMPOUND.
2. CONTRACTOR TO ENSURE 3:1 SLOPE BACK TO EXISTING GRADE.
3. CONTRACTOR TO ENSURE PROPOSED LODA DOES NOT EXTEND PAST PARENT PROPERTY LINE.

LEGEND

SILT FENCE	—○—
LODA	—●—



SOIL & EROSION CONTROL PLAN

SCALE: 1" = 20'

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City of Pittsburgh
Community Development

PLANS PREPARED FOR:



800 CORNERSTONE DRIVE
 KNOXVILLE, TN 37932
 (865) 777-8054

PROJECT INFORMATION:

VIA CHRISTIE
SITE #: 589405

(E91 ADDRESS T.B.D.)
 401 THOMAS STREET
 PITTSBURGH, KS 66762
 (CRAWFORD COUNTY)

PLANS PREPARED BY:

TOWER ENGINEERING PROFESSIONALS

326 TRYON ROAD
 RALEIGH, NC 27603-3580
 OFFICE: (919) 661-6351
 www.tepgroup.net

SEAL:



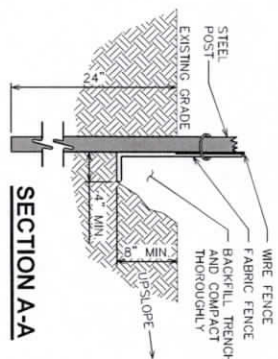
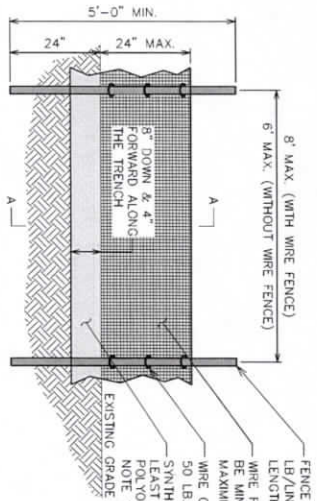
REV	DATE	ISSUED FOR:
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2	03-20-22	CONSTRUCTION
3	03-20-22	CONSTRUCTION
4	03-20-22	CONSTRUCTION
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97	03-20-22	CONSTRUCTION
98	03-20-22	CONSTRUCTION
99	03-20-22	CONSTRUCTION
100	03-20-22	CONSTRUCTION

SOIL AND EROSION CONTROL PLAN

SHEET NUMBER:	REVISION:
C-8A	2
TEP#: 257246	

NOTES:

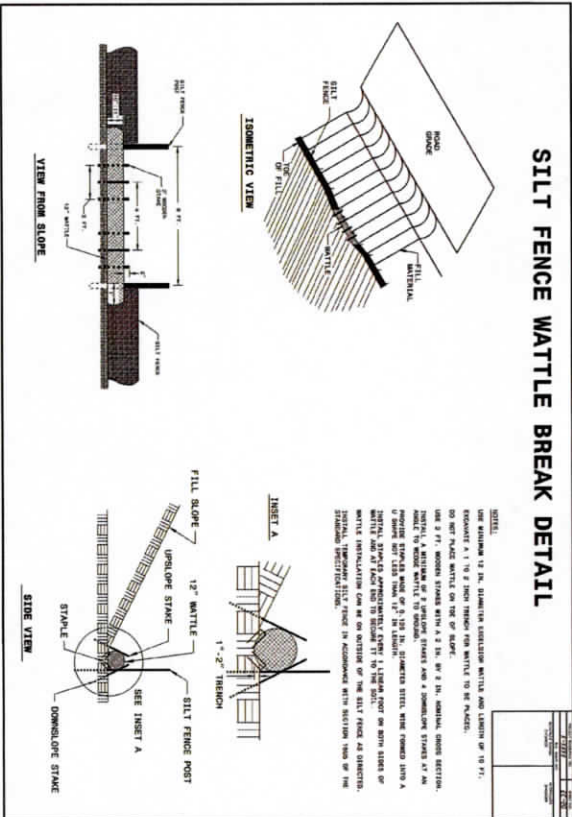
1. FILTER FABRIC SHALL CONFORM TO THE REQUIREMENTS LISTED IN ASTM D 6461.
2. ENDS OF INDIVIDUAL FILTER FABRIC SHALL BE SECURELY FASTENED TO A STAKE OR POST WITH PLASTIC ZIP TIES AT THE NEXT POST PLACED 12 INCHES OF FABRIC ALONG THE BOTTOM AND SIDE OF THE TRENCH.
3. INSPECT EACH RAINFALL.
4. WEAR AND AFTER EACH RAINFALL.
5. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE.
6. AFTER CONSTRUCTION IS COMPLETE, THE CONTRACTOR SHALL REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS, BRING THE AREA TO GRADE AND PROPERLY STABILIZE THE SITE.



SILT FENCE DETAIL

SCALE: N.T.S.

SILT FENCE WATTLE BREAK DETAIL



SILT WATTLE BREAK DETAIL

SCALE: N.T.S.

PLANS PREPARED FOR:
uscellular
 800 CORNERSTONE DRIVE
 KNOXVILLE, TN 37932
 (865) 777-8054

PROJECT INFORMATION:
VIA CHRISTIE
SITE #: 589405
 (E911 ADDRESS T.B.D.)
 401 THOMAS STREET
 PITTSBURGH, KS 66762
 (GRAHAMSBORO COUNTY)

PLANS PREPARED BY:

TOWER ENGINEERING PROFESSIONALS
 326 TRYON ROAD
 RALEIGH, NC 27603-3530
 OFFICE: (919) 661-6351
 www.tegroup.net

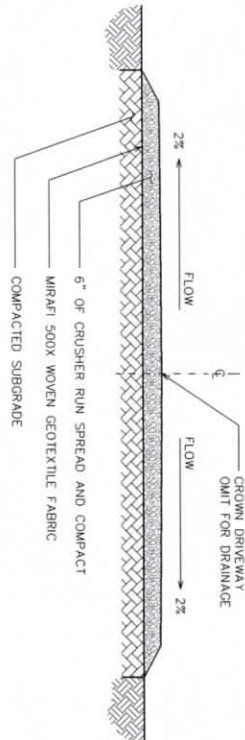


REV	DATE	ISSUED FOR
1	03-14-22	CONSTRUCTION
0	10-10-21	PRELIMINARY
REV	DATE	ISSUED FOR
DRAWN BY:	GLB	CHECKED BY: GLB

SHEET TITLE:
SILT FENCE & OUTLET DETAILS

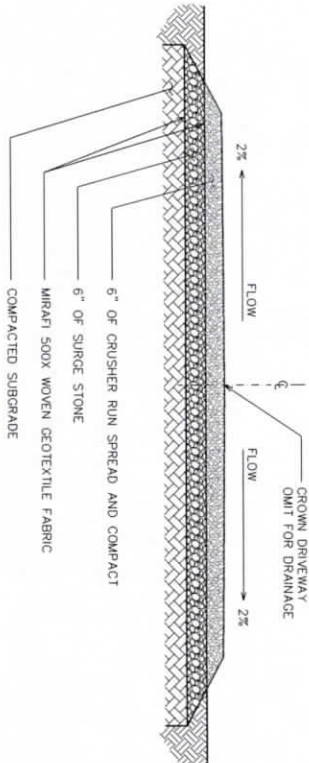
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C-8B	1
TEP#: 257246	

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STANDARD ROAD SECTION (GOOD SUBGRADE)

SCALE: N.T.S.



ALTERNATIVE ROAD SECTION (POOR SUBGRADE)

SCALE: N.T.S.

PLANS PREPARED FOR:

uscellular
 800 CORNERSTONE DRIVE
 KNOXVILLE, TN 37932
 (865) 777-8054

PROJECT INFORMATION:

VIA CHRISTIE
SITE #: 589405
 (E911 ADDRESS T.B.O.)
 401 THOMAS STREET
 PITTSBURG, MS 66762
 (CRAWFORD COUNTY)

PLANS PREPARED BY:



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 326 TRYON ROAD
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1	03-14-22	CONSTRUCTION
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SHEET TITLE:

**ACCESS ROAD
 DETAILS**

SHEET NUMBER: REVISION:

C-9

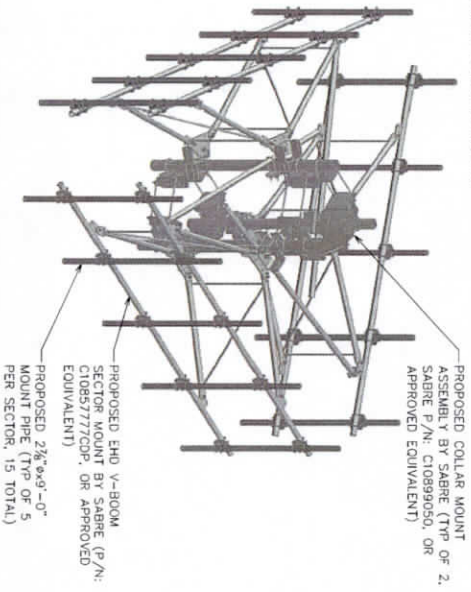
1
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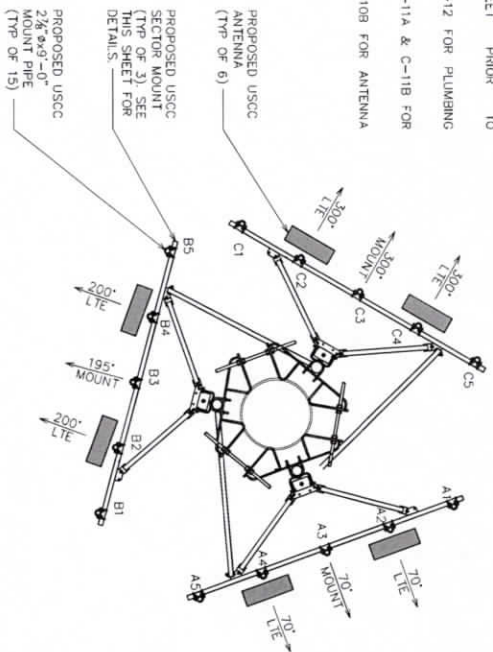
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Community Development

- NOTES:**
1. MOUNT INCLUDES ATTACHMENT HARDWARE MOUNT PILES SOLD SEPARATELY.
 2. ANTENNA MOUNT TO BE PROVIDED BY USCC.



NOTES:

1. CONTRACTOR TO CONFIRM ANTENNA AZIMUTH WITH USCC PRIOR TO INSTALLATION.
2. SEE SHEET C-112 FOR PLUMBING DIAGRAM.
3. SEE SHEETS C-11A & C-11B FOR RRM DETAILS.
4. SEE SHEET C-10B FOR ANTENNA DETAILS.



ANTENNA MOUNT DETAILS

SCALE: N.T.S.

MOUNT ORIENTATION

SCALE: 1/4" = 1'-0"



ANTENNA/CABLE SCHEDULE

ANTENNA	SECTOR	TECH	MANUFACTURER (MODEL #)	AZIMUTH (TRUE NORTH)	MOUNTING HEIGHT	LB TILT	MB TILT	MECH. D-TILT	EQUIPMENT	SURGE PROTECTION	COAX/CABLE	CABLE LENGTH*	COAX JUMPER*
A2	ALPHA	LTE	DENGYO OCT8-2LX2HX-BW65	70°	6' @ 145'-0"	-	-	0°	(3) NOKIA ALPHA RRM	(2) RUSDC-6567-PF-48 RAYCAP	1 1/4" HYBRID CABLE	200' ±	25' ±
A4	ALPHA	LTE	DENGYO OCT8-2LX2HX-BW65	70°	6' @ 145'-0"	-	-	0°	(3) NOKIA ALPHA RRM	(2) RUSDC-6567-PF-48 RAYCAP	1 1/4" HYBRID CABLE	200' ±	25' ±
B2	BETA	LTE	DENGYO OCT8-2LX2HX-BW65	200°	6' @ 145'-0"	-	-	0°	(3) NOKIA ALPHA RRM	(2) RUSDC-6567-PF-48 RAYCAP	1 1/4" HYBRID CABLE	200' ±	25' ±
B4	BETA	LTE	DENGYO OCT8-2LX2HX-BW65	200°	6' @ 145'-0"	-	-	0°	(3) NOKIA ALPHA RRM	(2) RUSDC-6567-PF-48 RAYCAP	1 1/4" HYBRID CABLE	200' ±	25' ±
C2	GAMMA	LTE	DENGYO OCT8-2LX2HX-BW65	300°	6' @ 145'-0"	-	-	0°	(3) NOKIA ALPHA RRM	(2) RUSDC-6567-PF-48 RAYCAP	1 1/4" HYBRID CABLE	200' ±	25' ±
C4	GAMMA	LTE	DENGYO OCT8-2LX2HX-BW65	300°	6' @ 145'-0"	-	-	0°	(3) NOKIA ALPHA RRM	(2) RUSDC-6567-PF-48 RAYCAP	1 1/4" HYBRID CABLE	200' ±	25' ±

- NOTES:**
1. CONTRACTOR SHALL FIELD VERIFY HYBRID CABLE AND COAX JUMPER LENGTHS PRIOR TO ORDERING MATERIALS.
 2. (2) ANTENNA PER SECTOR FOR A TOTAL OF (6) ANTENNAS.
 3. CONTRACTOR TO VERIFY AZIMUTHS PRIOR TO CONSTRUCTION.
 4. CONTRACTOR TO REQUEST RF SHEET FROM CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION.

RF CONFIGURATION

SCALE: N.T.S.

PLANS PREPARED FOR:

uscellular
800 CORNERSTONE DRIVE
KNOXVILLE, TN 37932
(865) 777-8054

PROJECT INFORMATION:

VIA CHRISTIE
SITE #: 589405
(E911 ADDRESS T.B.D.)
401 THOMAS STREET
PITTSBURG, KS 66762
(CRAWFORD COUNTY)

PLANS PREPARED BY:

TOWER ENGINEERING PROFESSIONALS
326 TRYON ROAD
RALEIGH, NC 27603-3530
OFFICE: (919) 661-5351
www.tepgroup.net

SCALE:



1	03.14.22	CONSTRUCTION
0	10.16.21	PRELIMINARY
REV	DATE	ISSUED FOR:
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SHEET TITLE:

ANTENNA MOUNTING DETAILS

SHEET NUMBER:

C-10A

REVISION: 1

TEP #: 257246

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City of Pittsburg
Community Development



NOKIA

Product Name	5G-A
Product Description	5G-A
Manufacturer	Nokia
Model	5G-A
Part Number	5G-A
Weight	5G-A
Dimensions	5G-A
Material	5G-A
Finish	5G-A
Color	5G-A
Accessories	5G-A
Warranty	5G-A
Notes	5G-A



NOKIA

Product Name	5G-A
Product Description	5G-A
Manufacturer	Nokia
Model	5G-A
Part Number	5G-A
Weight	5G-A
Dimensions	5G-A
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Finish	5G-A
Color	5G-A
Accessories	5G-A
Warranty	5G-A
Notes	5G-A

NOKIA

Product Name	5G-A
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Material	5G-A
Finish	5G-A
Color	5G-A
Accessories	5G-A
Warranty	5G-A
Notes	5G-A



RRH SPECIFICATIONS

SCALE: N.T.S.

PLANS PREPARED FOR:



800 CORNERSTONE DRIVE
KNOXVILLE, TN 37922
(865) 777-8054

PROJECT INFORMATION:

VIA CHRISTIE
SITE #: 589405
(931) ADDRESS: I.B.O.
401 THOMAS STREET
PITTSBURG, KS 66762
(CRAWFORD COUNTY)

PLANS PREPARED BY:



TOWER ENGINEERING PROFESSIONALS
326 TRYON ROAD
RALEIGH, NC 27603-3530
OFFICE: (919) 661-5351
www.tepgroup.net

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March 14, 2022

1	03.14.22	CONSTRUCTION
0	10.10.21	PRELIMINARY
REV	DATE	ISSUED FOR:
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SHEET TITLE:

SHEET TITLE:

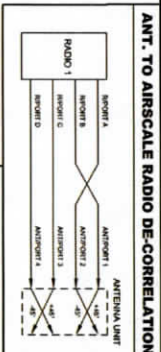
RRH
SPECIFICATIONS

SHEET NUMBER: REVISION:

C-11B 1
TEP# 25724G



NSN/ B71/B12 / B2/B4 / B5
PER SECTOR CONFIGURATION



CABLE LEGEND

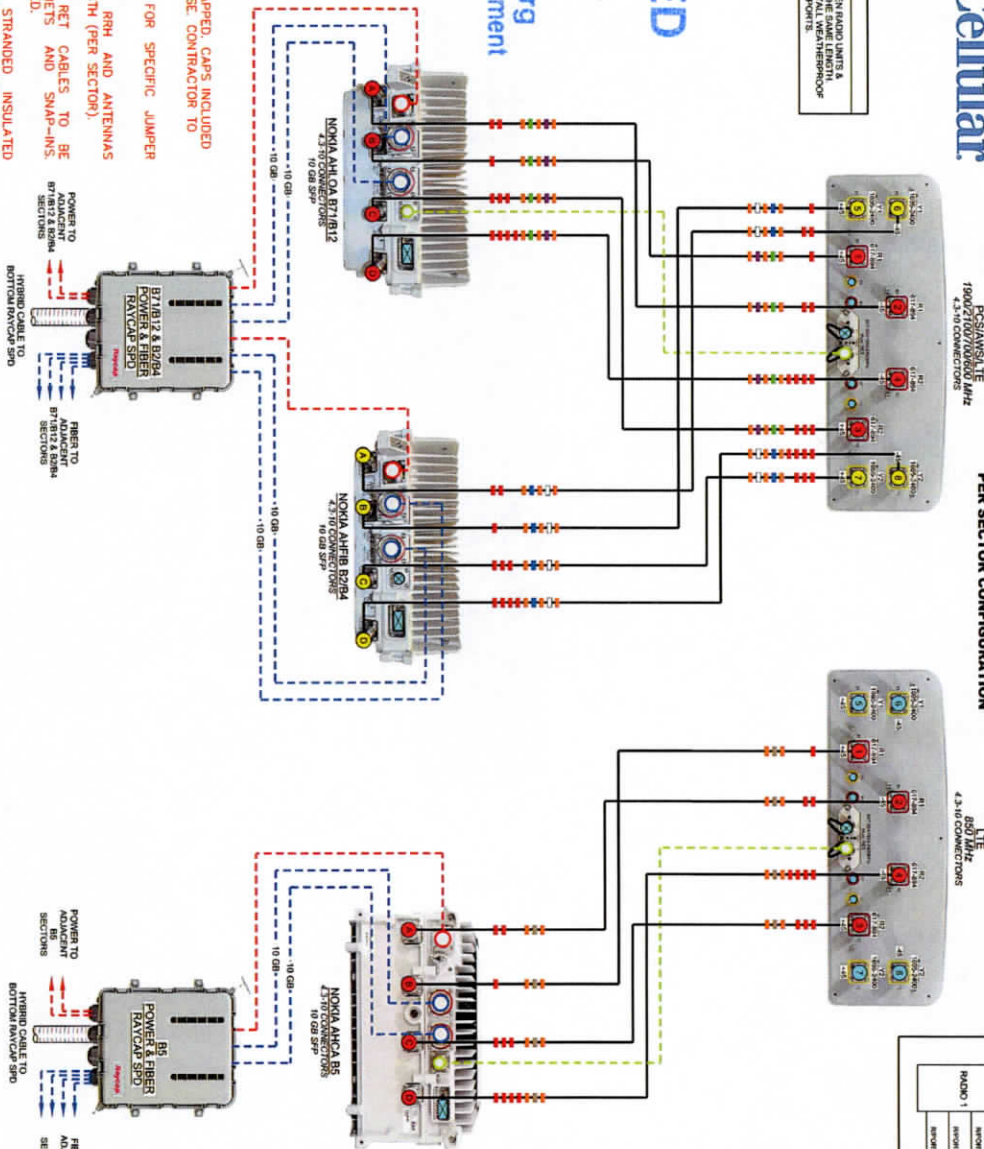
- ELVEN HYBRID CABLE
- 1/2 COAX JUMPER
- FIBER JUMPER
- POWER JUMPER
- NET JUMPER
- WID BAND PORT
- LOW BAND PORT
- WEATHERPROOF CAP

- NOTES:
1. ALL JUMPER BETWEEN AND UNITS & ANTENNAS MUST BE THE SAME LENGTH.
 2. CONTRACTOR TO INSTALL WEATHERPROOF CAP ON ALL WIDBAND PORTS.

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NOTES:

1. UNUSED PORTS TO BE CAPPED. CAPS INCLUDED WITH EQUIPMENT PURCHASE. CONTRACTOR TO SUPPLY IF NECESSARY.
2. SEE TOWER ELEVATION FOR SPECIFIC JUMPER LENGTHS AND SIZES.
3. ALL JUMPERS BETWEEN RH AND ANTENNAS MUST BE THE SAME LENGTH (PER SECTOR).
4. EXCESS JUMPER AND RET CABLES TO BE SECURED WITH GROMMETS AND SNAP-INS. VELCRO MAY NOT BE USED.
5. CONTRACTOR TO USE STRANDED INSULATED GROUND LEAD #6, SPECIFIED BY MANUFACTURER.
6. USE LDF4 JUMPERS FOR BAND 5.

DATE CREATED: 06/11/2011

LTE PLUMBING DIAGRAM

SCALE: N.T.S.

CONTAINS U.S. CELLULAR CONFIDENTIAL INFORMATION NOT FOR EXTERNAL USE OR DISCLOSURE WITHOUT PROPER AUTHORIZATION.

PLUMBING DIAGRAM: DX212



800 CORNERSTONE DRIVE
KNOXVILLE, TN 37932
(865) 777-8054

PLANS PREPARED FOR:

PROJECT INFORMATION:
VIA CHRISTIE
SITE #: 589405
(6911 ADDRESS T.B.O.)
401 THOMAS STREET
PITTSBURG, KS 66762
(CRAWFORD COUNTY)

PLANS PREPARED BY:

TOWER ENGINEERING PROFESSIONALS
326 TRYON ROAD
RALEIGH, NC 27603-3530
OFFICE: (919) 661-5351
www.teppgroup.net



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0	10-10-21	PRELIMINARY
2	01-10-21	ISSUED FOR

LTE PLUMBING DIAGRAM

SHEET NUMBER:	REVISION:
C-12	1
TEP#	257246

NOTE:
REFER TO USCC DOCUMENT "TOWER MOUNTED EQUIPMENT AND TOWER CABLE STANDARDS AT CELL SITES" FOR COMPLETE COLOR CODING STANDARDS.

