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Bi-Monthly Report. 75

CITY OF PITTSBURG, KANSAS
COMMISSION AGENDA
Tuesday, March 08, 2022
5:30 PM

CALL TO ORDER BY THE MAYOR:

- a. Flag Salute Led by the Mayor
- b. Public Input

CONSENT AGENDA:

- a. Approval of the February 22, 2022, City Commission Meeting minutes.
- b. Approval of Ordinance No. G-1335, providing for the zoning designation of certain areas recently annexed into the City of Pittsburg, Kansas, (located in the Montee Industrial Park at 4303 North Free King Highway) as IP-3, Planned Heavy Industrial, and amending and supplementing the Zoning District Boundary Map and Zoning Ordinance No. G-663, as amended, of the City of Pittsburg, Kansas, and authorize the Mayor to sign the Ordinance on behalf of the City.
- c. Approval of the request submitted by Mr. Ken Brock to allow the sub-lease of a hangar owned by Mr. Brock at the Atkinson Municipal Airport to Mr. Dale Oglesby for a two-year term, and authorize the Mayor to sign the Lease Agreement on behalf of the City.
- d. Approval of the Appropriation Ordinance for the period ending March 8, 2022, subject to the release of HUD expenditures when funds are received.

ROLL CALL VOTE.

CONSIDER THE FOLLOWING:

- a. VARIANCE - COMEAU JEWELRY - 525 SOUTH BROADWAY - Consider the recommendation of the Planning Commission/Board of Zoning Appeals to approve a variance request submitted by Comeau Jewelry to allow for an adjusted alley setback of 6' at 525 South Broadway. **Approve or disapprove the recommendation.**

CITY OF PITTSBURG, KANSAS
COMMISSION AGENDA
Tuesday, March 08, 2022
5:30 PM

- b. CONDITIONAL USE PERMIT REQUEST - Consider the recommendation of the Planning Commission/Board of Zoning Appeals to approve a Conditional Use Permit request submitted by the City of Pittsburg to allow a communications tower at 910 Memorial Drive under the provisions of Article 30 of the Pittsburg Zoning Ordinance. **Approve or disapprove the recommendation. If the Governing Body disapproves the Conditional Use Permit, they may, by a simple majority, deny the request and send it back to the Planning Commission/Board of Zoning Appeals for further consideration.**

- c. GROUND LEASE - Consider staff recommendation to enter into a Ground Lease between the City and Kansas #15 Limited Partnership, in which Kansas #15 Limited Partnership will install a 120' monopole in Lincoln Park at 910 Memorial Drive, with a monthly lease amount of \$700 for an initial period of five years. **Approve or disapprove recommendation and, if approved, authorize the Mayor to sign the Lease on behalf of the City.**

NON-AGENDA REPORTS & REQUESTS:

- a. BI-MONTHLY BUDGET REVIEW - Director of Finance Larissa Bowman will provide the February 28, 2022, bi-monthly budget review. **Receive for file.**

ADJOURNMENT

OFFICIAL MINUTES
OF THE MEETING OF THE
GOVERNING BODY OF THE
CITY OF PITTSBURG, KANSAS
February 22, 2022

A Regular Session of the Board of Commissioners was held at 5:30 p.m. on Tuesday, February 22nd, 2022, in the City Commission Room, located in the Law Enforcement Center, 201 North Pine, with Mayor Cheryl Brooks presiding and the following members present: Stu Hite, Dawn McNay, Chuck Munsell, and Ron Seglie.

Mayor Brooks led the flag salute.

PUBLIC INPUT -

INVOCATION – Mark Chambers, on behalf of the First United Methodist Church, provided an invocation.

ICMA AWARD – Mayor Brooks presented City Manager Daron Hall with a plaque from the International City/County Management Association (ICMA) in recognition of his 30 years of significant contributions and achievements in the advancement of local government administration.

APPROVAL OF MINUTES – On motion of McNay, seconded by Hite, the Governing Body approved the February 8, 2022, City Commission Meeting minutes as presented. Motion carried.

DANCE HALL LICENSE – MOOREMAN’S INC. – On motion of McNay, seconded by Hite, the Governing Body approved the request submitted by Graig Moore to renew the Dance Hall License for Mooreman’s, Inc., located at 1608 South Broadway, and authorized the City Clerk to issue the license. Motion carried.

TENANT BASED RENTAL ASSISTANCE (TBRA) GRANT ACCEPTANCE – On motion of McNay, seconded by Hite, the Governing Body accepted a grant in the amount of \$90,000 from the Kansas Housing Resources Corporation (KHRC) to administer the Tenant Based Rental Assistance (TBRA) program to provide security deposits for low-income households and authorized the Mayor to sign the appropriate documents on behalf of the City. Motion carried.

AGRICULTURAL LAND LEASE – MONTEE INDUSTRIAL PARK - 4303 NORTH FREE KING HIGHWAY - On motion of McNay, seconded by Hite, the Governing Body approved staff recommendation to enter into an Agricultural Land Lease between Campbell Farms, LLC, and the City of Pittsburg, in which Campbell Farms, LLC, will lease 90 acres of tillable land and grass land located at 4303 North Free King Highway, in the total amount of \$5,250, for the term beginning on February 22, 2022, and concluding on February 21, 2023, and authorized the Mayor to sign the lease on behalf of the City. Motion carried.