CONNECTOR 13 CONNECTOR 14 CONNECTOR 15 CONNECTOR 16 CONNECTOR 17 CONNECTOR 18

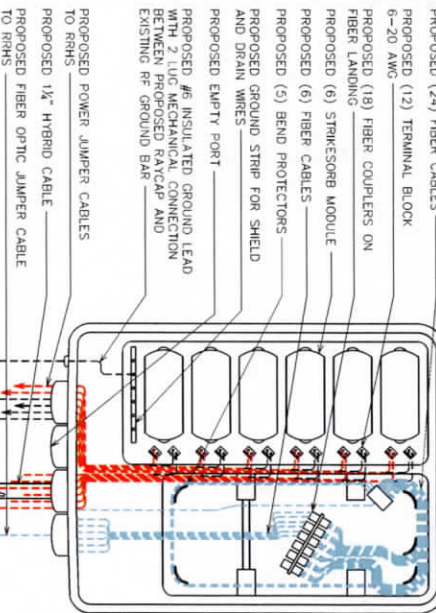
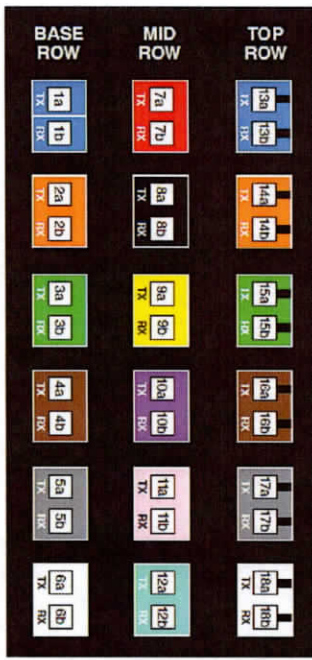
13a BLUE TX	14a ORANGE RX	15a GREEN TX	16a BROWN RX	17a SLATE TX	18a WHITE TX
13b BLUE RX	14b ORANGE TX	15b GREEN RX	16b BROWN TX	17b SLATE RX	18b WHITE RX

CONNECTOR 7 CONNECTOR 8 CONNECTOR 9 CONNECTOR 10 CONNECTOR 11 CONNECTOR 12

7a RED TX	8a BLACK TX	9a YELLOW TX	10a VIOLET TX	11a ROSE TX	12a AQUA TX
7b RED RX	8b BLACK RX	9b YELLOW RX	10b VIOLET RX	11b ROSE RX	12b AQUA RX

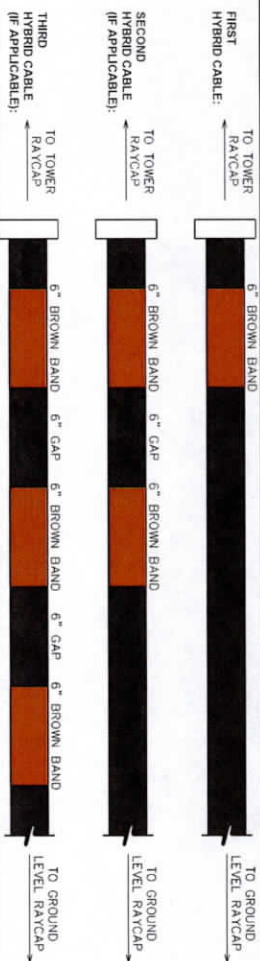
CONNECTOR 1 CONNECTOR 2 CONNECTOR 3 CONNECTOR 4 CONNECTOR 5 CONNECTOR 6

1a BLUE TX	2a ORANGE TX	3a GREEN TX	4a BROWN TX	5a SLATE TX	6a WHITE TX
1b BLUE RX	2b ORANGE RX	3b GREEN RX	4b BROWN RX	5b SLATE RX	6b WHITE RX



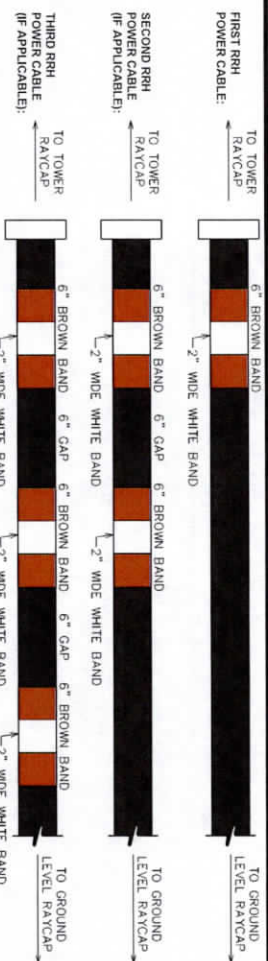
FIBER CABLE LABELING

SCALE: N.T.S.



HYBRID CABLE LABELING

SCALE: N.T.S.



POWER CABLE LABELING

SCALE: N.T.S.

RAYCAP CABLING

SCALE: N.T.S.

PLANS PREPARED FOR:
uscellular
800 CORNERSTONE DRIVE
KNOXVILLE, TN 37932
(865) 777-8054

PROJECT INFORMATION:
VIA CHRISTIE
SITE #: 589405
(E911 ADDRESS T.B.D.)
401 THOMAS STREET
PITTSBURG, KS 66782
(CRAWFORD COUNTY)

PLANS PREPARED BY:

TOWER ENGINEERING PROFESSIONALS
326 TRYON ROAD
RALEIGH, NC 27603-3530
OFFICE: (919) 661-5351
www.tepgroup.net

SEAL:

SHEET TITLE: LABELING STANDARDS I

REV	DATE	ISSUED FOR:
1	03-14-22	CONSTRUCTION
0	10-16-21	PRELIMINARY

DRAWN BY: GJB CHECKED BY: GJB

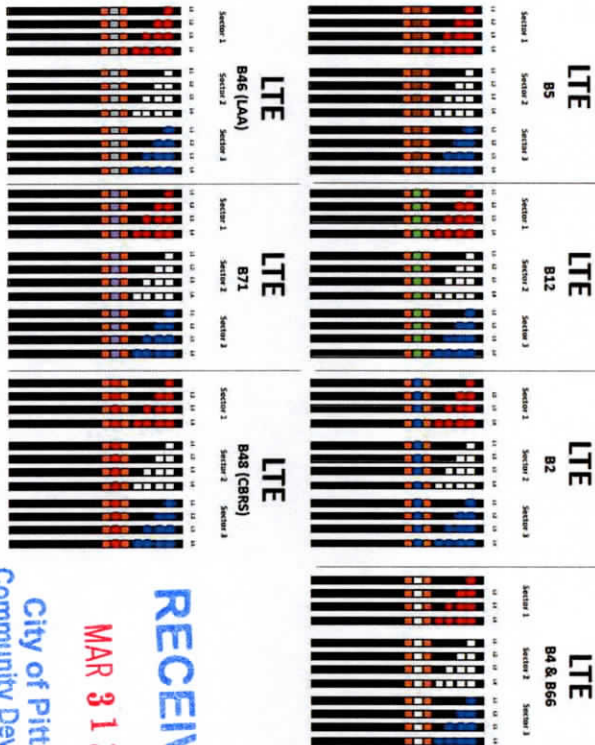
SHEET NUMBER: C-13A

REVISION:	1
TEP#	25724G

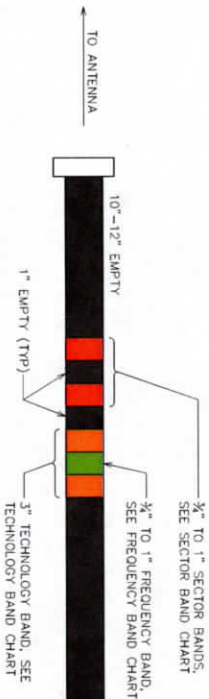
Sector Band Assignments (Most Common Case: Single Technology within the Sector)				
Sector Band	Assigned Color	Line 1	Line 2	Line 3
Alpha (Sector 1)	red	1 red band	2 red bands	3 red bands
Beta (Sector 2)	white	1 white band	2 white bands	3 white bands
Gamma (Sector 3)	blue	1 blue band	2 blue bands	3 blue bands
Delta (Sector 4, if applicable)	green	1 green band	2 green bands	3 green bands
Epsilon (Sector 5, if applicable)	violet	1 violet band	2 violet bands	3 violet bands
Zeta (Sector 6, if applicable)	brown	1 brown band	2 brown bands	3 brown bands

USC COAX Color Code Standard

FREQUENCY BAND	
FREQUENCY	FREQUENCY BAND
700 (B12)	GREEN
800 (B5)	BROWN
1900 (B2)	BLUE
2100 (B4 & B6)	WHITE
5100 (B46)-LAA	GREY
600 (B71)	VIOLET
3.5 GHz	RED



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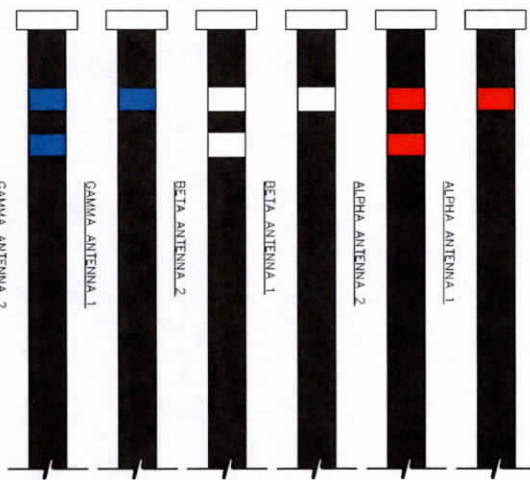


COAX CABLE BANDING

SCALE: N.T.S.

RET SECTOR BAND

SECTOR	LINE 1 - FIRST TECHNOLOGY	LINE 2 - FIRST TECHNOLOGY
ALPHA	(1) RED BAND	(2) RED BAND
BETA	(1) WHITE BAND	(2) WHITE BAND
GAMMA	(1) BLUE BAND	(2) BLUE BAND



RET CABLE BANDING

SCALE: N.T.S.

PLANS PREPARED FOR:
uscellular
 800 CORNERSTONE DRIVE
 KNOXVILLE, TN 37932
 (865) 777-8054

PROJECT INFORMATION:
VIA CHRISTIE
SITE #: 589405
 (E911 ADDRESS T.B.D.)
 PITTSBURGH, PA 15202
 (CRANEFORD COUNTY)

PLANS PREPARED BY:

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SHEET TITLE:	
LABELING STANDARDS II	
DATE	ISSUED FOR:
DATE	CHECKED BY:
DATE	CHECKED BY:

SHEET NUMBER:	
C-13B	
REVISION:	1
TEP #:	25724G

MAR 31 2022

City of Pittsburgh
Community Development

SCOPE:

1. PROVIDE LABOR, MATERIALS, INSPECTION, AND TESTING TO PROVIDE CODE COMPLIANCE FOR ELECTRICAL, TELEPHONE, AND GROUNDING/LIGHTNING SYSTEMS.

CODES:

1. THE INSTALLATION SHALL COMPLY WITH APPLICABLE LAWS AND CODES. THESE INCLUDE BUT ARE NOT LIMITED TO THE LATEST ADOPTED EDITIONS OF:
A. THE NATIONAL ELECTRICAL SAFETY CODE
B. THE NATIONAL ELECTRICAL CODE - NFPA-70
C. REGULATIONS OF THE SERVING UTILITY COMPANY
D. LOCAL AND STATE AMENDMENTS
E. THE INTERNATIONAL ELECTRIC CODE - IEC (WHERE APPLICABLE)

2. PERMITS REQUIRED SHALL BE OBTAINED BY THE CONTRACTOR.
3. AFTER COMPLETION AND FINAL INSPECTION OF THE WORK, THE OWNER SHALL BE FURNISHED A CERTIFICATE OF COMPLETION AND APPROVAL.

TESTING:

1. UPON COMPLETION OF THE INSTALLATION, OPERATE AND ADJUST THE EQUIPMENT AND SYSTEMS TO MEET SPECIFIED PERFORMANCE REQUIREMENTS. THE TESTING SHALL BE DONE BY QUALIFIED PERSONNEL.

GUARANTEE:

1. IN ADDITION TO THE GUARANTEE OF THE EQUIPMENT BY THE MANUFACTURER, EACH PIECE OF EQUIPMENT SPECIFIED HEREIN SHALL ALSO BE GUARANTEED FOR DEFECTS OF MATERIAL OR WORKMANSHIP OCCURRING DURING A PERIOD OF ONE (1) YEAR FROM FINAL ACCEPTANCE OF THE WORK BY THE OWNER AND WITHOUT EXPENSE TO THE OWNER.
2. THE WARRANTY CERTIFICATES & GUARANTEES FURNISHED BY THE MANUFACTURERS SHALL BE TURNED OVER TO THE OWNER.

UTILITY CO-ORDINATION:

1. CONTRACTOR SHALL COORDINATE WORK WITH THE POWER AND TELEPHONE COMPANIES AND SHALL COMPLY WITH THE SERVICE REQUIREMENTS OF EACH UTILITY COMPANY.

EXAMINATION OF SITE:

1. PRIOR TO BEGINNING WORK, THE CONTRACTOR SHALL VISIT THE SITE OF THE JOB AND SHALL FAMILIARIZE HIMSELF WITH THE CONDITIONS AFFECTING THE PROPOSED ELECTRICAL INSTALLATION AND SHALL MAKE PROVISIONS AS NECESSARY TO PROTECT EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND WORKING SYSTEM OR SYSTEMS.

CUTTING, PATCHING AND EXCAVATION:

1. CORROSION OF STEELS, CHASES, ETC., BETWEEN SUBCONTRACTORS WILL BE REQUIRED PRIOR TO THE CONSTRUCTION OF ANY PORTION OF THE WORK, CUTTING AND PATCHING OF WALLS, PARTITIONS, FLOORS, AND CHASES IN CONCRETE, WOOD, STEEL OR MASONRY SHALL BE DONE AS PROVIDED ON THE DRAWINGS.

2. NECESSARY EXCAVATIONS AND BACKFILLING INCIDENTAL TO THE ELECTRICAL WORK SHALL BE PROVIDED BY THE ELECTRICAL CONTRACTOR UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWING.

3. SEAL PENETRATIONS THROUGH RATED WALLS, FLOORS, ETC., WITH APPROVED METHOD AS LISTED BY UL.

RACEWAYS / CONDUITS GENERAL:

1. CONDUCTORS SHALL BE INSTALLED IN LISTED RACEWAYS. CONDUIT SHALL BE RIGID STEEL, EMT, SCH40 PVC, OR SCH80 PVC AS INDICATED ON THE DRAWINGS. THE RACEWAY SYSTEM SHALL BE COMPLETE BEFORE INSTALLING CONDUCTORS.
2. EXTERIOR RACEWAYS AND GROUNDING SLEEVES SHALL BE SEALED AT POINTS OF ENTRANCE AND EXIT. THE RACEWAY SYSTEM SHALL BE BONDED PER NEC.

EXTERIOR CONDUIT:

1. EXPOSED CONDUIT SHALL BE NEATLY INSTALLED AND RUN PARALLEL OR PERPENDICULAR TO STRUCTURAL ELEMENTS, SUPPORTS AND MOUNTING HARDWARE SHALL BE HOT DIPPED GALVANIZED STEEL.
2. THE CONDUIT SHALL BE RIGID STEEL AT GRADE TRANSITIONS OR WHERE EXPOSED TO DAMAGE.
3. UNDERGROUND CONDUITS SHALL BE RIGID STEEL, SCH40 PVC, OR SCH80 PVC AS INDICATED ON THE DRAWINGS.

4. BURIAL DEPTH OF CONDUITS SHALL BE AS REQUIRED BY CODE FOR EACH SPECIFIC CONDUIT TYPE AND APPLICATION, BUT SHALL NOT BE LESS THAN THE FROST DEPTH AT THE SITE.
5. CONDUIT ROUTES ARE SCHEMATIC. CONTRACTOR SHALL FIELD VERIFY ROUTES BEFORE BID. COORDINATE ROUTE WITH WIRELESS CARRIER AND/OR BUILDING OWNER.

INTERIOR CONDUIT:

1. CONCEALED CONDUIT IN WALLS OR INTERIOR SPACES ABOVE GRADE MAY BE EMT OR PVC.
2. CONDUIT RUNS SHALL USE APPROVED COUPLINGS AND CONNECTORS. PROVIDE INSULATED BUSHING FOR ALL CONDUIT TERMINATIONS. CONDUIT RUNS IN A WET LOCATION SHALL HAVE WATERPROOF FITTINGS.
3. PROVIDE SUPPORTS FOR CONDUITS IN ACCORDANCE WITH NEC REQUIREMENTS. CONDUITS SHALL BE SIZED AS REQUIRED BY NEC.

EQUIPMENT:

1. DISCONNECT SWITCHES SHALL BE SERVICE ENTRANCE RATED, HEAVY DUTY TYPE.

2. CONTRACTOR SHALL VERIFY MAXIMUM AVAILABLE FAULT CURRENT AND COORDINATE INSTALLATION WITH THE LOCAL UTILITY BEFORE STARTING WORK. CONTRACTOR WILL VERIFY THAT EXISTING CIRCUIT BREAKERS ARE RATED FOR MORE THAN AVAILABLE FAULT CURRENT AND REPLACE AS NECESSARY.
3. NEW CIRCUIT BREAKERS SHALL BE RATED TO WITHSTAND THE MAXIMUM AVAILABLE FAULT CURRENT AS DETERMINED BY THE LOCAL UTILITY.

CONDUCTORS:

1. FURNISH AND INSTALL CONDUCTORS SPECIFIED IN THE DRAWINGS. CONDUCTORS SHALL BE COPPER AND SHALL HAVE TYPE THWN (90° C) INSULATION, RATED FOR 600 VOLTS.

2. THE USE OF ALUMINUM CONDUCTORS SHALL BE LIMITED TO THE SERVICE FEEDERS INSTALLED BY THE UTILITY.

3. CONDUCTORS SHALL BE PROVIDED AND INSTALLED AS FOLLOWS:

- A. MINIMUM WIRE SIZE SHALL BE #12 AWG.
- B. CONDUCTORS SIZE #8 AND LARGER SHALL BE STRANDED. CONDUCTORS SIZE #10 AND #12 MAY BE SOLID OR STRANDED.
- C. CONNECTION FOR #10 AWG, #12 AWG SHALL BE BY TWISTING TIGHT AND INSTALLING INSULATED PRESSURE OR WIRE NUT CONNECTIONS.
- D. CONNECTION FOR #8 AWG AND LARGER SHALL BE BY USE OF STEEL CRIMP-ON SLEEVES WITH NYLON INSULATOR.

3. CONDUCTORS SHALL BE COLOR CODED IN ACCORDANCE WITH NEC STANDARDS.

UL COMPLIANCE:

1. ELECTRICAL MATERIALS, DEVICES, CONDUCTORS, APPLIANCES, AND EQUIPMENT SHALL BE LABELED/LISTED BY UL OR ACCEPTED BY JURISDICTION (I.E., LOCAL, COUNTY OR STATE) APPROVED THIRD PARTY TESTING AGENCY.

GROUNDING:

1. ELECTRICAL NEUTRALS, RACEWAYS AND NON-CURRENT CARRYING PARTS OF ELECTRICAL EQUIPMENT AND ASSOCIATED ENCLOSURES SHALL BE GROUNDED IN ACCORDANCE WITH NEC ARTICLE 250. THIS SHALL INCLUDE NEUTRAL CONDUCTORS, CONDUITS, SUPPORTS, CABINETS, BOXES, GROUND BUSSES, ETC. THE NEUTRAL CONDUCTOR FOR EACH SYSTEM SHALL BE GROUNDED AT A SINGLE POINT.


2. PROVIDE GROUND CONDUCTOR IN RACEWAYS PER NEC.

3. PROVIDE BONDING AND GROUND TO MEET NFPA 780 - "LIGHTNING PROTECTION" AS A MINIMUM.

4. PROVIDE GROUNDING SYSTEM AS INDICATED ON THE DRAWINGS, AS REQUIRED BY THE NATIONAL ELECTRIC CODE, RADIO EQUIPMENT MANUFACTURERS, AND MOTOROLA 856 (AS APPLICABLE).

ABBREVIATIONS AND LEGEND

A	— AMPERE	PNLB	— PANELBOARD
AFG	— ABOVE FINISHED GRADE	PVC	— RIGID NON-METALLIC CONDUIT
ATS	— AUTOMATIC TRANSFER SWITCH	RGS	— RIGID GALVANIZED STEEL CONDUIT
AWG	— AMERICAN WIRE GAUGE	SW	— SWITCH
BCW	— BARE COPPER WIRE	TGB	— TOWER GROUND BAR
BFG	— BELOW FINISHED GRADE	UL	— UNDERWRITERS LABORATORIES
BKR	— BREAKER	V	— VOLTAGE
C	— CIRCUIT	W	— WATTS
CKT	— CIRCUIT	XFMR	— TRANSFORMER
DISC	— DISCONNECT	XMTX	— TRANSMITTER
ECR	— EXTERNAL GROUND RING		
EMT	— ELECTRIC METALLIC TUBING		
FSC	— FLEXIBLE STEEL CONDUIT		
GEN	— GENERATOR		
GPS	— GLOBAL POSITIONING SYSTEM		
GRO	— GROUND		
IGB	— ISOLATED GROUND BAR		
ICR	— INTERIOR GROUND RING (HALO)		
KW	— KILOWATTS		
NEC	— NATIONAL ELECTRIC CODE		
PCS	— PERSONAL COMMUNICATION SYSTEM		
PH	— PHASE		
PNL	— PANEL		

— E —	— UNDERGROUND ELECTRICAL CONDUIT
--- T ---	— UNDERGROUND TELEPHONE CONDUIT
	— KILOWATT-HOUR METER
---	— UNDERGROUND BONDING AND GROUNDING CONDUCTOR
○	— GROUND ROD
●	— CATHODE
⊗	— GROUND ROD WITH INSPECTION WELL

PLANS PREPARED FOR:

800 CORNELLSTONE DRIVE
KNOXVILLE, TN 37932
(865) 777-0054

PROJECT INFORMATION:

VIA CHRISTIE
SITE #: 589405

(6911 ADDRESS, 18.0)
401 THOMAS STREET
PITTSBURGH, PA 15202
(CRAWFORD COUNTY)

PLANS PREPARED BY:

TOWER ENGINEERING PROFESSIONALS
326 TRYON ROAD
RALEIGH, NC 27603-5530
OFFICE: (919) 661-4351
www.tepgroup.net

SEAL:

March 14, 2022

1	03.14.22	CONSTRUCTION
0	10.16.21	PRELIMINARY
REV	DATE	ISSUED FOR:
DRAWN BY: GJB CHECKED BY: GJB		

SHEET TITLE:

ELECTRICAL NOTES

SHEET NUMBER:

E-1

REVISION:

1

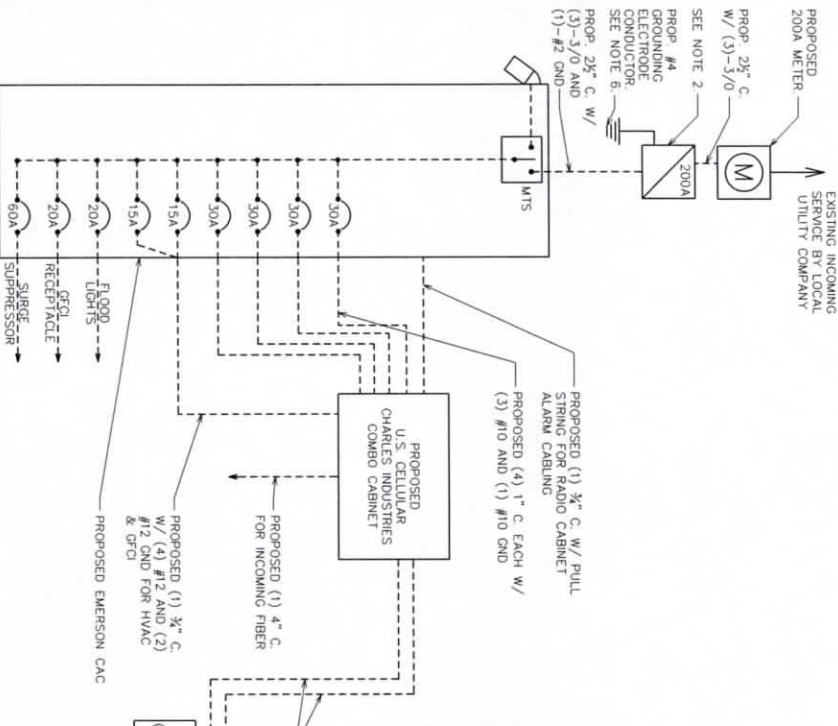
TEP #: 257246

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NOTES:

1. FOR COMPLETE INTERNAL WIRING AND ARRANGEMENT, REFER TO VENDOR PRINTS PROVIDED BY EQUIPMENT MANUFACTURER.
2. 200A RATED DISCONNECT FUSED AT 200A. IF NOT EXISTING, INSTALL 200A SERVICE ENTRANCE RATED DISCONNECT FUSED AT 200A.
3. SOME BREAKERS NOT SHOWN IN ONE LINE DIAGRAM FOR CLARITY.
4. CONTRACTOR TO VERIFY LOAD CENTER PANEL CAPACITY AND EXISTING LOADING IS WITHIN RATED LIMITS.
5. PROPOSED CONDUCTOR FEEDING PROPOSED CHARLES CABINET IS BASED ON MANUFACTURER SPECIFICATIONS.
6. THE GROUNDING ELECTRODE CONDUCTOR IS SIZED FOR A SINGLE 200A SERVICE. THE CONTRACTOR WILL INSTALL (1) 3/0 COPPER GEC INSTEAD IF THE METER BANK SHARES A COMMON N-C BOND.
7. THE WIRING DIAGRAM PROVIDED BY THE MANUFACTURER DOES NOT SHOW A NEUTRAL BEING USED. THE CONTRACTOR WILL NEED TO VERIFY WITH THE INSTALLATION SPECS.



ONE LINE DIAGRAM

SCALE: N.T.S.

NOTE:

CONTRACTOR TO VERIFY THE SIZE OF ALL BREAKERS SHOWN AND WITH MANUFACTURER SPECIFICATIONS.

200A 120/240VAC POWER PANEL SCHEDULE

LOAD SERVED	VOLT AMPERES (WATTS)		TRIP	CKT #	PHASE		CKT #	TRIP	VOLT AMPERES (WATTS)		LOAD SERVED
	L1	L2			A	B			L1	L2	
SURGE SUPPRESSOR	0		60A	1	A		2	30A	2880		RECTIFIER 5/6
		0		3	B		4		2880		
GFCI RECEPTACLE	180		20A	5	A		6	30A	2880		RECTIFIER 7/8
FLOOD LIGHTS		300	20A	7	B		8		2880		
RECTIFIER 1/2	2880		30A	9	A		10	15A	1440		HVAC (COMBO CABINET)
		2880		11	B		12		1440		
RECTIFIER 3/4	2880		30A	13	A		14	15A	200		GFCI (COMBO CABINET)
		2880		15	B		16				
-			-	17	A		18	-			-
-			-	19	B		20	-			-
-			-	21	A		22	-			-
-			-	23	B		24	-			-
VOLT AMPS	5,940	6,060							7,400	7,200	VOLT AMPS
L1 VOLT AMPERES											
				13,340					13,260		
				26,600					26,460		
				110.8					110.8		
				138.5					138.5		
TOTAL VOLT AMPERES											
TOTAL AMPS											
AMPS X 125%											

PLANS PREPARED FOR:



800 CORNERSTONE DRIVE
KNOXVILLE, TN 37932
(865) 777-8054

PROJECT INFORMATION:

VIA CHRISTIE
SITE #: 589405

(6911 ADDRESS 18.0)
401 THOMAS STREET
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PLANS PREPARED BY:



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SEAL:



1	03.14.22	CONSTRUCTION
0	10.16.21	PRELIMINARY
REV	DATE	ISSUED FOR:
DRAWN BY:	CLS	CHECKED BY:
		CLS

SHEET TITLE:

ONE LINE DIAGRAM &
POWER PANEL
SCHEDULE

SHEET NUMBER:

E-2

REVISION:

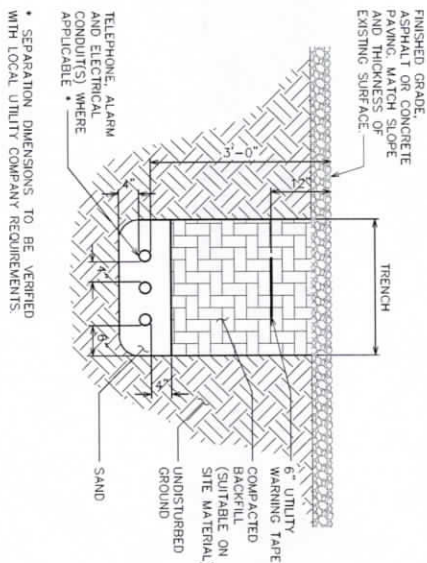
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TEP #: 257246

- NOTES:**
1. ACTUAL SEPARATION OF CONDUITS TO BE DETERMINED BY SITE SPECIFIC REQUIREMENTS.
 2. PROVIDE PVC CONDUIT BELOW GRADE EXCEPT AS NOTED BELOW.
 3. PROVIDE RGS CONDUIT AND ELBOWS AT STUB UP LOCATIONS (I.E. SERVICE POLES, EQUIPMENT, ETC.)
 4. PROVIDE RGS CONDUIT FOR INSTALLATIONS BELOW PARKING LOTS AND ROADWAYS.

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MAR 31 2022

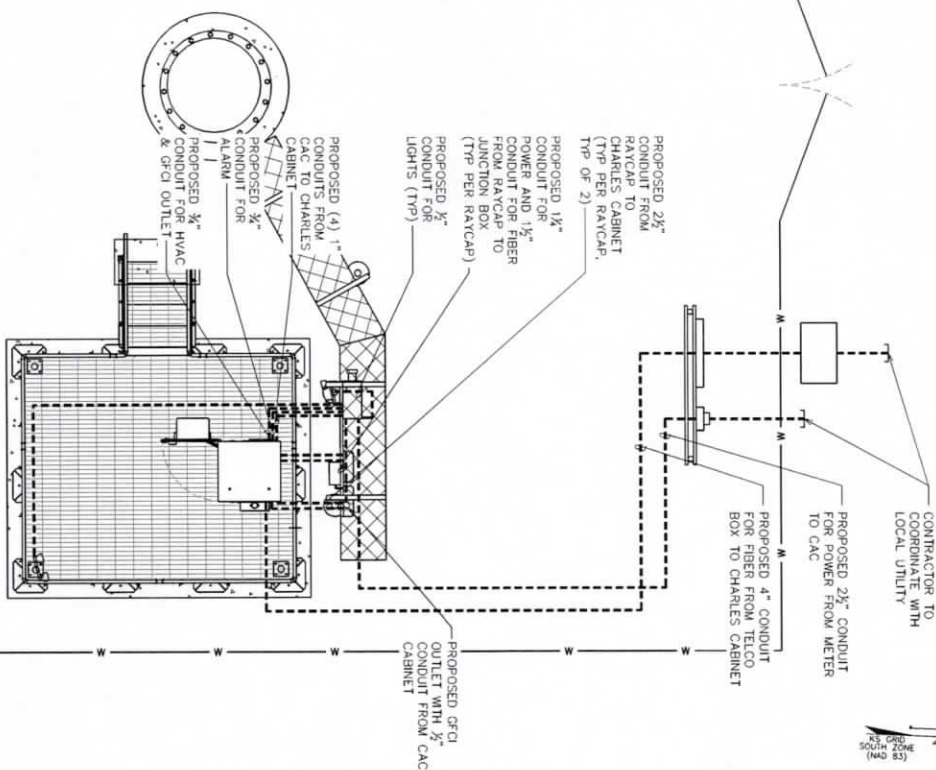
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Community Development



UNDERGROUND CONDUIT(S) TRENCH DETAIL

SCALE: N.T.S.

NOTE:
CONTRACTOR TO COORDINATE WITH LOCAL UTILITY COMPANY FOR ROUTING



POWER AND TELCO PLAN

SCALE: 3/8" = 1'-0"

PLANS PREPARED FOR:



800 CORNERSTONE DRIVE
KNOXVILLE, TN 37932
(865) 777-8054

PROJECT INFORMATION:

VIA CHRISTIE
SITE #: 589405

(E911 ADDRESS T.B.O.)
401 THOMAS STREET
PITTSBURGH, PA 15222
(CRAWFORD COUNTY)

PLANS PREPARED BY:



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SEAL:



REV	DATE	ISSUED FOR
1	03-28-22	CONSTRUCTION
0	03-14-22	CONSTRUCTION
0	10-10-21	PRELIMINARY
REV	DATE	ISSUED FOR
DRAWN BY:	GJB	CHECKED BY: GJB

SHEET TITLE:

POWER/TELCO
PLAN

SHEET NUMBER:

E-3

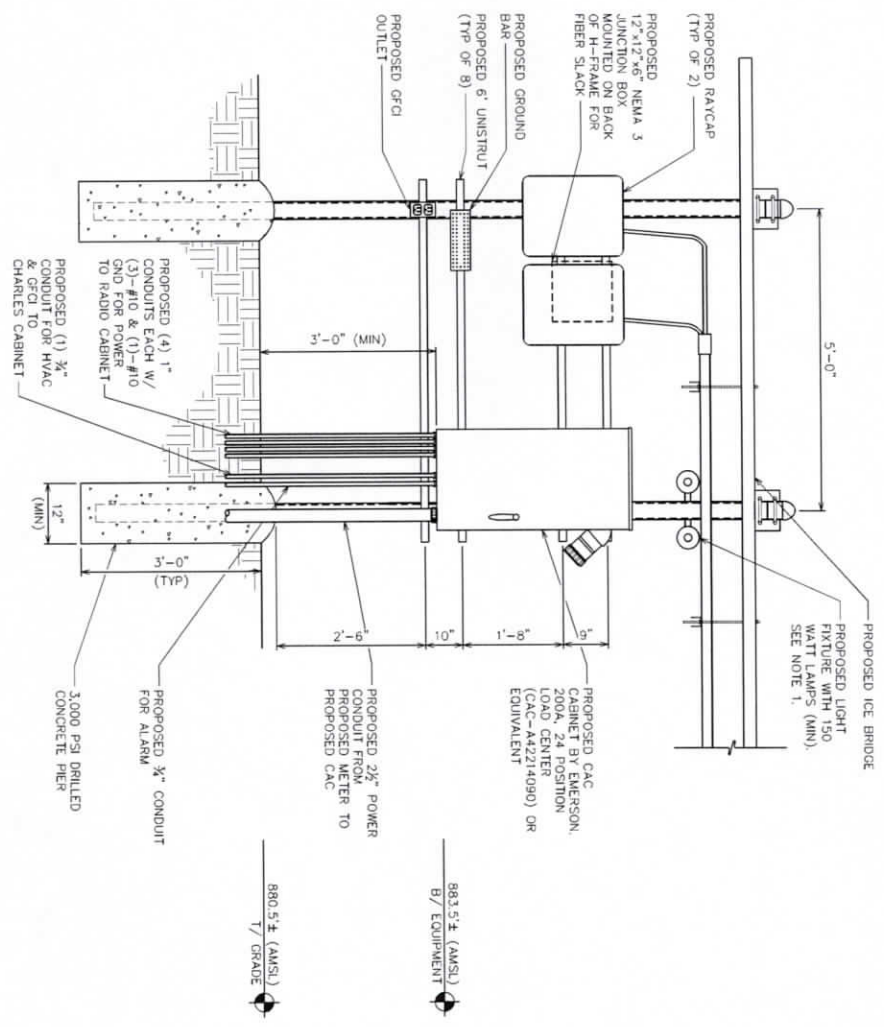
REV: 25/246

- NOTES:**
1. CONTRACTOR TO FIELD LOCATE LIGHT FIXTURE FOR OPTIMUM COVERAGE OF WORK AREA.
 2. BREAKER & CONDUCTOR SIZED ARE BASED ON TYPICAL CONFIGURATIONS. CONTRACTOR WILL VERIFY WITH MANUFACTURER SPECIFICATIONS BEFORE ORDERING OR INSTALLING PARTS.

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EQUIPMENT H-FRAME DETAILS

SCALE: 1/8" = 1'-0"

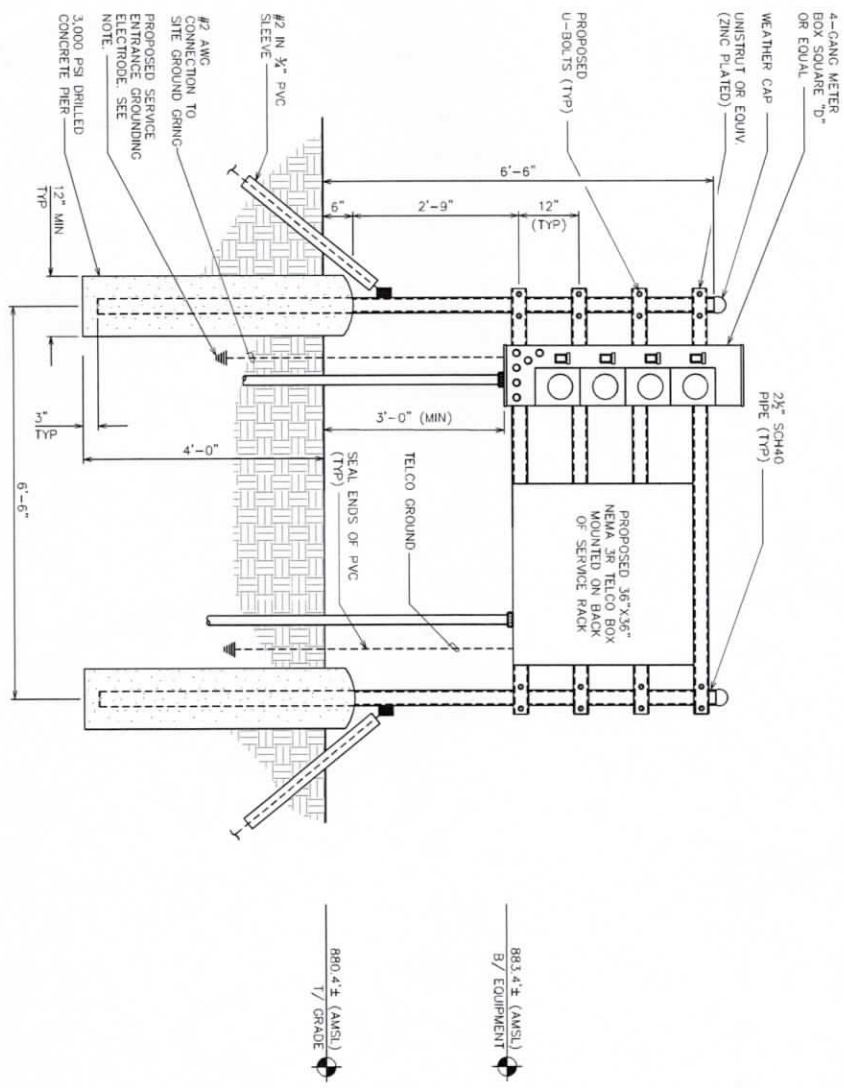
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SCALE IN FEET

uscellular 800 CORNERSTONE DRIVE KNOXVILLE, TN 37932 (865) 777-8054		PLANS PREPARED FOR: VIA CHRISTIE SITE #: 589405 (E911 ADDRESS T.B.O.) 401 THOMAS STREET PITTSBURGH, KS 66762 (CRAWFORD COUNTY)		PROJECT INFORMATION: PLANS PREPARED BY:	
SEAL: ANDREW J. LAKIN 28446 PROFESSIONAL ENGINEER KANSAS March 28, 2022		TOWER ENGINEERING PROFESSIONALS 326 TRYON ROAD RALEIGH, NC 27603-3630 OFFICE: (919) 661-6361 www.tepgroup.net			
SHEET TITLE: EQUIPMENT H-FRAME & SERVICE RACK DETAILS		REVISION: 2 TEP# 297246			

NOTE:
THE GROUNDING ELECTRODE CONDUCTOR IS SIZED FOR A SINGLE 200A SERVICE. THE CONTRACTOR WILL INSTALL (1) 3/0 COPPER GEC INSTEAD IF THE METER BANK SHARES A COMMON N-G BOND

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EQUIPMENT H-FRAME DETAILS
SCALE: 3/8" = 1'-0"



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REV	DATE	ISSUED FOR:																	
1	03.14.22	CONSTRUCTION																	
0	10.10.21	PRELIMINARY																	

DRAWING NOTES

- 1 PROPOSED TOWER GROUND RING BURIED 30" BFG OR 6" BELOW FROST DEPTH (WHICHEVER IS GREATER)
- 2 PROPOSED TOWER GROUND RING BOND TO PROPOSED EQUIPMENT GROUND RING (TYP OF 2)
- 3 PROPOSED 3/4"x10" COPPER GROUND ROD (TYP)
- 4 PROPOSED TOWER GROUND BAR
- 5 PROPOSED EQUIPMENT GROUND RING (BURIED 30" BFG OR 6" BELOW FROST DEPTH, WHICHEVER IS GREATER)
- 6 SERVICE ENTRANCE GROUNDING ELECTRODE
- 7 FOR EQUIPMENT GROUNDING, SEE SHEET E-5.
- 8 PROPOSED GROUND ROD WITH INSPECTION WELL (TYP)
- 9 GATE POST GROUNDING (TYP)
- 10 ICE BRIDGE POST GROUND TO EQUIPMENT GROUND RING
- 11 PROPOSED CADWELD
- 12 PROPOSED 2-HOLE MECHANICAL LUG (TYP)

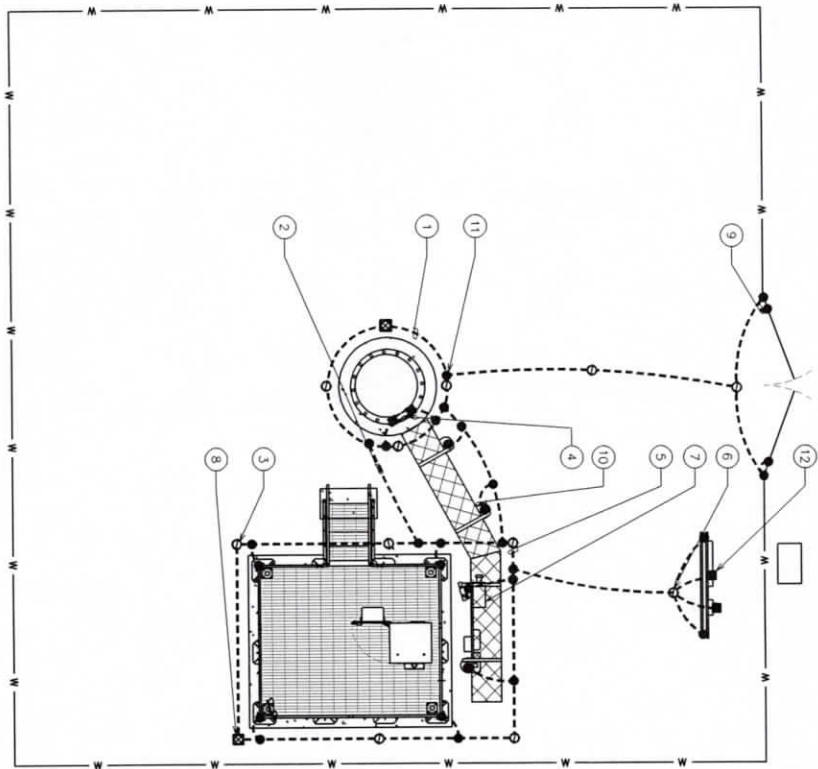
GROUNDING NOTES:

1. CONTRACTOR SHALL VERIFY THAT GROUNDING ELECTRODES SHALL BE CONNECTED IN A RING USING #2 AWG BARE TINNED COPPER WIRE. THE TOP OF THE GROUND RODS AND THE RING CONDUCTOR SHALL BE 30 INCHES BELOW FINISHED GRADE OR 6" BELOW FROST DEPTH (WHICHEVER IS GREATER). GROUNDING ELECTRODES SHALL BE DRIVEN ON 10'-0" CENTERS (9'-0" MINIMUM, 16'-0" MAXIMUM, PROVIDE AND INSTALL AS REQUIRED PER TYPICAL GROUNDING PLAN SHOWN).
2. BONDING OF THE GROUND CONDUCTOR (NEUTRAL) AND THE GROUNDING CONDUCTOR SHALL BE AT THE SERVICE DISCONNECTING MEANS. BONDING JUMPER SHALL BE INSTALLED PER N.E.C. ARTICLE 250.30
3. GROUND RING CONNECTION CONDUCTORS SHALL BE OF EQUAL LENGTH, MATERIAL, AND BONDING TECHNIQUE.
4. CONTRACTOR SHALL ENSURE GROUND RING IS WITHIN 12 TO 36 INCHES OF THE EQUIPMENT PAD. PROVIDE/INSTALL GROUNDING CONNECTIONS SHOWN ABOVE AS NEEDED PER EXISTING SITE GROUNDING SYSTEM. CONTRACTOR SHALL VERIFY ALL EXISTING SITE GROUNDING CONDITIONS BEFORE STARTING WORK OR PURCHASING EQUIPMENT.
5. BOND CABLE TO EXTERNAL GROUND RING WITH 2 RUNS OF #2 BARE TINNED SOLID COPPER CONDUCTOR. ONE RUNS CONNECT BAR END WITH 2 HOLE LUG, AND "CADWELD" THE OTHER END TO THE EXTERNAL GROUND ROD.
6. THE PREFERRED LOCATION FOR COAX GROUNDING IS AT THE BASE OF THE TOWER PRIOR TO THE COAX BEND. BONDING IS SHOWN ON THE ICE BRIDGE DUE TO DIFFICULTY WITH WELDING OR ATTACHING TO TOWER LEGS. CONTRACTOR SHALL ADVISE CONSTRUCTION MANAGER PRIOR TO PLACING CABLE ON ICE BRIDGE IF MOUNTING TO TOWER LEG IS POSSIBLE.

COMPOUND GROUNDING PLAN

SCALE: 1/8" = 1'-0"

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0 8 16
 SCALE IN FEET

PLANS PREPARED FOR:



800 CORNERSTONE DRIVE
 KNOXVILLE, TN 37932
 (865) 777-8054

PROJECT INFORMATION:

VIA CHRISTIE
 SITE #: 589405

(E911 ADDRESS: I.B.O.)
 401 THOMAS STREET
 PITTSBURGH, KS 66762
 (CRAWFORD COUNTY)

PLANS PREPARED BY:



TOWER ENGINEERING PROFESSIONALS
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 www.tepgroup.net

SEAL:



2	03.24.22	CONSTRUCTION
1	03.14.22	CONSTRUCTION
0	10.14.21	PRELIMINARY
REV	DATE	ISSUED FOR:
DRAWN BY:	GLB	CHECKED BY: GLB

SHEET TITLE:

**COMPOUND
 GROUNDING PLAN**

SHEET NUMBER:

E-4

2

REVISION:

TEP#: 25724G

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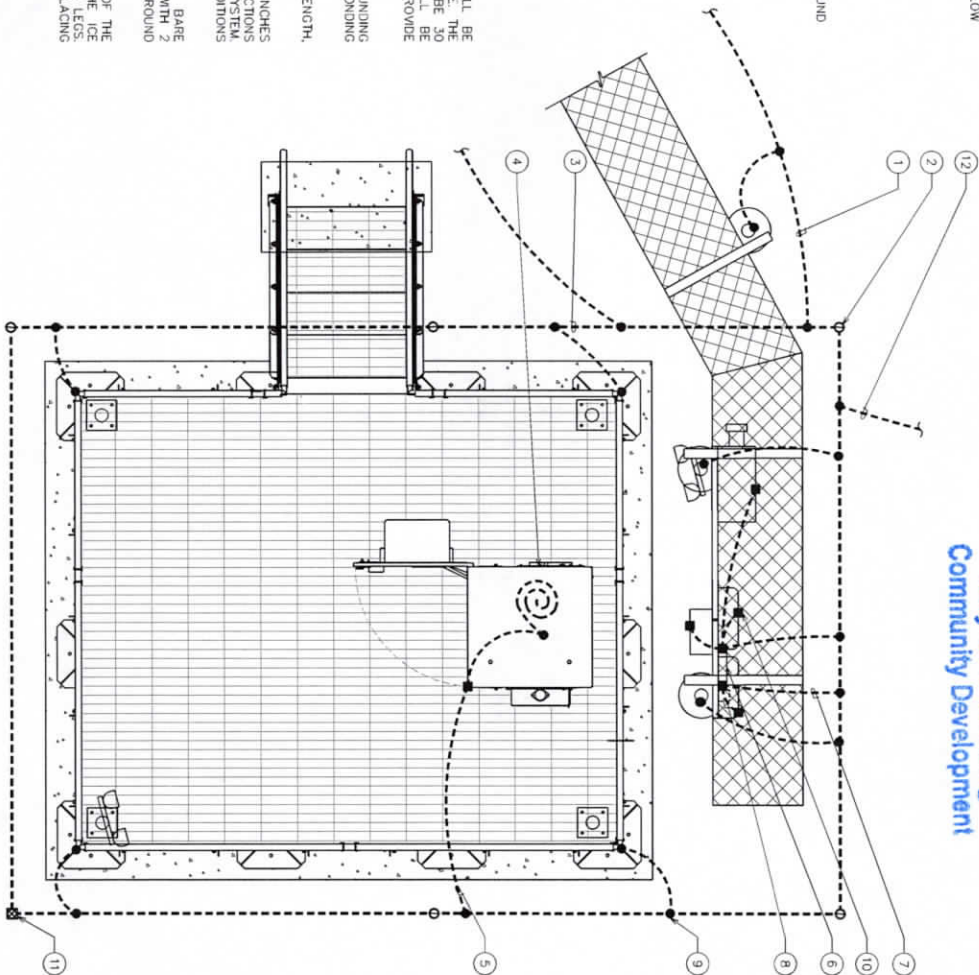
City of Pittsburgh
Community Development

DRAWING NOTES

1. EXTEND EQUIPMENT GROUND RING TO PROPOSED TOWER GROUND RING
2. PROPOSED 3/4"x10' COPPER GROUND ROD (TYP)
3. PROPOSED EQUIPMENT GROUND RING (BURIED 30" BFC OR 6" BELOW FROST DEPTH, WHICHEVER IS DEEPER)
4. GROUND PROPOSED CABINET PER MFG'S SPECIFICATIONS
5. CABINET GROUND TO PROPOSED GROUND RING
6. GROUND BAR MOUNTED ON H-FRAME
7. GROUND LEAD FROM PROPOSED GROUND BAR TO PROPOSED GROUND RING (TYP OF 2)
8. PROPOSED EQUIPMENT GROUND (TYP)
9. PROPOSED CADDWELD (TYP)
10. PROPOSED 2-HOLE MECHANICAL LUG (TYP)
11. PROPOSED GROUND ROD WITH INSPECTION WELL
12. GROUND LEAD FROM PROPOSED SERVICE ENTRANCE GROUNDING ELECTRODE TO PROPOSED EQUIPMENT GROUND RING

GROUNDING NOTES:

1. CONTRACTOR SHALL VERIFY THAT GROUNDING ELECTRODES SHALL BE CONNECTED IN A RING USING #2 AWG BARE TINNED COPPER WIRE. THE TOP OF THE GROUND RODS AND THE RING CONDUCTOR SHALL BE 30 INCHES BELOW FINISHED GRADE. GROUNDING ELECTRODES SHALL BE DRIVEN ON 10'-0" CENTERS (9'-0" MINIMUM, 16'-0" MAXIMUM). PROVIDE AND INSTALL AS REQUIRED PER TYPICAL GROUNDING PLAN SHOWN).
2. BONDING OF THE GROUND CONDUCTOR (NEUTRAL) AND THE GROUNDING JUMPER SHALL BE AT THE SERVICE DISCONNECTING MEANS. BONDING MATERIAL, AND BONDING TECHNIQUE.
3. GROUND RING CONNECTION CONDUCTORS SHALL BE OF EQUAL LENGTH, MATERIAL, AND BONDING TECHNIQUE.
4. CONTRACTOR SHALL ENSURE GROUND RING IS WITHIN 12 TO 36 INCHES OF THE EQUIPMENT PAD. PROVIDE/INSTALL GROUNDING CONNECTIONS SHOWN ABOVE AS NEEDED PER EXISTING SITE GROUNDING SYSTEM. CONTRACTOR SHALL VERIFY ALL EXISTING SITE GROUNDING CONDITIONS BEFORE STARTING WORK OR PURCHASING EQUIPMENT.
5. BOND CABLE TO EXTERNAL GROUND RING WITH 2 RUNS OF #2 BARE TINNED SOLID COPPER CONDUCTOR IN PVC. CONNECT EXAR END WITH 2 HOLE LUG, AND CADDWELD THE OTHER END TO THE EXTERNAL GROUND ROD.
6. THE PREFERRED LOCATION FOR COAX GROUNDING IS AT THE BASE OF THE TOWER PRIOR TO THE COAX BEND. BONDING IS SHOWN ON THE ICE. CONTRACTOR SHALL ADVISE CONSTRUCTION MANAGER PRIOR TO PLACING CABLE ON ICE BRIDGE IF MOUNTING TO TOWER LEG IS POSSIBLE.



TYPICAL EQUIPMENT GROUNDING PLAN

SCALE: 3/8" = 1'-0"

0 2 4
SCALE IN FEET

PLANS PREPARED FOR:
uscellular
800 CORNESTONE DRIVE
KNOXVILLE, TN 37932
(865) 777-8054

PROJECT INFORMATION:

VIA CHRISTIE
SITE #: 589405

(E911 ADDRESS, I.B.D.)
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(CRAWFORD COUNTY)

PLANS PREPARED BY:

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SCALE:



REV	DATE	ISSUED FOR:
2	03-28-22	CONSTRUCTION
1	03-14-22	CONSTRUCTION
0	10-16-21	PRELIMINARY

DRAWN BY: GLS | CHECKED BY: GLS

SHEET TITLE:

EQUIPMENT
GROUNDING PLAN

SHEET NUMBER:

E-5

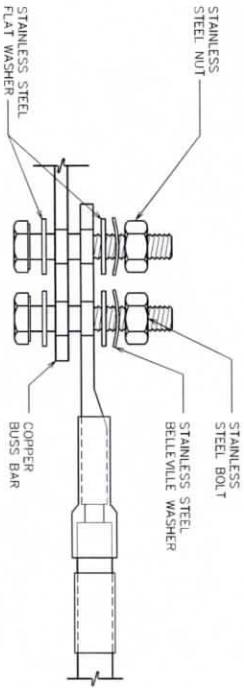
REVISION:

2

TEP#: 257246

NOTES:

1. ALL HARDWARE SHALL BE 18-8 STAINLESS STEEL INCLUDING THE BELLEVILLE WASHERS. COAT ALL SURFACES WITH KOPR-SHIELD BEFORE MATING.
2. FOR GROUND BOND TO STEEL, ONLY: INSERT A DRAGON TOOTH WASHER BETWEEN THE LUG AND STEEL COAT ALL SURFACES WITH KOPR-SHIELD.



TYPICAL LUG DETAIL

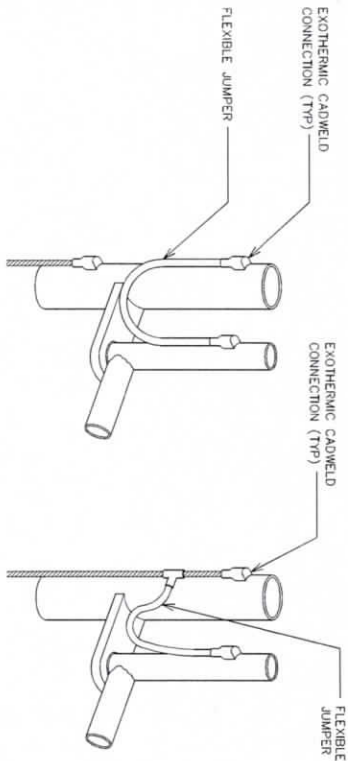
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NOTE:

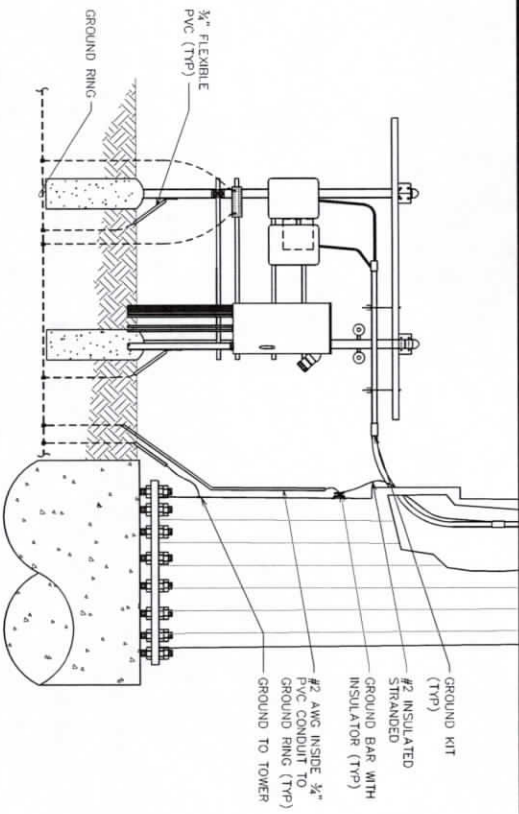
ALL PVC CONDUITS USED FOR GROUNDING SHALL BE SEALED WITH SILICONE SEALANT AT BOTH ENDS

TYPICAL FENCE AND GATE BONDING DETAIL

SCALE: N.T.S.



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ICE BRIDGE/COAX/GROUNDING BAR ELEVATION

SCALE: N.T.S.

PLANS PREPARED FOR:
uscellular
800 CORNERSTONE DRIVE
KNOXVILLE, TN 37932
(865) 777-8054

PROJECT INFORMATION:
VIA CHRISTIE
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(GRAHAM COUNTY)

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SEAL:



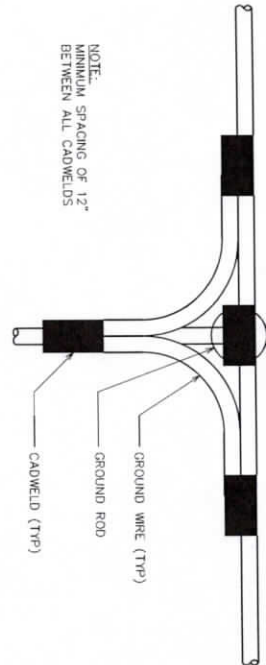
REV	DATE	ISSUED FOR
2	03-20-22	CONSTRUCTION
1	03-14-22	CONSTRUCTION
0	10-10-21	PRELIMINARY
REV	DATE	ISSUED FOR
DRAWN BY:	GLB	CHECKED BY: GLB

SHEET TITLE:

**GROUNDING
DETAILS I**

SHEET NUMBER:	REVISION:
E-6	2
TEP #: 257246	

NOTE:
MINIMUM SPACING OF 12"
BETWEEN ALL CADWELDS

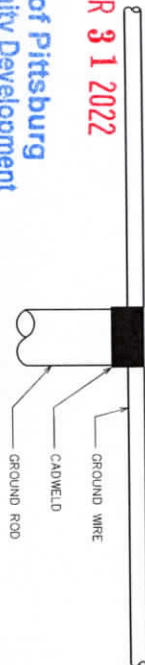


TOP VIEW

MAR 31 2022

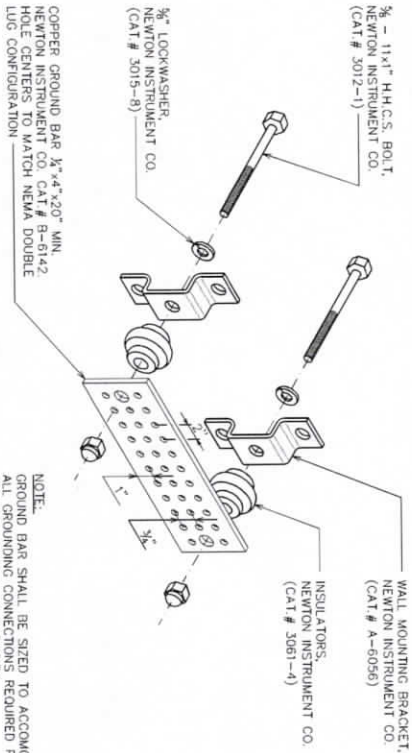
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Community Development

SIDE VIEW



CADWELD GROUNDING DETAIL

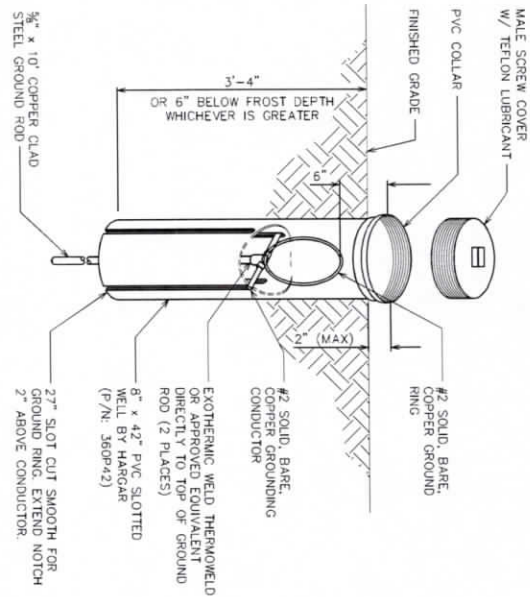
SCALE: N.T.S.



NOTE:
COPPER GROUND BAR SHALL BE SIZED TO ACCOMMODATE
ALL GROUNDING CONNECTIONS REQUIRED PLUS
PROVIDE 50% SPARE CAPACITY.

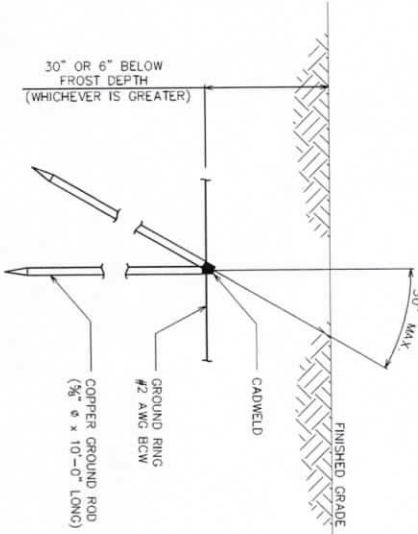
STANDARD GROUND BAR DETAIL

SCALE: N.T.S.



GROUND ROD WITH INSPECTION WELL

SCALE: N.T.S.



COPPER-CLAD STEEL GROUND ROD

SCALE: N.T.S.

uscellular

800 CORNERSTONE DRIVE
KNOXVILLE, TN 37932
(865) 777-8054

PROJECT INFORMATION:

VIA CHRISTIE
SITE #: 589405

(5911 ADDRESS T.B.D.)
401 THOMAS STREET
PITTSBURGH, KS 66762
(CRAWFORD COUNTY)

PLANS PREPARED BY:



TOWER ENGINEERING PROFESSIONALS
326 TRYON ROAD
RALEIGH, NC 27603-5530
OFFICE: (919) 661-5351
www.tepgroup.net

SCALE:



REV	DATE	ISSUED FOR
1	03-14-22	CONSTRUCTION
0	10-16-21	PRELIMINARY
DRWN BY:	GLB	CHECKED BY: GLB

GROUNDING
DETAILS II

SHEET NUMBER:

E-7

REVISION:

1

TEP #: 257246

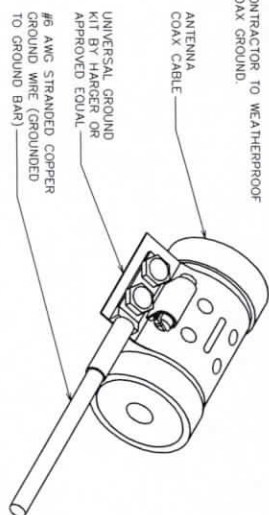
RECEIVED

MAR 31 2022

City of Pittsburgh
Community Development

NOTES:

1. DO NOT INSTALL COAX GROUND KIT AT A BEND.
2. CONTRACTOR TO WEATHERPROOF COAX GROUND.

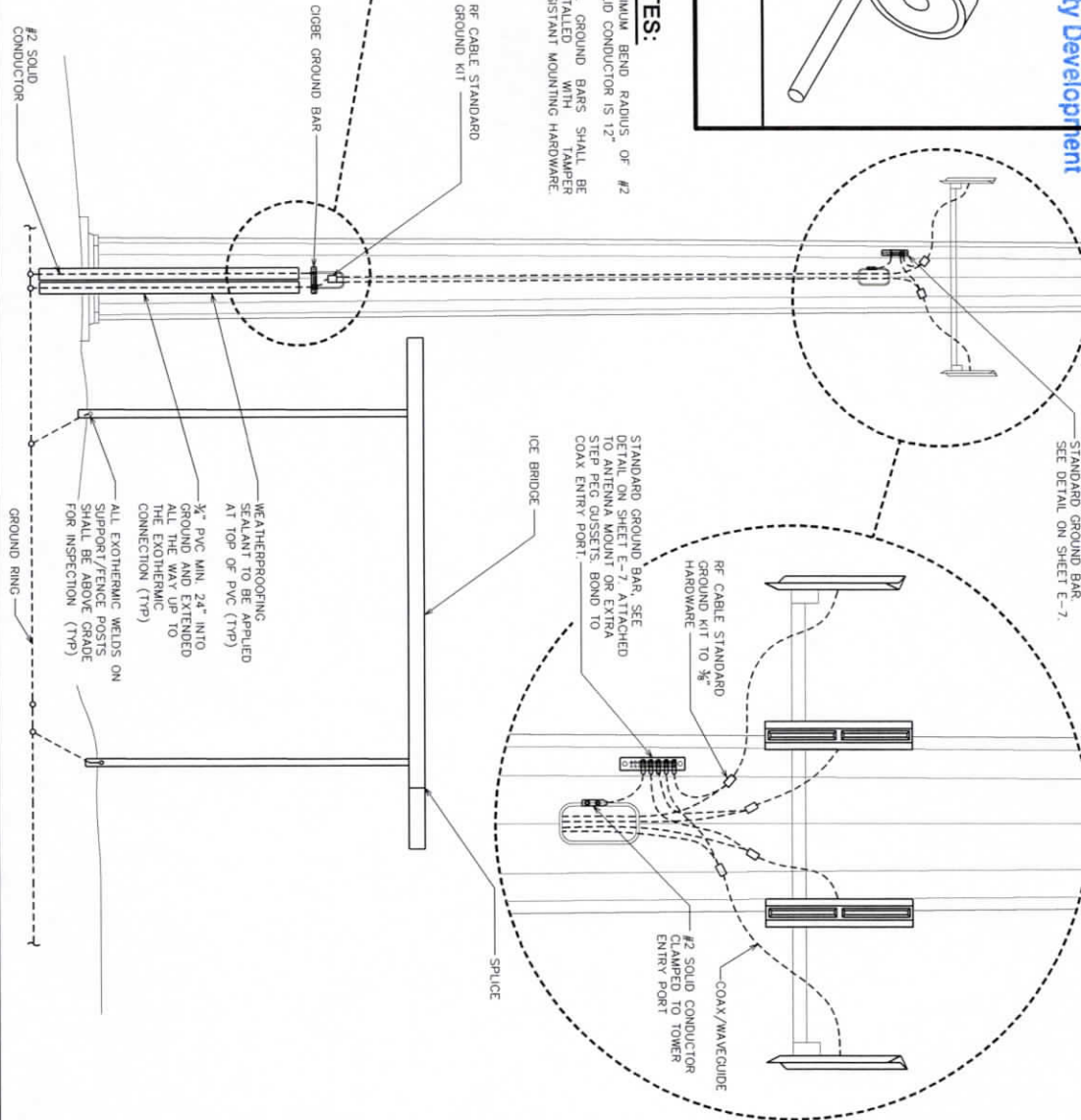
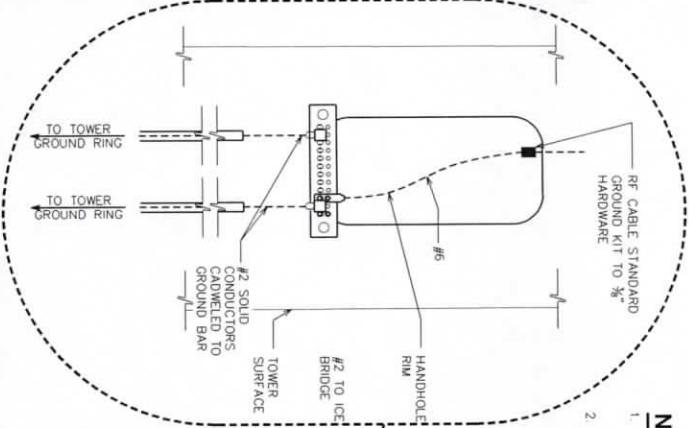


CABLE GROUNDING DETAIL

SCALE: N.T.S.

NOTES:

1. MINIMUM BEND RADIUS OF #2 SOLID CONDUCTOR IS 12".
2. ALL GROUND BARS SHALL BE INSTALLED WITH TAPER RESISTANT MOUNTING HARDWARE.



ICE BRIDGE, COAX, STANCHION, AND TOWER GROUNDING DETAIL

SCALE: N.T.S.

PLANS PREPARED FOR:



800 CORNERSTONE DRIVE
KNOXVILLE, TN 37932
(865) 777-8054

PROJECT INFORMATION:

VIA CHRISTIE
SITE #: 589405

(E911 ADDRESS, T.B.O.)
401 THOMAS STREET
PITTSBURG, KS 66762
(CRAWFORD COUNTY)

PLANS PREPARED BY:



TORNER ENGINEERING PROFESSIONALS
326 TRYON ROAD
RALEIGH, NC 27603-3630
OFFICE (919) 661-3351
www.tepgroup.net

SEAL:



SHEET TITLE:

GROUNDING
DETAILS III

SHEET NUMBER:

E-8

REVISION:

1

TEP #: 257246

REV	DATE	ISSUED FOR
1	03.14.22	CONSTRUCTION
0	10.16.21	PRELIMINARY
DRAWN BY:	GLB	CHECKED BY: GLB

STRUCTURAL STEEL NOTES:

1. THE FABRICATOR AND ERECTOR OF STRUCTURAL STEEL SHALL CONFORM TO THE AISC SPECIFICATION FOR STEEL AND MANUAL OF STEEL CONSTRUCTION, 14TH EDITION.
 2. UNLESS OTHERWISE NOTED, ALL STRUCTURAL ELEMENTS SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:
 - A. STRUCTURAL STEEL, ASTM DESIGNATION A36 OR A992-COR50
 - B. ALL BOLTS, ASTM A325 TYPE 1 GALVANIZED HIGH STRENGTH BOLTS
 - C. ALL NUTS, ASTM A563 CARBON STEEL NUTS
 - D. ALL WASHERS, ASTM F436 HARDENED STEEL WASHERS
 3. ALL CONNECTIONS NOT FULLY DETAILED ON THESE PLANS SHALL BE DETAILED BY THE STEEL FABRICATOR, IN ACCORDANCE WITH AISC SPECIFICATIONS AND MANUAL OF STEEL CONSTRUCTION, 14TH EDITION.
 4. HOLES SHALL NOT BE FLAME CUT THRU STEEL UNLESS APPROVED BY THE ENGINEER.
 5. HOT-DIP GALVANIZE ALL ITEMS UNLESS OTHERWISE NOTED, AFTER FABRICATION WHERE PRACTICABLE. GALVANIZING: ASTM A123, ASTM, A153/A153M OR ASTM A653/A653M, C90, AS APPLICABLE.
 6. REPAIR DAMAGED SURFACES WITH GALVANIZING REPAIR METHOD AND PAINT CONFORMING TO ASTM A780 OR BY APPLICATION OF STICK OR THICK PASTED MATERIAL, SPECIFICALLY DESIGNED FOR REPAIR OF GALVANIZING. CLEAN AREAS TO BE REPAIRED AND REMOVE SLAG FROM WELDS. HEAT SURFACES TO MELT THE STICK OR PASTE MATERIAL IS APPLIED, WITH A TORCH TO A TEMPERATURE SUFFICIENT TO MELT THE METALLICS IN STICK OR PASTE. SPREAD MOLTEN MATERIAL UNIFORMLY OVER SURFACES TO BE COATED AND WIPE OFF ANY EXCESS.
 7. A NUT LOCKING DEVICE SHALL BE INSTALLED ON ALL PROPOSED AND/OR REPLACED BOLTS.
 8. ALL PROPOSED AND/OR REPLACED BOLTS SHALL BE OF SUFFICIENT LENGTH TO EXCLUDE THE THREADS FROM THE SHEAR PLANE.
 9. ALL PROPOSED AND/OR REPLACED BOLTS SHALL BE OF SUFFICIENT LENGTH SUCH THAT THE END OF THE BOLT BE AT LEAST FLUSH WITH THE FACE OF THE NUT. IT IS NOT PERMITTED FOR THE BOLT END TO BE BELOW THE FACE OF THE NUT AFTER TIGHTENING IS COMPLETED.
 10. ALL ASSEMBLY AND ANCHOR BOLTS ARE TO BE TIGHTENED TO A "SNUG TIGHT" CONDITION AS DEFINED IN SECTION 8.1 OF THE AISC, "SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS", DATED JUNE 30, 2004.
 11. FLAT WASHERS ARE TO BE INSTALLED WITH BOLTS OVER SLOTTED HOLES.
 12. DO NOT OVER TORQUE ASSEMBLY BOLTS. GALVANIZING ON BOLTS, NUTS, AND STEEL PARTS MAY ACT AS A LUBRICANT, THUS OVER TIGHTENING MAY OCCUR AND MAY CAUSE BOLTS TO CRACK AND SNAP OFF.
 13. PAL NUTS ARE TO BE INSTALLED AFTER NUTS ARE TIGHT AND WITH EDGE UP. PAL NUTS ARE NOT REQUIRED WHEN SELF-LOCKING NUTS ARE PROVIDED.
 14. GALVANIZED ASTM A325 BOLTS SHALL NOT BE REUSED.
15. WELDING SHALL BE PERFORMED IN ACCORDANCE WITH AMERICAN WELDING SOCIETY (AWS) D1.1-2010 STRUCTURAL WELDING CODE - STEEL.



PROJECT INFORMATION:
VIA CHRISTIE
SITE #: 589405

(E911 ADDRESS T.B.D.
401 THOMAS STREET
PITTSBURG, KS 66762
(CRAWFORD COUNTY)

PLANS PREPARED BY

TOWER ENGINEERING PROFESSIONALS
600 TRIVOLI ROAD

326 TRYON ROAD

RALEIGH, NC 27603-3553

OFFICE: (919) 661-5351

www.lepgroup.net

SEAL: **DAVID R. RAGLAND**
28466
KANSAS PROFESSIONAL ENGINEER
 March 1, 2011

March 14, 2021

1	03.14.22	CONSTRUCTION
0	10.10.21	PRELIMINARY
REV	DATE	ISSUED FOR:
DRAWN BY: GJB		CHECKED BY: GJB
SHEET TITLE:		

PROJECT NOTES

SHEET NUMBER: N-1	REVISION: 1
TEP#: 257246	

78

STRUCTURAL DESIGN DRAWINGS

SITE NAME:

VIA CHRISTIE

SITE NUMBER:

589405

SITE ADDRESS:

401 THOMAS ST.
PITTSBURG, KS 66762
(CRAWFORD COUNTY)
N 37°22'42.35", W 94°42'02.59"

RECEIVED

MAR 3 1 2022

City of Pittsburg
Community Development

PLANS PREPARED FOR:



800 CORNERSTONE DR.
KNOXVILLE, TN 37932
OFFICE: (865) 777-6054

PLANS PREPARED BY:



TOWER ENGINEERING PROFESSIONALS

326 TRYON ROAD
RALEIGH, NC 27603
OFFICE: (919) 661-6351
www.tepgroup.net

SEAL:



PROJECT TEAM

PROJECT CONTACT:

NAME: U.S. CELLULAR
ADDRESS: 800 CORNERSTONE DR.
CITY, STATE, ZIP: KNOXVILLE, TN 37932
CONTACT: KEN HARRIN
PHONE: (865) 777-6054

ENGINEERING FIRM PROJECT MANAGER:

NAME: MICHELLE LIN
ADDRESS: 326 TRYON ROAD
CITY, STATE, ZIP: RALEIGH, NC 27603
CONTACT: MICHELLE LIN
PHONE: (919) 661-6351
EMAIL: SP@TEPGROUP.NET

MODIFICATION PROVISIONS

THE MODIFICATIONS DEPICTED ON THESE DRAWINGS ARE BASED ON THE RECOMMENDATIONS OUTLINED IN THE STRUCTURAL MODIFICATION ANALYSIS REPORT COMPLETED BY TOWER ENGINEERING PROFESSIONALS (TEP), JOB#: 25/246.650651 DATED MARCH 08, 2022 (REV 0) PER TA-222-G. THIS REPORT IS BASED ON A SPECIFIC ANTENNA LOADING AND COAX CONFIGURATION. SEE THE REPORT FOR THE ANTENNA LOADING AND COAX CONFIGURATION. ANY OTHER ANTENNA LOADING OR COAX CONFIGURATION WILL BE AT THE USER'S RISK. THE USER SHALL BE RESPONSIBLE FOR THE MEETING THE REQUIREMENTS OF THE SPECIFICATIONS UNDER WHICH THE STRUCTURAL WAS COMPLETED.

CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, QUANTITIES, PART NUMBERS, AND COAX/ANTENNA PLACEMENTS PRIOR TO BIDDING, ORDERING MATERIALS, AND CONSTRUCTION.

INDEX OF SHEETS

NO.	SHEET TITLE	REV
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N-1	MI CHECKLIST AND NOTES	0
N-2	PROJECT NOTES I	0
N-3	PROJECT NOTES II	0
N-4	FOUNDATION NOTES	0
S-1	SITE PLAN	0
S-2	FOUNDATION DETAILS	0
S-3	PLATFORM FRAMING DETAILS I	0
S-4	PLATFORM FRAMING DETAILS II	0
S-5	PLATFORM FRAMING DETAILS III	0

ATTENTION

QUALIFIED ENGINEERING SERVICES ARE AVAILABLE FROM TEP TO ASSIST CONTRACTORS IN OBTAINING PERMITS AND REVIEWS. FOR REQUESTED QUALIFIED ENGINEERING SERVICES, CONTACT TEP FOR QUOTE AT RICH@TEPGROUP.NET

TITLE SHEET

SHEET NUMBER:	REVISION:
T-1	0
TEP#257246.650651	

ATTENTION

ALL CONSTRUCTION MEANS AND METHODS, INCLUDING BUT NOT LIMITED TO, ERECTION PLANS, RIGGING PLANS, CLIMBING PLANS, AND RESCUE PLANS SHALL BE THE RESPONSIBILITY OF THE GC RESPONSIBLE FOR THE EXECUTION OF THE WORK CONTAINED HEREIN AND SHALL MEET ANSI/ASSE A10.48 (LATEST EDITION), FEDERAL, STATE, AND LOCAL REGULATIONS, AND ANY APPLICABLE INDUSTRY/CONSensus STANDARDS RELATED TO THE CONSTRUCTION ACTIVITIES BEING PERFORMED. ALL RIGGING PLANS SHALL ADHERE TO ANSI/ASSE A10.4 (LATEST EDITION) INCLUDING THE REQUIRED INVOLVEMENT OF A QUALIFIED ENGINEER FOR CLASS I CONSTRUCTION TO CERTIFY THE SUPPORTING STRUCTURE(S) IN ACCORDANCE WITH THE AISI/7MA-322 (LATEST EDITION).

STRUCTURAL STEEL NOTES:

1. THE FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM TO THE AISC STEEL CONSTRUCTION MANUAL, LOAD AND RESISTANCE FACTOR DESIGN (LRFD), 14TH EDITION.

2. UNLESS OTHERWISE NOTED, ALL STRUCTURAL ELEMENTS SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:

STRUCTURAL STEEL:

- ANGLE: ASTM A572-50
- PIPE/TUBE (ROUND): ASTM A500 GR C (F_y = 46 KSI)
- PIPE/TUBE (SQUARE): ASTM A500 GR C (F_y = 50 KSI)
- PLATE: ASTM A572-50
- SOLID ROD: ASTM A572-50
- W-SHAPES: ASTM A992

3. ALL BOLTS, ASTM A325 TYPE 1 GALVANIZED HIGH STRENGTH BOLTS.

4. ALL U-BOLTS, ASTM A193 GRADE B7.

5. ALL NUTS, ASTM A563 GRADE DH OR A194 GRADE 2H CARBON AND ALLOY STEEL NUTS.

6. ALL WASHERS, ASTM F436 HARDENED STEEL WASHERS.

7. ALL CONNECTIONS NOT FULLY DETAILED ON THESE PLANS SHALL BE DETAILED BY THE STEEL FABRICATOR IN ACCORDANCE WITH AISC STEEL CONSTRUCTION MANUAL, LRFD, 14TH EDITION.

8. HOLES SHALL NOT BE FLAME CUT THROUGH STEEL UNLESS APPROVED BY THE ENGINEER.

9. HOT-DIP GALVANIZE: ALL ITEMS UNLESS OTHERWISE NOTED, AFTER FABRICATION WHERE PRACTICABLE. GALVANIZING: ASTM A123, ASTM, A153/A153M OR ASTM A653/A653M, G90. THE CONTRACTOR SHALL OBTAIN WRITTEN PERMISSION TO PROTECT STEEL BY ANY OTHER MEANS.

10. REPAIR DAMAGED SURFACES WITH GALVANIZING REPAIR METHOD AND PAINT CONFORMING TO ASTM A790 OR BY APPLICATION OF ANOTHER THICK PASTED MATERIAL SPECIFICALLY DESIGNED FOR REPAIR OF GALVANIZED SURFACES. GALVANIZED AREAS TO BE REPAIRED AND TOWARD SLAG FROM WELDS HEAT SURFACES TO WELD THE SURFACES IN SITU. MATERIAL IS APPLIED, WITH A TORCH TO A TEMPERATURE SUFFICIENT TO WELD THE MATERIALS IN SITU OR PASTED. SLAG MOISTEN MATERIAL UNIFORMLY OVER SURFACES TO BE COATED AND WIRE OFF EXCESS MATERIAL. AFTER REPAIR, STEEL SHALL BE REPAINTED TO MATCH EXISTING FINISH (IF APPLICABLE).

11. A NUT LOCKING DEVICE SHALL BE INSTALLED ON ALL PROPOSED AND/OR REPLACED BOLTS.

12. ALL PROPOSED AND/OR REPLACED BOLTS SHALL BE OF SUFFICIENT LENGTH TO EXCLUDE THE THREADS FROM THE SHEAR PLANE.

13. ALL PROPOSED AND/OR REPLACED BOLTS SHALL BE OF SUFFICIENT LENGTH SUCH THAT THE END OF THE BOLT IS AT LEAST FLUSH WITH THE FACE OF THE NUT. IT IS NOT PERMITTED FOR THE BOLT END TO BE BELOW THE FACE OF THE NUT AFTER TIGHTENING IS COMPLETED.

14. GALVANIZED ASTM A325 BOLTS SHALL NOT BE REUSED.

WELDING NOTES:

1. ALL WELDING SHALL BE IN ACCORDANCE WITH THE AWS D1.1/D1.1M: 2010 "STRUCTURAL WELDING CODE-STEEL".

2. ALL WELDING SHALL BE PERFORMED BY AWS CERTIFIED WELDERS.

3. CONTRACTOR SHALL RETAIN AN AWS CERTIFIED WELD INSPECTOR TO PERFORM VISUAL INSPECTIONS OF ALL WELDS. A LETTER AND REPORT SHALL BE ISSUED TO THE CONTRACTOR. CONTRACTOR SHALL SUBMIT LETTER AND REPORT TO TOWER ENGINEERING PROFESSIONALS.

4. GRIND THE SURFACE ADJACENT TO THE WELD FOR A DISTANCE OF 2" MINIMUM ALL AROUND GRIND THE SURFACE OF THE ROD TO BE INSTALLED FOR A DISTANCE OF 2" MINIMUM ALL AROUND THE AREA TO BE WELDED. ENSURE BOTH AREAS ARE 100% FREE OF ALL GALVANIZING, SURFACES TO BE WELDED SHALL BE FREE FROM SCALE, SLAG, RUST, MOISTURE, GREASE OR ANY OTHER FOREIGN MATERIAL THAT WOULD PREVENT PROPER WELDING.

5. DO NOT WELD IF THE TEMPERATURE OF THE STEEL IN THE VICINITY OF THE WELD AREA IS BELOW 0°. THE MINIMUM PREHEAT AND INTERPASS TEMPERATURE REQUIREMENTS SHALL COMPLY WITH SECTION 3.5.1 AND TABLE 3.2 OF THE AWS D1.1/D1.1M: 2010.

6. DO NOT WELD ON WET OR FROST-COVERED SURFACES & PROVIDE ADEQUATE PROTECTION FROM HIGH WINDS.

7. FOR ALL WELDING, USE 70 KSI LOW HYDROGEN ELECTRODES. ELECTRODES SHALL BE APPROPRIATE FOR THE WELDING POSITION REQUIRED TO MAKE THE JOINT.

8. AFTER FINAL INSPECTION, THE AREA OF THE WELDS, THE INSTALLATION AND ALL SURFACES DAMAGED BY WELDING OR GRINDING SHALL RECEIVE A COLO-GALVANIZED COATING. THIS COATING SHALL BE APPLIED BY BRUSH. THE GALVANIZING COMPOUND SHALL CONTAIN A MINIMUM OF 95% ± PURE ZINC. THE FINISHER COATING SHALL BE A MINIMUM THICKNESS OF 3 MIL.

9. FOR MONOPILE TOWERS FULL PENETRATION WELDS IN THE VICINITY OF THE BASE OF THE TOWER ARE REQUIRED TO BE 100% NDE INSPECTED BY ULTRASONIC TESTING (UT) IN ACCORDANCE WITH AWS D1.1.

10. FOR MONOPILE TOWERS PARTIAL PENETRATION AND FILLET WELDS IN THE VICINITY OF THE BASE OF THE TOWER ARE REQUIRED TO BE 50% NDE INSPECTED BY MAGNETIC PARTICLE (MT) IN ACCORDANCE WITH AWS D1.1.

11. PROVIDE WELDS ALL AROUND OR ADD SEAL WELDS WHERE STRUCTURAL WELDS ARE NOT SPECIFIED.

PLANS PREPARED BY:

TOWER ENGINEERING PROFESSIONALS
326 TRYON ROAD
RALEIGH, NC 27603
OFFICE: (919) 661-6351
www.tegroup.net



0	03-08-22	MODIFICATION DRAWINGS
REV	DATE	ISSUED FOR:
DRAWN BY: EAJ		
CHECKED BY: ML		
SHEET TITLE:		

SHEET NUMBER:	REVISION:
N-2	0
TEP#257246, 65065	

MAR 3 1 2022

City of Pittsburg

BOLT TIGHTENING PROCEDURE:

- UNLESS OTHERWISE NOTED, ALL BOLTED CONNECTIONS SHALL BE BROUGHT TO A SNUG TIGHT CONDITION AS DEFINED IN SECTION 8.1 OF THE AISC SPECIFICATION FOR STRUCTURAL JOINTS USING A325 OR A490 BOLTS, LOCATED IN THE AISC MANUAL OF STEEL CONSTRUCTION. ALL SNUG TIGHT BOLTS SHALL BE INSTALLED WITH THE NOT-LOADING BEARING OF THE CONNECTION. SUCH AS, BUT NOT LIMITED TO, LOCK NUTS, LOCK WASHERS, OR PLAIN NUTS, TO PREVENT LOOSENING.
- WHEN SPECIFIED IN THE DRAWINGS, CONNECTION BOLTS SHALL BE INSTALLED AND TIGHTENED AS PER SECTION 8.2.1 OF THE AISC SPECIFICATION FOR STRUCTURAL JOINTS USING A325 OR A490 BOLTS, LOCATED IN THE AISC MANUAL OF STEEL CONSTRUCTION. THE INSTALLATION PROCEDURE IS PARAPHRASED AS FOLLOWS:

8.2.1 TURN-OF-THE-NUT TIGHTENING

BOLTS SHALL BE INSTALLED IN ALL HOLES OF THE CONNECTION AND BROUGHT TO A SNUG TIGHT CONDITION AS DEFINED IN SECTION 8.1, UNTIL ALL THE BOLTS ARE SIMULTANEOUSLY SNUG TIGHT AND THE CONNECTION IS FULLY COMPACTED. FOLLOWING THIS INITIAL OPERATION ALL BOLTS IN THE CONNECTION SHALL BE TIGHTENED FURTHER BY THE APPLICABLE AMOUNT OF ROTATION SPECIFIED BELOW DURING THE TIGHTENING OPERATION. THERE SHALL BE NO ROTATION OF THE PART NOT TURNED BY THE WRENCH. TIGHTENING SHALL PROCEED SYSTEMATICALLY FROM THE MOST RIGID PART OF THE JOINT IN A MANNER THAT WILL MINIMIZE RELAXATION OF PREVIOUSLY PRETENSIONED BOLTS.

- PRE-TENSIONED BOLTS AS SPECIFIED ON THE DRAWINGS SHALL BE TIGHTENED IN ACCORDANCE WITH AISC - "TURN OF THE NUT" METHOD, USING THE CHART BELOW.

BOLT LENGTHS UP TO AND INCLUDING FOUR DIA.

$\frac{1}{2}"$ BOLTS UP TO AND INCLUDING 2.0 INCH LENGTH	$\frac{1}{2}$ TURN BEYOND SNUG TIGHT
$\frac{3}{4}"$ BOLTS UP TO AND INCLUDING 2.5 INCH LENGTH	$\frac{1}{2}$ TURN BEYOND SNUG TIGHT
$\frac{1}{2}"$ BOLTS UP TO AND INCLUDING 3.0 INCH LENGTH	$\frac{1}{2}$ TURN BEYOND SNUG TIGHT
$\frac{3}{4}"$ BOLTS UP TO AND INCLUDING 3.5 INCH LENGTH	$\frac{1}{2}$ TURN BEYOND SNUG TIGHT
$1"$ BOLTS UP TO AND INCLUDING 4.0 INCH LENGTH	$\frac{1}{2}$ TURN BEYOND SNUG TIGHT

BOLT LENGTHS OVER FOUR DIA. BUT NOT EXCEEDING EIGHT DIA.

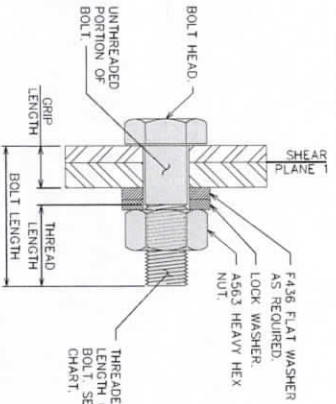
$\frac{1}{2}"$ BOLTS 2.25 TO 4.0 INCH LENGTH	$\frac{1}{2}$ TURN BEYOND SNUG TIGHT
$\frac{3}{4}"$ BOLTS 2.75 TO 5.0 INCH LENGTH	$\frac{1}{2}$ TURN BEYOND SNUG TIGHT
$\frac{1}{2}"$ BOLTS 3.25 TO 6.0 INCH LENGTH	$\frac{1}{2}$ TURN BEYOND SNUG TIGHT
$\frac{3}{4}"$ BOLTS 3.75 TO 7.0 INCH LENGTH	$\frac{1}{2}$ TURN BEYOND SNUG TIGHT
$1"$ BOLTS 4.25 TO 8.0 INCH LENGTH	$\frac{1}{2}$ TURN BEYOND SNUG TIGHT

- ALL ONE-SIDED BOLTS SHALL BE TIGHTENED IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.

BOLT DETAILS

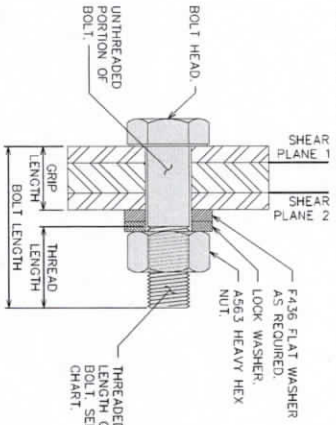
SINGLE SHEAR CONNECTIONS:

A325-X BOLT
UNTHREADED LENGTH OF BOLT PASSES
THROUGH SHEAR PLANE



DOUBLE SHEAR CONNECTIONS:

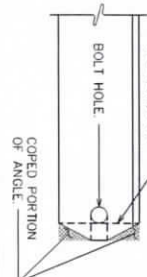
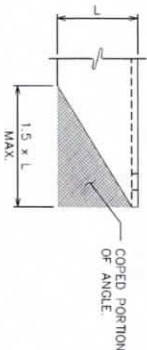
A325-X BOLT
UNTHREADED LENGTH OF BOLT PASSES
THROUGH SHEAR PLANES



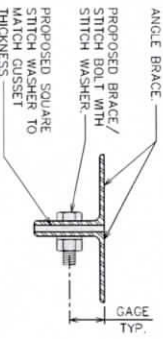
BOLT THREADS

BOLT DIAMETER	THREAD LENGTH
$\frac{1}{2}"$	1"
$\frac{3}{8}"$	1 1/2"
$\frac{1}{4}"$	1 3/4"
$\frac{3}{16}"$	1 1/2"
$\frac{1}{8}"$	1 3/4"
$\frac{1}{16}"$	2"

ALLOWABLE ANGLE COPE



SECTION AT CENTER AND STITCH CONNECTION



NOTE:
ALL STITCH WASHERS ARE TO BE NEW ASTM A36 MATERIAL AND BE OF EQUAL SIZE TO THE ANGLE LEG HEIGHT. THICKNESS TO MATCH EXISTING GUSSET/ANGLE THICKNESS.

WORKABLE GAGES

LEG	4	3 1/2	3	2 1/2	2	1 1/2
G	2	1 1/2	1 1/2	1 1/2	1	3/4



NOMINAL HOLE DIMENSIONS

BOLT DIAMETER	STANDARD HOLE	SHORT SLOT
$\frac{1}{2}"$	$\frac{3}{16}"$	$\frac{3}{16}" \times \frac{1}{16}"$
$\frac{3}{8}"$	$\frac{1}{16}"$	$\frac{1}{16}" \times \frac{1}{16}"$
$\frac{1}{4}"$	$\frac{1}{16}"$	$\frac{1}{16}" \times \frac{1}{16}"$
$\frac{3}{16}"$	$\frac{1}{16}"$	$\frac{1}{16}" \times \frac{1}{16}"$

- DIMENSIONS GIVEN IN INCHES.
- ALL PROPOSED HOLES SHALL BE DRILLED OR PUNCHED.

BOLT EDGE AND SPACING

BOLT DIAMETER	MIN. EDGE	SPACING
$\frac{1}{2}"$	$\frac{1}{4}"$	1 1/2"
$\frac{3}{8}"$	$\frac{1}{16}"$	1 1/2"
$\frac{1}{4}"$	$\frac{1}{16}"$	2"
$\frac{3}{16}"$	$\frac{1}{16}"$	2"
$\frac{1}{8}"$	$\frac{1}{16}"$	3"



PLANS PREPARED FOR:

U.S. Cellular

800 CONNORSTONE DR.
PITTSBURGH, PA 15106
OFFICE: (412) 777-8054

PROJECT INFORMATION:

VIA CHRISTIE
SITE #: 589405

401 THOMAS ST.
PITTSBURGH, PA 15106
(CHANDLER COUNTY)

PLANS PREPARED BY:

TOWNE ENGINEERING PROFESSIONALS

328 TRIVION ROAD
RALEIGH, NC 27603
OFFICE: (919) 661-5351
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SHEET NUMBER: **N-3**
REVISION: 0
TEP #237246-050051

PROJECT NOTES II

DRAWN BY: EAV
CHECKED BY: ML
DATE: 03-06-22
MODIFICATION DRAWINGS
ISSUED FOR:

FOUNDATION NOTES:

GENERAL NOTES:

1. FOUNDATION INSTALLATION SHALL BE SUPERVISED BY PERSONNEL KNOWLEDGEABLE AND EXPERIENCED WITH THE PROPOSED FOUNDATION TYPE. CONSTRUCTION SHALL BE IN ACCORDANCE WITH GENERALLY ACCEPTED PRACTICES AND IN A GOOD WORKMANLIKE MANNER.
2. THE FOUNDATION DESIGN IS IN ACCORDANCE WITH GENERALLY ACCEPTED PROFESSIONAL ENGINEERING PRINCIPLES AND PRACTICES WITHIN THE LIMITS OF THE SUBSURFACE DATA PROVIDED.
3. THE FOUNDATION DESIGN ASSUMES FIELD INSPECTIONS WILL BE PERFORMED TO VERIFY THAT CONSTRUCTION MATERIALS, INSTALLATION METHODS, AND ASSUMED DESIGN PARAMETERS ARE ACCEPTABLE BASED ON THE CONDITIONS AT THE SITE.
4. THE FOUNDATION DESIGN ASSUMES NO CONSTRUCTION JOINTS.

FOUNDATION TOLERANCE:

1. CONCRETE DIMENSIONS: PLUS OR MINUS 1"
2. DEPTH OF FOUNDATION: PLUS 3", MINUS 0"
3. REINFORCING STEEL PLACEMENT: PLUS OR MINUS 1/2" INCLUDING CONCRETE COVER

EXCAVATION/EARTHWORK:

1. EXCAVATION SHALL BE DONE WITH LOCAL CODES AND SAFETY REGULATIONS. PROCEDURES FOR THE PROTECTION OF EXCAVATIONS, EXISTING CONSTRUCTION, AND UTILITIES SHALL BE ESTABLISHED PRIOR TO BEGINNING WORK.
2. THE SIDES OF THE EXCAVATION SHALL BE ROUGH AND FREE OF LOOSE CUTTINGS.
3. LOOSE MATERIAL TO BE REMOVED FROM THE BOTTOM OF EXCAVATION PRIOR TO CONCRETE PLACEMENT.
4. BACKFILL TO BE CLEAN AND FREE OF DEBRIS MATERIALS.
5. BACKFILL TO ACHIEVE A 95% PROCTOR CONDITION OF 95.0%.

REINFORCING STEEL:

1. THE REINFORCING STEEL SHALL CONFORM TO THE REQUIREMENTS OF ASTM A-615, GRADE 60. IT SHALL BE DEFORMED BULLET STEEL, AND SPICES SHALL NOT BE ALLOWED UNLESS OTHERWISE NOTED.
2. WELDING IS PROHIBITED ON REINFORCING STEEL AND EMBEDMENTS.
3. REINFORCING CAGES SHALL BE BRACED TO RETAIN PROPER DIMENSIONS DURING HANDLING AND THROUGHOUT PLACEMENT OF CONCRETE. WHEN TEMPORARY CASING IS UTILIZED, BRACING SHALL BE ADEQUATE TO RESIST FORCES OCCURRING FROM FLOWING CONCRETE DURING CASING EXTRACTION.
4. REINFORCING CAGES SHALL BE ATTACHED INTERNETMENTALLY THROUGHOUT THE ENTIRE LENGTH OF TIEBACK REINFORCING TO ENSURE CONCENTRIC PLACEMENT OF CAGES IN EXCAVATIONS.
5. MINIMUM CONCRETE COVER FOR REINFORCEMENT SHALL BE 3" UNLESS OTHERWISE NOTED. APPROVED SPACERS SHALL BE USED TO ENSURE A 3" MINIMUM COVER ON REINFORCEMENT.
6. THE CONCRETE COVER FROM THE TOP AND BOTTOM OF THE FOUNDATION TO THE ENDS OF THE VERTICAL REINFORCEMENT SHALL NOT EXCEED 4" NOR BE LESS THAN 2".
7. REINFORCING STEEL SHALL BE DETAIL, FABRICATED, BENT, AND PLACED IN ACCORDANCE WITH THE CRS MANUAL OF STANDARD PRACTICE AND THE AC 308 (LATEST EDITION).

CONCRETE:

1. WORK SHALL BE IN ACCORDANCE WITH THE LATEST REVISION OF THE AC-308, BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE.
2. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH AC 301 SPECIFICATIONS FOR STRUCTURAL CONCRETE (LATEST EDITION). ALL CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 5000 PSI.
3. PROPORTIONS OF CONCRETE MATERIALS SHALL BE SUITABLE FOR THE INSTALLATION METHOD UTILIZED AND SHALL RESULT IN DURABLE CONCRETE THAT RESISTS ALL AGGRESSIVE ACTIONS. THE STANDARD REQUIREMENTS OF AC-308 SHALL BE SATISFIED.
4. CONCRETE SHALL BE PLACED IN A MANNER THAT WILL PREVENT SEGREGATION OF CONCRETE MATERIALS. INFLTRATION OF WATER, SOIL, OR OTHER OCCURRENCES THAT MAY DECREASE THE STRENGTH OR DURABILITY OF THE FOUNDATION.
5. FREE FALL CONCRETE MAY BE USED PROVIDED FALL IS VERTICAL DOWN WITHOUT HITTING THE SIDES OF THE EXCAVATION, FORMWORK, REINFORCING BARS, FORM TIES, CASE BRACING, OR OTHER OBSTRUCTIONS. UNDER NO CIRCUMSTANCES SHALL CONCRETE FALL THROUGH WATER.
6. PREPARE AND SUBMIT BATCH TICKETS FOR EACH TYPE AND STRENGTH OF CONCRETE.
7. ALL CONCRETE SHALL BE NORMAL WEIGHT CONCRETE.
8. THE TARGET SLUMP SHALL BE 4" OR AS DETERMINED BY THE CONTRACTOR AND SUPPLIER FOR PROPER PLACEMENT TARGET SLUMP AND TOLERANCE SHALL BE INCLUDED IN THE MIX DESIGN SUBMITTAL. ACCEPTANCE OF PROPOSED SLUMP SHALL BE OBTAINED FROM THE ENGINEER PRIOR TO CONSTRUCTION. SLUMP SHALL CONFORM TO ASTM C94 AND MEET THE FOLLOWING TOLERANCES:

SLUMP

- | SLUMP | TOLERANCE |
|----------------------------|-----------|
| A. 3" AND LESS | ± 1/2" |
| B. MORE THAN 3" THROUGH 4" | ± 1" |
| C. MORE THAN 4" | ± 1 1/2" |

9. CONCRETE MIXES SHALL BE DESIGNED BY A QUALIFIED TESTING LABORATORY AND SHALL BE SUBMITTED TO THE STRUCTURAL ENGINEER FOR REVIEW.
10. CEMENT SHALL CONFORM TO ASTM C 150 TYPE I. FINE AGGREGATE SHALL CONFORM TO ASTM C 33. COARSE AGGREGATE SHALL BE GRAVEL, OR CRUSHED STONE CONFORMING TO ASTM C 33. NOMINAL MAXIMUM AGGREGATE SIZE SHALL BE 3/4".
11. THE MAXIMUM WATER / CEMENT RATIO SHALL BE 0.45.
12. THE TARGET AIR CONTENT SHALL BE 0.5 ± 0.5%.
13. WATER SHALL BE CLEAN AND FREE FROM OILS, ACIDS, ALKALIES, AND ORGANIC MATERIALS. NO ADDITIONAL WATER SHALL BE ADDED TO THE CONCRETE AT THE JOB SITE.
14. DO NOT USE CHLORIDE-CONTAINING ADJUTIVES.
15. AIR ENTRAINING ADJUTIVES SHALL CONFORM TO ASTM C 760.
16. HOT WEATHER CONCRETE PLACEMENT SHALL COMPLY WITH AC 309R. COLD WEATHER CONCRETE PLACEMENT SHALL COMPLY WITH AC 308.1.
17. CONCRETE SHALL BE PLACED WITHIN 24 HOURS OF EXCAVATION INSPECTIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXPOSED EXCAVATIONS PRIOR TO CONCRETE PLACEMENT.
18. PLACE CONCRETE BY USING A CHUTE OR HOPPER DEVICE SUCH THAT CONCRETE SHALL NOT FREE FALL FROM A HEIGHT GREATER THAN 5 FEET. DEPOSIT CONCRETE WITHIN THE CENTER OF THE STEEL REINFORCING CAGE TO PREVENT SEGREGATION.
19. CONSOLIDATE PLACED CONCRETE WITH MECHANICAL VIBRATING EQUIPMENT IN ACCORDANCE WITH AC 309R. DO NOT USE VIBRATORS TO COMPACT CONCRETE.

CONCRETE (CONTINUED):

20. CONCRETE SHALL BE CURED IN ACCORDANCE WITH AC 301. WHEN APPLICABLE, CURING COMPOUNDS SHALL BE WATER CLEAR, STRENGTH ENHANCING TYPE, WITH A MINIMUM SOLIDS CONTENT OF 30% APPLICATION SHALL BE IN CONFORMANCE WITH MANUFACTURER'S INSTRUCTIONS.
21. ALL CONCRETE TESTING SHALL BE IN ACCORDANCE WITH AC 318. A MINIMUM OF TWO 6"x12" CONCRETE CYLINDERS PER BATCH REQUIRED.
22. FOR CASING FOUNDATIONS, A TEMPORARY PROTECTIVE STEEL CASING MAY BE REQUIRED TO KEEP THE SHAFT OPEN DURING CONSTRUCTION AND RESPECTIONS PRIOR TO PLACING CONCRETE. THIS CASING SHOULD BE EXTRACTED AS THE CONCRETE IS PLACED.

FINISHING:

1. THE TOP OF THE FOUNDATION SHALL BE SLOPED TO DRAIN WITH A FLOATED FINISH.
2. THE EXPOSED EDGES OF THE CONCRETE SHALL BE CHAMFERED 1/4" x 1/4".

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MAR 31 2022
City of Pittsburgh
Community Development

PLANS PREPARED FOR:



880 CORNHORNE DR.
KNOXVILLE, TN 37932
OFFICE: (865) 777-8054

PROJECT INFORMATION:

VIA CHRISTIE
SITE # 589405

401 THOMAS ST.
PITTSBURGH, KS 66762
(CRAWFORD COUNTY)

PLANS PREPARED BY:



TONER ENGINEERING PROFESSIONALS
326 IRVON ROAD
RALEIGH, NC 27603
OFFICE: (919) 661-5351
www.teppgroup.net

SEAL:



March 04, 2022

REV	DATE	MODIFICATION DRAWINGS	ISSUED FOR
0	03-06-22		
DRAWN BY:	SAI	CHECKED BY:	MA

SHEET TITLE:

FOUNDATION NOTES

SHEET NUMBER:

N-4

REVISION:

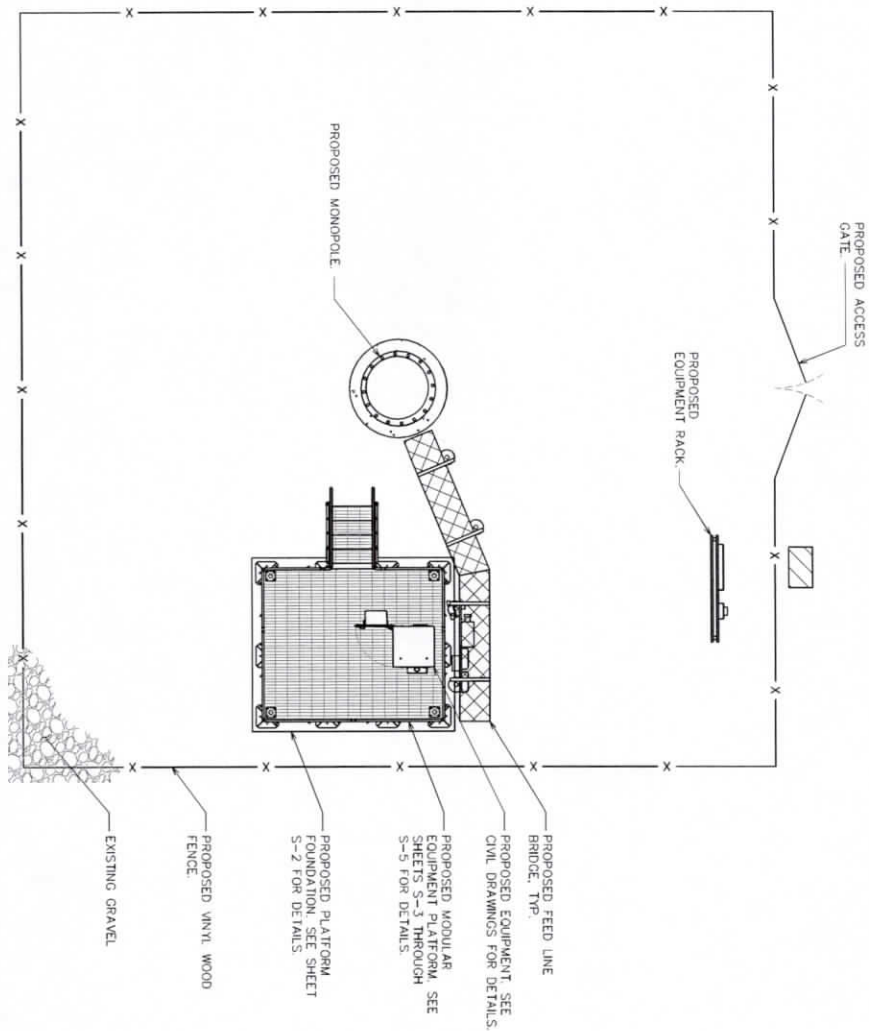
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TEP#257246.65065.1

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MAR 31 2022

City of Pittsburgh
Community Development



SITE PLAN
SCALE: N.T.S.

PLANS PREPARED FOR:



800 CONESTOGUE DR
KNOXVILLE, TN 37932
OFFICE: (865) 777-8094

PROJECT INFORMATION:

VIA CHRISTIE
SITE #: 589405

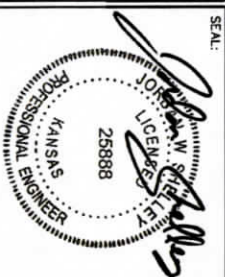
401 THOMAS ST.
PITTSBURGH, PA 15262
(GRANFORD COUNTY)

PLANS PREPARED BY:



TOWER ENGINEERING PROFESSIONALS
326 TRYON ROAD
RALEIGH, NC 27603
OFFICE: (919) 661-6351
www.tepgroup.net

SEAL:



March 08, 2022

REV.	DATE	MODIFICATION DRAWINGS	ISSUED FOR:
0	03-08-22		
DRAWN BY: EAJ CHECKED BY: ML			

SHEET TITLE:

SITE PLAN

SHEET NUMBER: REVISION:

S-1

0
TEP #257246 (5/30/21)

MAR 31 2022

City of Pittsburg
Community Development
ALLOWED.

1. CONCRETE SHALL BE POURED MONOLITHICALLY, COLD JOINTS NOT ALLOWED.
2. FOUNDATION DESIGN IS BASED ON ASSUMED SOIL BEARING CAPACITY OF 2,000 PSF.



SCALE: $Y_2'' = 1'-0''$



SCALE IN FEET

SCALE: 1" = 1'-0"

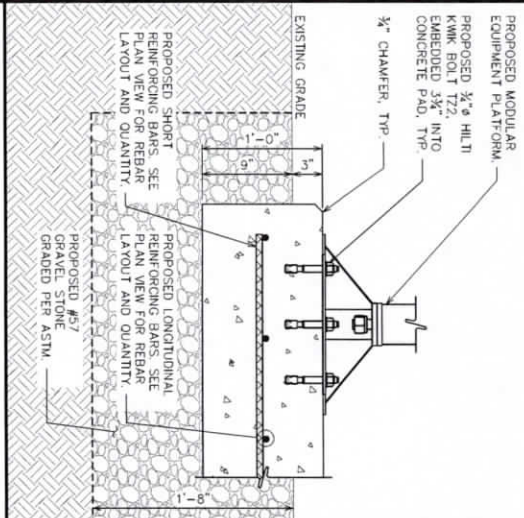
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0 1
SCALE IN FEET

ET

NOTE:

STAIR ANGLE POSTS NOT SHOWN FOR CLARITY.



PLANS PREPARED FOR:



800 CORNERSTONE DR.
KNOXVILLE, TN 37932
OFFICE: (865) 777-8054

PROJECT INFORMATION:

VIA CHRISTIE
SITE #: 589405

PITTSBURG, KS 66762
(CRAWFORD COUNTY)

PLANS PREPARED BY:

TOWER ENGINEERING PROFESSIONALS

326 TRYON ROAD
DALEIGH NC 27601

RALEIGH, NC 27601
OFFICE: (919) 661-63

www.lepgroup.net

SEAL:

25888

March 08, 2022

SHEET TITLE:

FOUNDATION DETAILS

SHEET NUMBER:

3

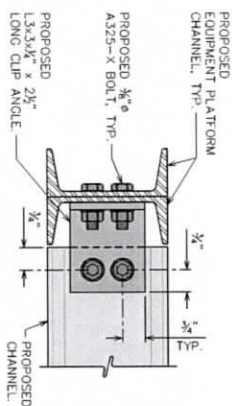
C-2

TEP#:257246.650651

1. SEE SHEET N-3 FOR HOLE SIZE, GAGE, BOLT SPACING, MINIMUM EDGE DISTANCE, STITCH/CENTER CONNECTION, AND MAXIMUM ALLOWABLE ANGLE CORES.
2. PRIOR TO FABRICATION AND INSTALLATION, CONTRACTOR SHALL FIELD VERIFY ALL LENGTHS AND QUANTITIES GIVEN, AVERAGE LENGTH AND QUANTITIES PROVIDED ARE FOR QUOTING PURPOSES ONLY, AND SHALL NOT BE USED FOR FABRICATION.
3. ALL CONNECTIONS NOT FULLY DETAILED ON THESE PLANS SHALL BE DETAILED BY THE STEEL FABRICATOR IN ACCORDANCE WITH THE AISC STEEL CONSTRUCTION MANUAL. SEE SHEET N-2 FOR DETAILS.
4. ALL HOLES SHALL BE DRILLED OR PUNCHED.
5. CHANNEL BEAMS TO BE LOCATED BENEATH CANOPY PIPE COLUMN, TYP. VERIFY LOCATION PRIOR TO LOCATION.
6. CHANNEL BEAM TO BE LOCATED BENEATH EQUIPMENT. VERIFY LOCATION PRIOR TO LOCATION.



SCALE: N.T.S.



TOWER ENGINEERING PROFESSIONALS
326 TRYON ROAD
RALEIGH, NC 27603
OFFICE: (919) 661-6351
www.tepgroup.net



**VIA CHRISTIE
SITE #: 589405**

VIA CHRISTIE
SITE #: 589405

800 CORNERSTONE DR.
KNOXVILLE, TN 27932
OFFICE: (865) 777-8054



PLANS PREPARED FOR:

SCALE: $1/2" = 1'-0"$



PLATFORM FRAMING DETAILS I

SHEET NUMBER:	REVISION:
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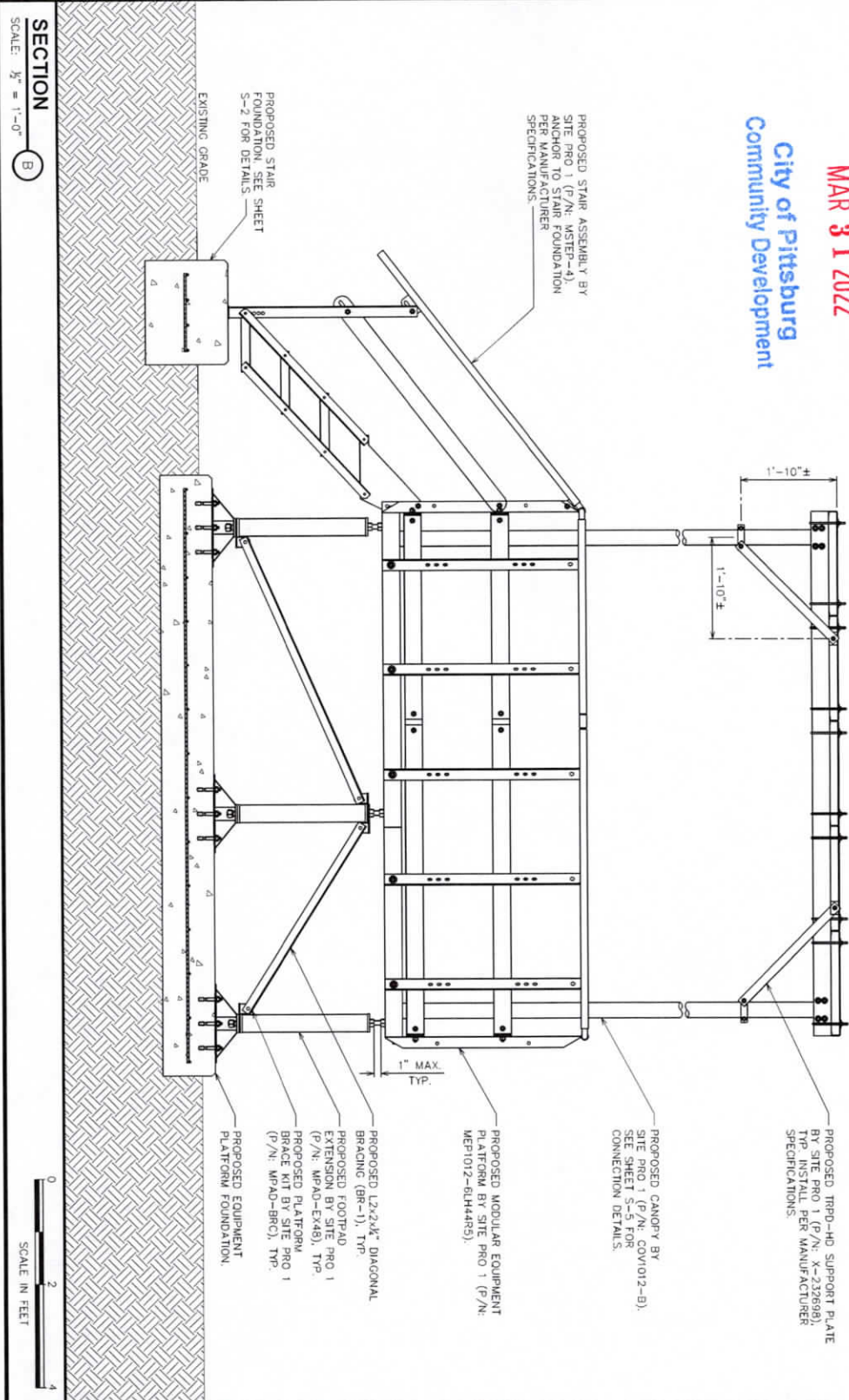
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TEP #: 257246, 650651

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City of Pittsburgh
Community Development



SECTION
B

SCALE: 1/2" = 1'-0"

PLANS PREPARED FOR:



800 CORNHORNE DR.
KNOXVILLE, TN 37932
OFFICE: (865) 777-8054

PROJECT INFORMATION:

VIA CHRISTIE
SITE #: 589405

401 THOMAS ST.
PITTSBURG, KS 66762
(CHAMFORD COUNTY)

PLANS PREPARED BY:



TORNER ENGINEERING PROFESSIONALS
325 TRYON ROAD
RALEIGH, NC 27603
OFFICE: (919) 661-6351
www.tepgroup.net

SEAL:



REV	DATE	MODIFICATION DRAWINGS	ISSUED FOR:
0	03-06-22	MODIFICATION DRAWINGS	
DRAWN BY:	DAI	CHECKED BY:	ML

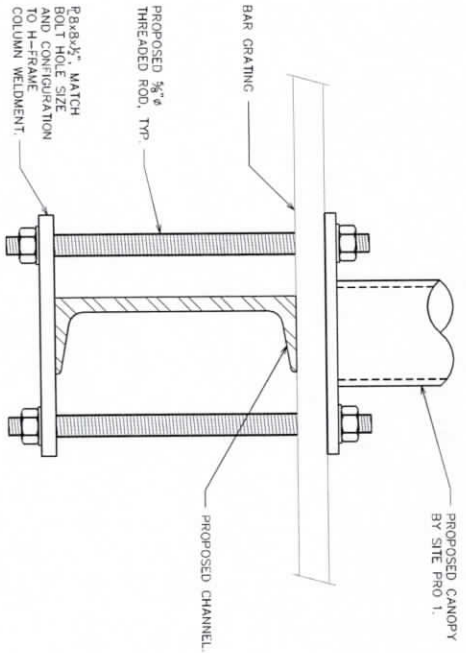
SHEET TITLE:

PLATFORM
FRAMING DETAILS II

SHEET NUMBER: 0

S-4

TEP#257246.650651



CANOPY TO PLATFORM CONNECTION DETAILS

SCALE: N.T.S.

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MAR 31 2022

**City of Pittsburg
Community Development**

PLANS PREPARED FOR:



800 CORNERSTONE DR.
KNOXVILLE, TN 37932
OFFICE: (865) 777-8054

PROJECT INFORMATION:

**VIA CHRISTIE
SITE #: 589405**

401 THOMAS ST.
PITTSBURG, KS 66762
(CRAWFORD COUNTY)

PLANS PREPARED BY:



TOWER ENGINEERING PROFESSIONALS
325 TRYON ROAD
RALEIGH, NC 27603
OFFICE: (919) 661-6361
www.teppro.net

SEAL:



REV	DATE	ISSUED FOR
0	03-06-22	MODIFICATION DRAWINGS

DRAWN BY: EAL CHECKED BY: ML

SHEET TITLE:

**PLATFORM
FRAMING DETAILS III**

SHEET NUMBER: REVISION:

S-5

0

TEP#257246.GSD0651

(THIS FORM MUST BE FILLED OUT TO ACCOMPANY ALL ARIANCE APPLICATIONS MADE TO THE BOARD OF ZONING APPEALS AND ALL REZONING AND CONDITIONAL USE APPLICATIONS MADE TO THE PLANNING AND ZONING COMISSION and ALL CITIES)

Prepared for: Jessica Norrib 682-330-8223

The following are the names and addresses of all persons owning property within 200 feet of the outside boundary of the property for which the request is being made:

All a tract of land described as beginning at the Southeast Corner of Government Lot Number Four (4) of the Northwest Quarter (NW/4) in Section Five (5). Township Thirty One (31) South, Range Twenty Five (25) East of the Sixth Principal Meridian, according to the U.S. Government Survey thereof, in Crawford County, Kansas, thence North 02° 18' 39" West along the West line of Random Acres Six Hundred Thirty (630.00) feet, thence South 82° 25' 18" West to the East line of Meadowbrook Mall Addition Three Hundred Thirty Five and Eighty Four Hundredths (335.84) feet, thence along said East line South 02° 21' 19" East Six Hundred (600.00) feet to the Southeast Corner of Meadowbrook Mall Addition being the South line of Lot Four (4) Northwest Quarter (NW/4), thence along said South line North 87° 32' 55" East, Three Hundred Thirty Four (334.00) feet to the point of beginning,

EXCEPT that part thereof, if any, included in the Plat of Lindale Addition (now vacated) according to the recorded Plat thereof.

Ken Brock & Debbie Brock	PO Box 1479, Pittsburg, KS 66762
Randolph E. Vilela	PO Box 208, Pittsburg, KS 66762
Ralph O. David & Jennifer Ann Ortolani & Rebecca Rae Wills	2608 Omaha Street, Pittsburg, KS 66762
Danyell Pollard	2610 Omaha Street, Pittsburg, KS 66762
Frances K. Fenoglio & Francis J. Ross, III	2612 Omaha Street, Pittsburg, KS 66762
Benjamin Steve Lewis	2614 Omaha Street, Pittsburg, KS 66762
Richard Hudson & Rita Hudson	405 Thomas Street, Pittsburg, KS 66762
Thelma Jane Taylor Rev. Living Trust	2511 Random Acres, Ct., Pittsburg, KS 66762
Triangle Investments LLC	310 E. Centennial Dr., Pittsburg, KS 66762
Great Plains Development LLC C/O Robert L. Jackson, Jr.	4400 Shawnee Mission, Parkway # 202 Fairway, KS 66205
Justin B. Dungan & Alissa M. Dungan	402 Thomas Street, Pittsburg, KS 66762

Done at Girard, Kansas this 11th day of February, 2022.

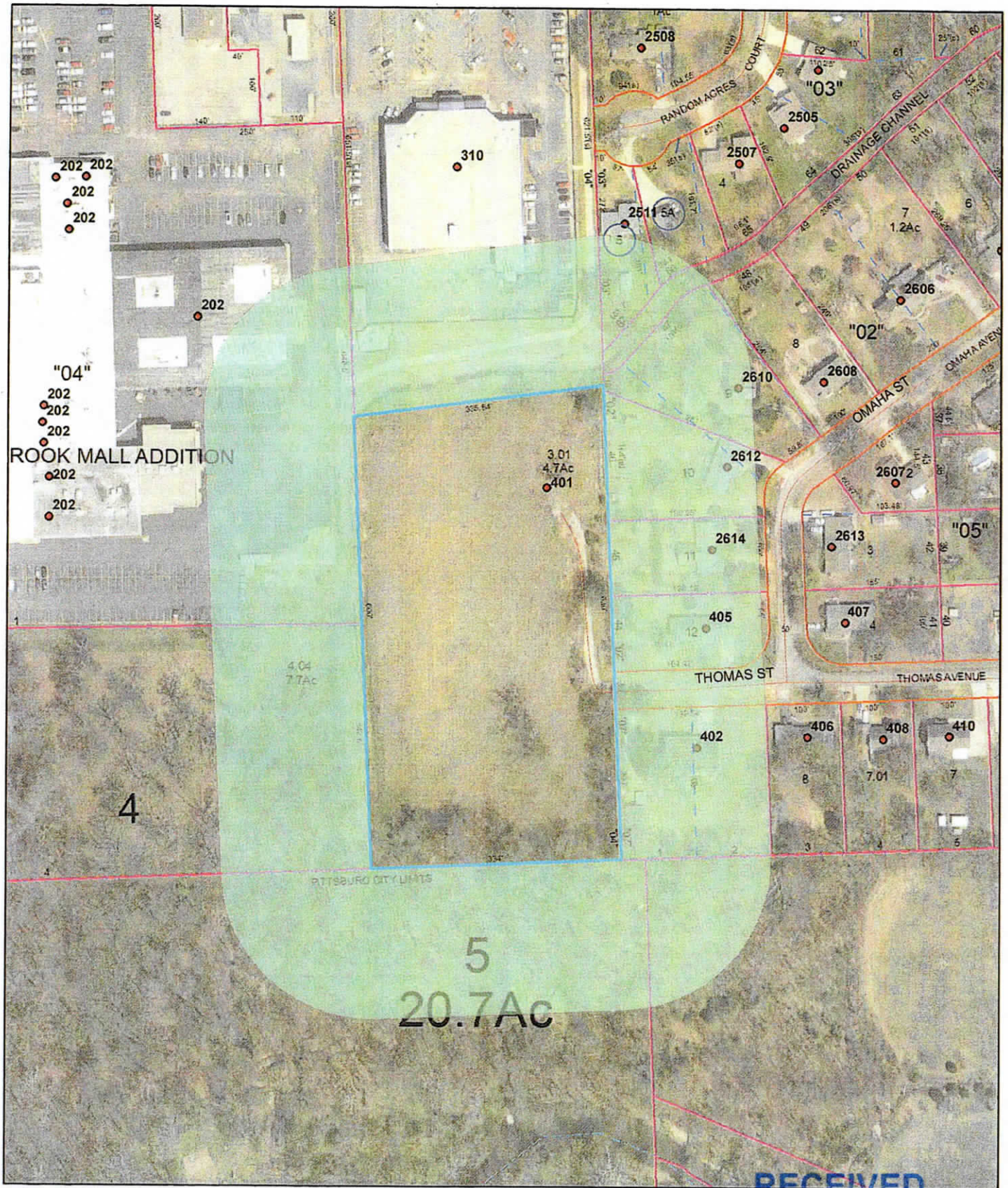
THE CRAWFORD COUNTY ABSTRACT COMPANY, LLC.

By David J. Sain
Authorized Signor

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MAR 31 2022

City of Pittsburg
Community Development



200' Search Aerial

RECEIVED

MAR 31 2022

**City of Pittsburg
Community Development**

Projection: Lambert Conformal Conic
Date of Photo: Mar. 2018



1 inch = 165 feet

LEGALS

(First Published in the Pittsburg Morning Sun on
May 3rd 2022)

Public Notice

Date: April 28, 2022

Planning Commission/Board of Zoning Appeals

Notice of Public Hearing

The Planning Commission/Board of Zoning Appeals of the City of Pittsburg, KS, will hold a Public Hearing on May 23, 2022 at 5:30 pm, in the Municipal Court Room of the Law Enforcement Center, 201 N Pine, to consider a Petition for a Conditional Use Permit under the provisions of Article 30 of the Pittsburg Zoning Ordinance to allow a communications tower at 401 Thomas.

The property is described as:

All of a tract of land described as beginning at the Southeast Corner of Government Lot Number Four (4) of the Northwest Quarter (NW/4) in Section Five (5), Township Thirty One (31) South, Range Twenty Five (25) East of the Sixth Principal Meridian, according to the U.S. Government Survey thereof, in Crawford County, Kansas, thence North 02°18'39" West along the West line of Random Acres 630.0 feet, thence South 82°25'18" West to the East line of Meadowbrook Mall Addition 335.84 feet, thence along said East line South 02°21'19" East 600.0 feet to the Southeast Corner of Meadowbrook Mall Addition being the South line of Lot Four (4) Northwest Quarter (NW/4), thence along said South line North 87°32'55" East, 334.0 feet to the point of beginning.

EXCEPT that part thereof, if any, included in the Plat of Lindale Addition (now vacated), according to the recorded Plat thereof.

Dated this April 28, 2022.

Planning Commission/Board of Zoning Appeals

ATTEST:

Dexter Neisler

Zoning Administrator

Citizens with disabilities needing accommodations in order to attend this Public Hearing should contact the City Zoning Administrator's Office at 620-230-5517 no later than 48 hours prior to the scheduled public hearing.

Tasks Report

22-12: Conditional Use - Newlin - 401 Thomas — City of Pittsburgh



Generated: 12 May 2022 09:03

22-12: Conditional Use - Newlin - 401 Thomas - P&Z Administrative Tasks

Active Tasks

Task	Start Date	Due Date	Responsible	Created By	Priority	Progress	Status
Distribute Packets			DeAnna Goering	DeAnna Goering		0%	(Not started)
Prepare City Commission Agenda Item			DeAnna Goering	DeAnna Goering		0%	(Not started)
Send Applicant Letter			DeAnna Goering	DeAnna Goering		0%	(Not started)
Upload Approved Minutes			DeAnna Goering	DeAnna Goering		0%	(Not started)

Completed Tasks

Task	Start Date	Due Date	Responsible	Created By	Priority	Progress	Status
Completed Application Received			DeAnna Goering	DeAnna Goering		100%	Completed 03/31/2022 by DeAnna Goering
Newspaper Publication			DeAnna Goering	DeAnna Goering		100%	Completed 04/28/2022 by DeAnna Goering
Notice to Property Owners			DeAnna Goering	DeAnna Goering		100%	Completed 04/28/2022 by DeAnna Goering
Notice to Utility Companies			DeAnna Goering	DeAnna Goering		100%	Completed 04/28/2022 by DeAnna Goering
Assigned Meeting Date			DeAnna Goering	DeAnna Goering		100%	Completed 04/28/2022 by DeAnna Goering

Public Notice

Date: June 8, 2022
City Commission
Notice of Public Hearing

The City Commission of the City of Pittsburg, KS, will hold a Public Hearing beginning at 5:30 pm on June 28, 2022 at the Law Enforcement Center, 201 N Pine, Pittsburg, KS, to consider an Appeal of the Planning Commission/Board of Zoning Appeals' decision to DENY the Petition for a Conditional Use Permit to allow a communications tower at 401 Thomas, at the Planning Commission/Board of Zoning Appeals meeting held May 23rd, 2022.

This property is described as:

All of a tract of land described as beginning at the Southeast Corner of Government Lot Number Four (4) of the Northwest Quarter (NW/4) in Section Five (5), Township Thirty One (31) South, Range Twenty Five (25) East of the Sixth Principal Meridian, according to the U.S. Government Survey thereof, in Crawford County, Kansas, thence North 02°18'39" West along the West line of Random Acres 630.0 feet, thence South 82°25'18" West to the East line of Meadowbrook Mall Addition 335.84 feet, thence along said East line South 02°21'19" East 600.0 feet to the Southeast Corner of Meadowbrook Mall Addition being the South line of Lot Four (4) Northwest Quarter (NW/4), thence along said South line North 87°32'55" East, 334.0 feet to the point of beginning. EXCEPT that part thereof, if any, included in the Plat of Lindale Addition (now vacated), according to the recorded Plat thereof.

The original Conditional Use Permit application was submitted by Joe Newlin (Petitioner), who was present at the May 23rd meeting. The appeal is submitted by Jessica Norrid of OSS, Inc., 1054 Texan Trail, Ste 300, Grapevine, TX, 76501, on behalf of Mr. Newlin.

Dated this June 8, 2022.

Planning Commission/Board of Zoning Appeals

ATTEST:

Dexter Neisler
Zoning Administrator

Citizens with disabilities needing accommodations in order to attend this Public Hearing should contact the City Zoning Administrator's Office at 620-230-5517 no later than 48 hours prior to the scheduled public hearing.



PUBLIC WORKS

201 W 4th Street
Pittsburg, KS 66762

P: (620) 231-4100

www.pittks.org

June 8, 2022

Ken & Debbie Brock
PO Box 1479
Pittsburg, KS 66762

Dear Property Owner:

The City Commission of the City of Pittsburg, KS, will hold a Public Hearing beginning at 5:30 pm on June 28, 2022 at the Law Enforcement Center, 201 N Pine, Pittsburg, KS, to consider an Appeal of the Planning Commission/Board of Zoning Appeals' decision to DENY the Petition for a Conditional Use Permit to allow a communications tower at 401 Thomas, at the Planning Commission/Board of Zoning Appeals meeting held May 23rd, 2022.

This property is described as:

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You are receiving this letter because you own property within 200 feet of the above-described property. You are welcome to attend this meeting if you wish to speak about this Variance request. If you cannot attend in person, you may submit written comments. Written comments must be received by noon on June 21, 2022. **You are not required to attend this meeting or take any other action.**

If you have any questions regarding this matter, please feel free to contact me at 620-230-5517.

Sincerely,

Planning Commission/Board of Zoning Appeals

Dexter Neisler
Zoning Administrator

DN:dg 

PLEASE NOTE: If you have recently transferred ownership of your property in the area of the request, or if such property is under a contract purchase agreement, please forward this letter to the new owner or the contract purchaser.



(THIS FORM MUST BE FILLED OUT TO ACCOMPANY ALL VARIANCE APPLICATIONS MADE TO THE BOARD OF ZONING APPEALS AND ALL REZONING AND CONDITIONAL USE APPLICATIONS MADE TO THE PLANNING AND ZONING COMMISSION AND ALL CITIES)

Prepared for: Jessica Norrib 682-330-8223

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Great Plains Development LLC C/O Robert L. Jackson, Jr.	4400 Shawnee Mission, Parkway # 202 Fairway, KS 66205
Justin B. Dungan & Alissa M. Dungan	402 Thomas Street, Pittsburg, KS 66762

Done at Girard, Kansas this 11th day of February, 2022.

THE CRAWFORD COUNTY ABSTRACT COMPANY, LLC.

By David J. Sain
Authorized Signor

RECEIVED

MAR 31 2022

City of Pittsburg
Community Development



200' Search Aerial

RECEIVED

MAR 31 2022

City of Pittsburg
Community Development

Projection: Lambert Conformal Conic
Date of Photography: Mar. 2018



1 inch = 165 feet



Memorandum

TO: Daron Hall, City Manager

FROM: Blake Benson, Economic Development Director

DATE: June 22, 2022

SUBJECT: June 28, 2022 Agenda Item
Imagine Pittsburgh/Grow Pittsburgh request

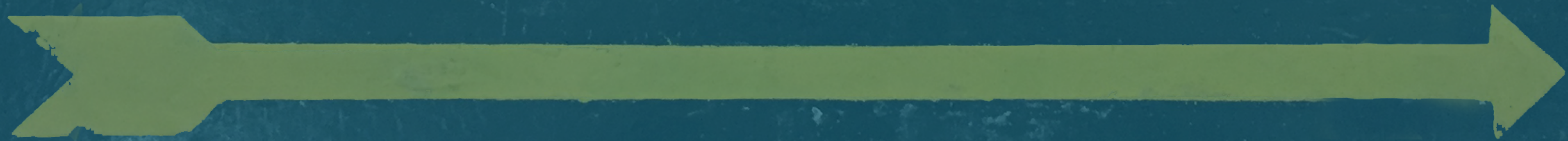
The Imagine Pittsburgh executive committee, in collaboration with the City of Pittsburgh, Pittsburgh Area Chamber of Commerce, Pittsburgh State University and USD 250, has proposed the creation of a new Community Development Corporation to provide a locally based, sustainable approach for driving strategically important initiatives and transformational development projects in our community.

Through this proposal, Imagine Pittsburgh has requested \$150,000 from the Revolving Loan Fund (RLF) to support two years of start-up costs that would allow Imagine Pittsburgh to get this critically important organization established, properly registered and operating in an effective manner as it develops longer-term, recurring sources of revenue to grow and support its impact. As part of this request, Imagine Pittsburgh has provided background information on the concept of Community Development Corporations as a tool for economic progress, the need for establishing such an organization in Pittsburgh, and the initial details for how this organization would be structured and would operate.

The Economic Development Advisory Committee (EDAC) considered this request at its June 1, 2022 meeting and voted to recommend allocating \$150,000 to support the establishment and early structure of a CDC, entitled "Grow Pittsburgh."

Please place this item on the agenda for the City Commission meeting scheduled for Tuesday, June 28, 2022. Action being requested is approval or denial of the EDAC recommendation to allocate \$150,000 to be used to create a CDC in Pittsburgh.

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Forward Together

Community Development as a
Catalyst for Future Progress

Introduction

Imagine Pittsburg, in collaboration with the Chamber of Commerce, City of Pittsburg, Pittsburg State University, and USD 250, have proposed starting a new Community Development Corporation to provide a locally based, sustainable approach for driving strategically important initiatives and transformational development projects in our community. Through this proposal, the group has requested \$150,000 in funding from the EDAC to support two years of ‘start-up’ costs that would allow us to get this critically important organization established, properly registered and operating in an effective manner as it develops longer-term, recurring sources of revenue to grow and support its impact. As part of this request, the following material provides background information on the concept of Community Development Corporations as a tool for economic progress, the need for establishing such an organization in Pittsburg, and the initial details for how this organization would be structured and operate.

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Background Information




Community Development as a Concept



Community development is a broad-based subject that is generally defined as ‘a process where community members come together to take collective action and generate solutions to common problems.’

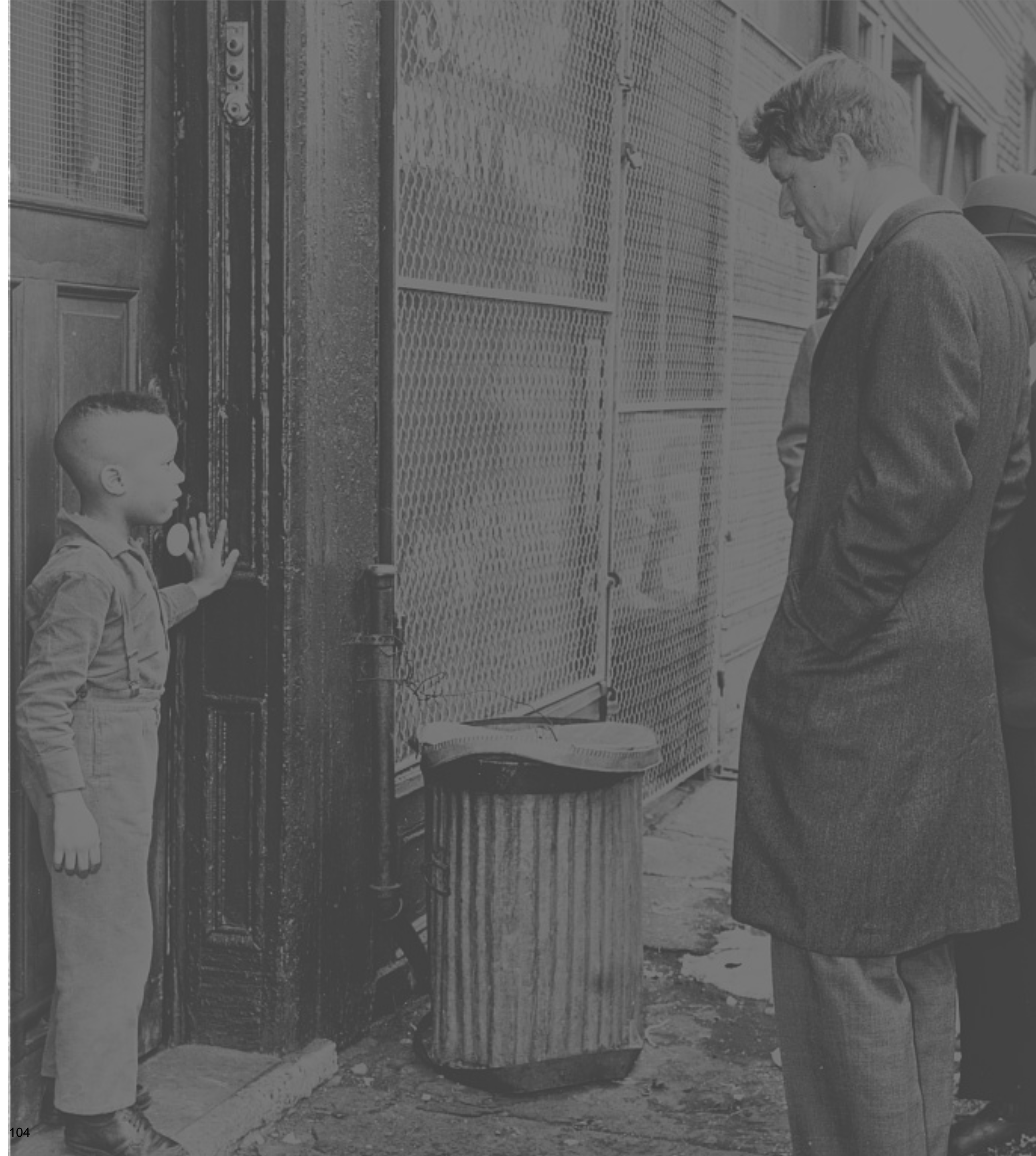
It’s also a professional discipline, encompassing a variety of overlapping approaches, and applied to the practices of civic leaders, activists, involved citizens, and professionals to build stronger and more resilient communities through an ongoing effort of identifying and addressing needs, assets and priority investments.

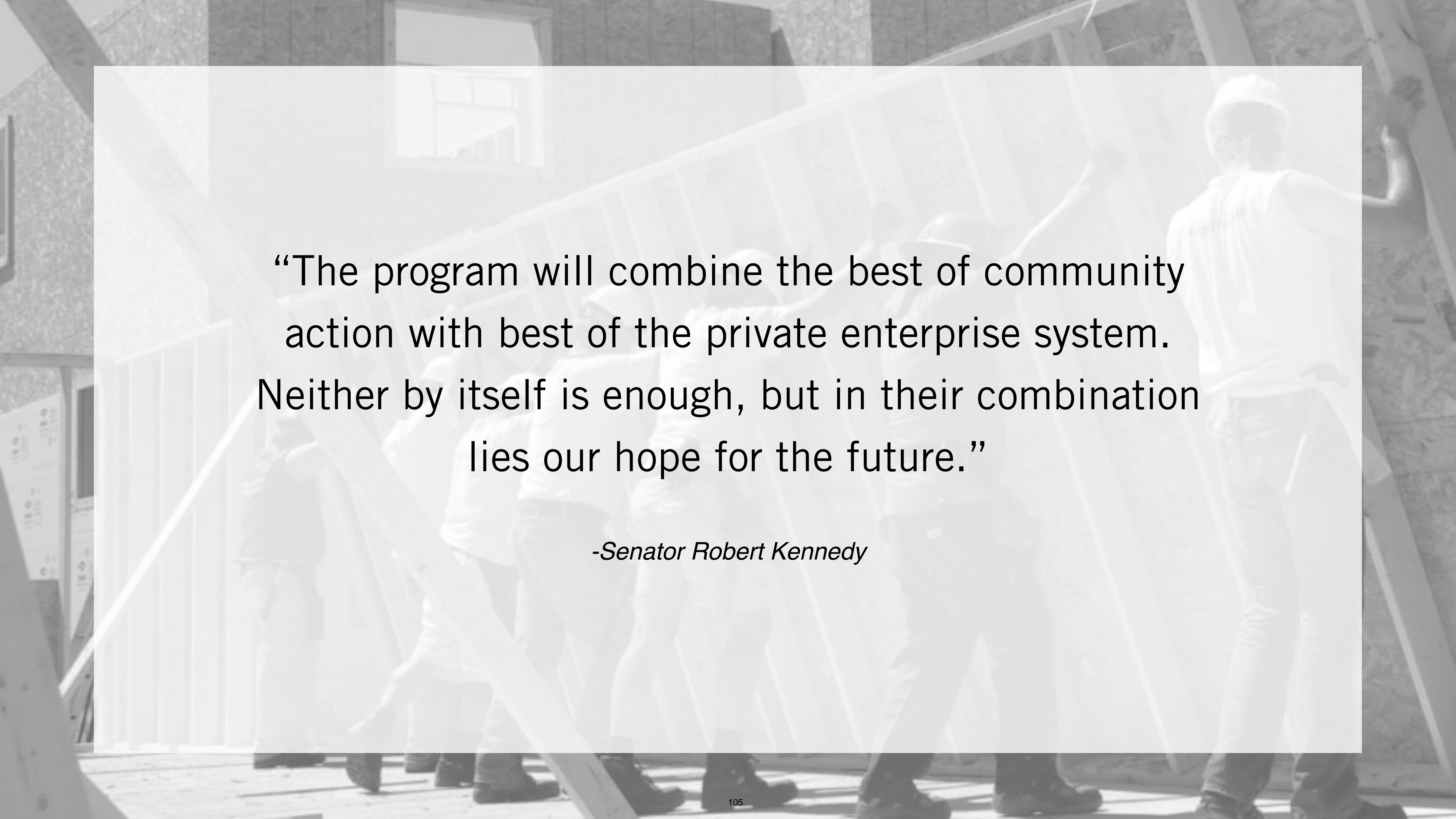


‘Anything dealing with people collaborating and working together to make their community better can be put under the label of community development. Whether it’s economic or social, if the goal is to make the community stronger then it’s community development.’

Community Development Gets Incorporated

Senator Robert Kennedy put forward the concept of the Community Development Corporations as a means to catalyze community-based physical, economic, and social improvements through an amendment to the economic opportunity act of 1964. A special impact provision of this amendment designated the Bedford-Stuyvesant neighborhood in Brooklyn as a pilot-experiment and led the creation of the very first Community Development Corporation - the Bedford Stuyvesant Renewal and Rehabilitation Corporation. From there, the concept quickly spread to other cities across the country as people sought new ways to revitalize their neighborhoods and communities.



A black and white photograph of construction workers on a building site. The workers are wearing hard hats and work clothes, and are positioned around a large wooden frame, possibly a staircase or a large window frame. The image is overlaid with a semi-transparent white rectangle that contains text.


“The program will combine the best of community action with best of the private enterprise system. Neither by itself is enough, but in their combination lies our hope for the future.”

-Senator Robert Kennedy



The Rise of Community Development Corporations

Community Development Corporations (CDC's) have flourished in recent years. They tend to be organized as locally-based non-profits dedicated to the revitalization of specific cities and neighborhoods, usually with a focus on distressed areas that have experienced significant disinvestment. They often have a strong real-estate component and while they are most commonly associated with the development of affordable housing, their missions vary widely and can include a range of initiatives to meet local needs. These might include commercial development, blight removal, streetscaping, neighborhood planning, education, job training, healthcare, daycare, other social services, and organizing and advocacy. Some CDC's help start and finance small businesses.



‘Community Development Corporations function somewhat like private developers but are governed by the community.’

It's Worth Noting

- CDC's are self-identified, that is there is no specific IRS designation or status
- There is also no governing national association, standards or formal certification process
- Most CDC's are non-profits, however they can be organized as private entities or as non-profits with a private subsidiary
- While CDC's work in collaboration with local city governments, they are not themselves a government entity or division of an agency



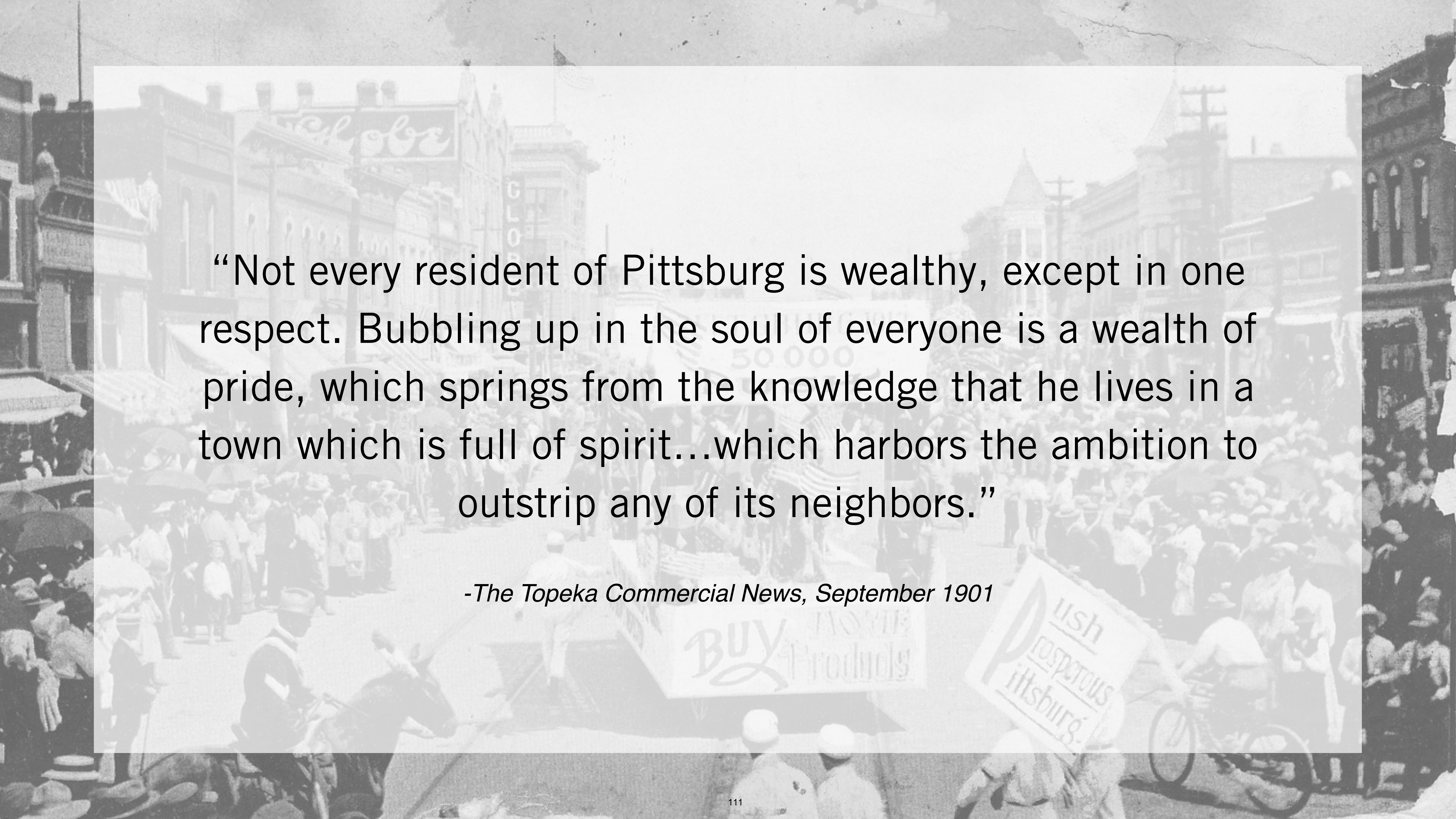
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➤ Defining the Opportunity



Pittsburg has a rich tradition of civic pride and engagement.
What could appropriately be called Community Development.






“Not every resident of Pittsburg is wealthy, except in one respect. Bubbling up in the soul of everyone is a wealth of pride, which springs from the knowledge that he lives in a town which is full of spirit...which harbors the ambition to outstrip any of its neighbors.”

-The Topeka Commercial News, September 1901

That spirit has led to some remarkable progress in the last 10 years

- ✓ Completion of \$16 Million Plaster Indoor Events Center
- ✓ \$20 Million Block 22 Downtown Redevelopment
- ✓ The \$1.6 Million Crawford County Career and Technical Center
- ✓ Significant Growth in the Retail Sector
- ✓ Expansion by Multiple Local Employers
- ✓ Achieved More Than 100 Miles of Fiber Optic Connectivity
- ✓ Developed A Target Industry Analysis
- ✓ Completion of \$34 Million Bicknell Family Center for the Arts
- ✓ \$80 Million Kansas Crossing Casino and Hampton Inn
- ✓ More than \$3 Million in New Completed or Planned Trails
- ✓ Start of Two New Housing Developments
- ✓ Expansion of Several Local Medical Facilities
- ✓ Passed a Sales Tax Dedicated to Improving Public Safety
- ✓ Developed A Five-Year Municipal Capital Improvement Plan

An aerial photograph of a city, likely Memphis, Tennessee, showing a dense urban area with various buildings, parking lots, and a large forested area in the background. A large teal rectangle is overlaid on the left side of the image, containing white text.

But we're still
missing an
important tool
for building upon
and sustaining
that progress.

It's a tool that is being utilized by communities
across our state to achieve long-term impact

A black outline map of the State of Kansas, centered on the page. The map is rectangular with a small, irregular notch on the right side, representing the state's border. Inside the map, the following text is centered:

**There are 145 Community Development Corporations
Across the State of Kansas**

Long-term impact requires local capacity

We have a lot to be proud of. And there is a tremendous sense of momentum. Still, as much as has been achieved there is a sense that the opportunity ahead of us is even greater. We have been fortunate so far. The threat is that without a more institutionalized and coordinated effort, we'll miss this unique moment to reach and sustain that next plateau.

Strengths	Weakness
<ul style="list-style-type: none">• Organized visioning and planning effort• Strong local incentives and resources• Established track record of success• Increasingly engaged and supportive community	<ul style="list-style-type: none">• Finding 'implementation gaps', especially in key areas• Limited local development capacity and expertise• Uncoordinated and sometimes duplicative solicitations• Missed connections between needs and existing resources

To create that local capacity, several organizations are collaborating to help launch and establish a Community Development Corporation for Pittsburg



Pittsburg Community Schools

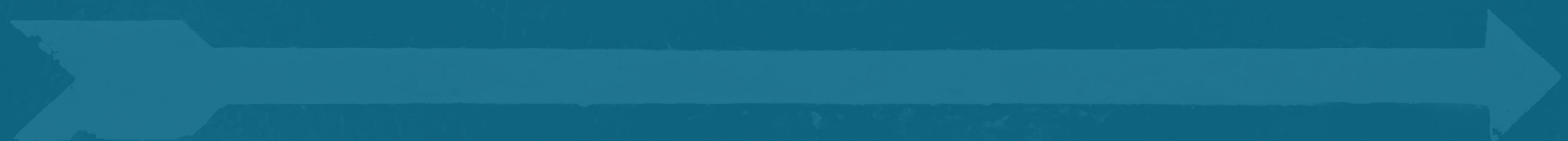
Unified School District 250



Pittsburg State
University

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➤ The Initial Details



A black and white photograph of a city street, likely from the mid-20th century. The street is wide and lined with parked cars. Buildings of various heights and styles line the street. A prominent sign on one of the buildings reads "Coulter McGuire MEN'S WEAR". The street curves slightly to the right in the distance.

Getting the Organization Started

- Creating a name and identity
- Establishing a board of directors
- Defining the program focus
- Developing an organizational model
- Outlining the operational details
- Identifying the next steps

Naming the Organization



Establishing the Board

- As a non-profit, the CDC is required to have board
- These are non paid positions
- Need at least one member to file in KS
- And three for IRS non-profit status
- The board should be comprised of representatives from partnering organizations, community stakeholders and eventually investors
- The initial board and number of seats representing those groups can be expanded over time

Organization	Representative
Imagine Pittsburgh	Ron Scripsick
City of Pittsburgh	Jay Byers
Chamber of Commerce	Blake Benson
Pittsburg State University	Shawn Naccarato
USD 250	Rich Proffitt
Community Stakeholder	Joe Dellasega
Community Stakeholder	Kayla Spigarelli

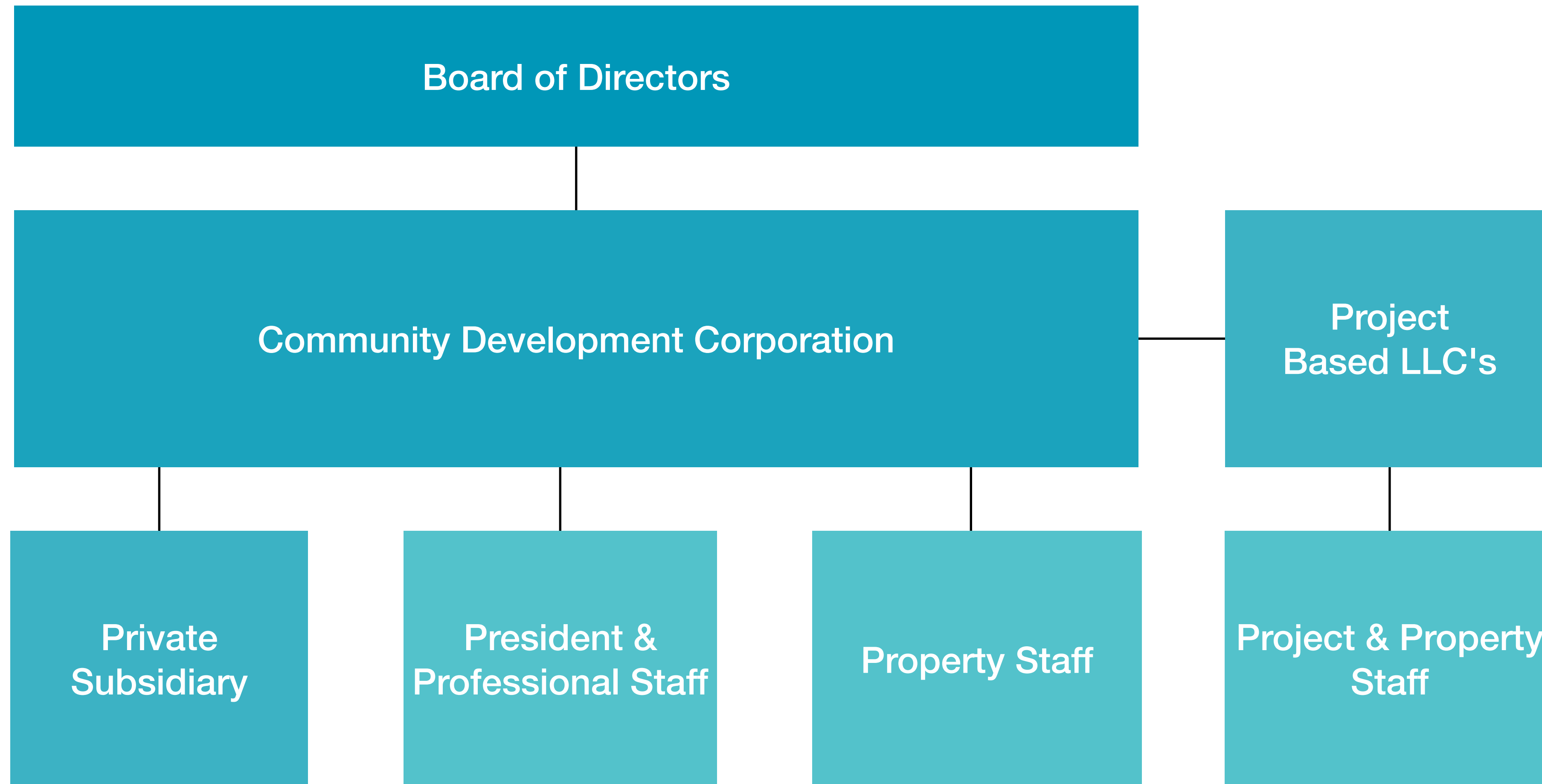


Defining the Focus

The focus for Develop Pittsburgh should be centered around asset-based, local economic development.

- Commercial / mixed-use redevelopment and housing infill in the downtown and university overlay district
- Affordable and workforce housing
- Strategically important development projects
- Development support for other community priorities

Developing an Organizational Model



Outline of the Operational Details

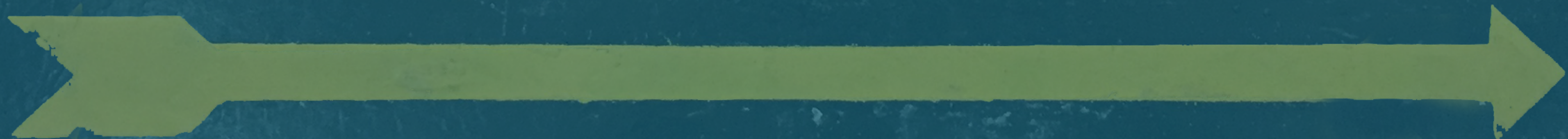
Scope of Work	Potenial Sources of Income
<p>There are a variety of roles the CDC can perform, depending on the unique nature of each project, to achieve its' mission:</p> <ul style="list-style-type: none">• Secure strategically important properties so they can be redeveloped• In some cases the CDC's role will be to solicit and secure an outside private developer for the property• In other cases, it might partner with a private developer on a project where it makes sense to have a locally-based and/or non-profit entity involved with the deal• Or in select cases, the CDC could act as the developer itself	<p>Similarly, there a variety of methods by which the CDC can generate income to support itself based on the role it's playing:</p> <ul style="list-style-type: none">• Sale of properties to private developers• Developer fees that would be paid by the project when the CDC partners with a private developer and/or serves as the developer• Ongoing operating income generated by those projects where the CDC has a partial or full ownership position• Administrative fees from various grant programs• Private and philanthropic donations

Some of the Key Next Steps

- Secure the necessary professional partners, such as legal and accounting
- Get registered with the state of Kansas
- Apply for 501c3 status with the IRS
- Develop initial priorities and projects
- Determine staffing and/or consulting needs
- Begin operating

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Forward Together

Community Development as a
Catalyst for Future Progress

Interoffice Memorandum

To: Daron Hall, City Manager

From: Toby Book, Director of Parks and Recreation
CC: Tammy Nagel, City Clerk

Date: June 22, 2022

Subject: June 28, 2022 Agenda Item
Approval of Fireworks Display Expenditure

The Parks and Recreation Department is asking for approval of \$18,700.00 expenditure of City funds for the annual fireworks display for the 4th of July event in Lincoln Park. The total cost of the fireworks display is \$25,700.

J and M Displays Inc. is providing a show that will last approximately 20 minutes with 379 shells 4 inches or larger. 4 inch or larger shells will reach a height that will clear the tree line and allow most spectators in the area to have a good view of the fireworks. J and M Displays, Inc. has been the City's fireworks provider the past several 4th of July events.

In this regard would you please place an item on the June 28, 2022 agenda for approval of the \$18,700.00 expenditure of City funds to provide a firework show offered by J and M Displays, Inc. of Yarmouth, Iowa.

If you have any questions please do not hesitate to call me at 620-230-5506