OFFICIAL MINUTES
OF THE MEETING OF THE
GOVERNING BODY OF THE
CITY OF PITTSBURG, KANSAS
February 22, 2022

BALLISTIC BODY ARMOR AND EXTERIOR VEST CARRIER PURCHASE – On motion of Hite, seconded by Munsell, the Governing Body approved staff recommendation to purchase twenty-four sets of Safariland SX brand ballistic armor vests, twenty-four covert vest carriers, twenty-four 5"x7" ballistic/impact trauma plates, and thirty-nine Safariland Oregon City brand external carriers, with name and police identification patch tabs, from Baysinger's Police Supply, of Wichita, Kansas, for the total purchase price of \$33,303.00, and authorized the issuance of the necessary purchase order. Motion carried.

APPROPRIATION ORDINANCE – On motion of McNay, seconded by Munsell, the Governing Body approved the Appropriation Ordinance for the period ending February 22nd, 2022, subject to the release of HUD expenditures when funds are received. Motion carried with Brooks abstaining due to a conflict.

HORTON'S PIZZA PLUS, INC. PROJECT – On motion of McNay, seconded by Hite, the Governing Body approved the recommendation of the Economic Development Advisory Committee (EDAC) to assist Horton's Pizza Plus, Inc. with infrastructure/utility improvements that will be necessary to facilitate the construction of a new 4,000 square foot Horton's Pizza Plus facility, located at 1601 East 4th Street, to include up to \$30,000 for a stormwater relocation project and up to \$10,000 for sidewalk repairs. Motion carried.

ANGELES PROPERTIES, LLC, PROJECT – On motion of Seglie, seconded by Munsell, the Governing Body approved the recommendation of the Economic Development Advisory Committee (EDAC) to assist Angeles Properties, LLC, with approach/parking lot and sidewalk improvements that will be necessary to facilitate the renovation of the property to be leased by Jones-Heritage Realtors, located at 1002 South Broadway, to include up to \$25,000 for drive approach/parking lot improvements and up to \$5,000 for sidewalk repairs. Motion carried.

VARIANCE - SULLIVAN - 1515 EAST 14th STREET – On motion of McNay, seconded by Munsell, the Governing Body approved the recommendation of the Planning Commission/Board of Zoning Appeals to grant a variance request submitted by Matthew Sullivan to allow a 1,200 square foot garage at 1515 East 14th Street. Motion carried.

ZONING CHANGE - MONTEE INDUSTRIAL PARK – On motion of Hite, seconded by Seglie, the Governing Body approved the recommendation of the Planning Commission/Board of Zoning Appeals to grant the request submitted by the City of Pittsburg to change the zoning of certain areas, located in the Montee Industrial Park between Atkinson Avenue and Free King Highway, from Not Zoned to IP-3, Planned Heavy Industrial, and directed staff to prepare the appropriate Ordinance. Motion carried.

OFFICIAL MINUTES
OF THE MEETING OF THE
GOVERNING BODY OF THE
CITY OF PITTSBURG, KANSAS
February 22, 2022

NON-AGENDA REPORTS AND REQUESTS:

DRAINAGE ISSUE UPDATE – City Manager Daron Hall stated that he has met with Mr. Gariglietti, to discuss possible solutions to the stormwater issue at 1806 North Broadway.

PANDA EXPRESS – Commissioner Munsell inquired as to the status of the Panda Express project. City Manager Hall confirmed that the project is expected to occur.

ADJOURNMENT: On motion of Hite, seconded by Seglie, the Governing Body adjourned the meeting at 6:09 p.m. Motion carried.

Cheryl L. Brooks, Mayor

ATTEST:

Tammy Nagel, City Clerk

(Summary Published in the Morning Sun on March _____, 2022)

ORDINANCE NO. G-1335

AN ORDINANCE, providing for the zoning designation of certain areas recently annexed into the City of Pittsburg, Kansas as IP-3, Planned Heavy Industrial, and amending and supplementing the Zoning District Boundary Map and Zoning Ordinance No. G-663, as amended, of the City of Pittsburg.

WHEREAS, the Planning and Zoning Commission of the City of Pittsburg, Kansas, has filed their report with the Board of Commissioners of the City of Pittsburg, Kansas, recommending amendment of said Ordinance related to area and use zoning and amendment of the Zoning District Boundary Map.

NOW, THEREFORE, BE IT ORDAINED BY THE GOVERNING BODY OF THE CITY OF PITTSBURG, KANSAS:

Section 1: That the Planned Heavy Industrial (IP-3), as defined by the Zoning Ordinance, is hereby amended and supplemented to include the following described real estate in the City of Pittsburg, Crawford County, Kansas, to-wit:

A parcel of land located in the East half of Section 9, Township 30 South, Range 25 East of the 6th Principal Meridian, Crawford County, Kansas, more particularly described as follows:

Beginning at the Southwest corner of the Southeast Quarter of said Section, thence N03°12'44"W along the West line of said Quarter a distance of 2669.15 feet to the Northwest corner of said Quarter; thence N01°35'42"W along the West line of the Northeast Quarter of said Section a distance of 855.19 feet to the Southwest corner of a parcel described in Deed Book 641, Page 126 recorded in the Crawford County, Register of Deeds Office; thence N88°35'16"E along the South line of said parcel a distance of 1358.82 feet to the Southeast corner of said parcel, point also being on the West line of the Southeast Quarter of the Northeast Quarter; thence S02°01'21"E along said West line a distance of 183.31 feet to the Northwest corner of the South Half of the Southeast Quarter of the Northeast Quarter; thence N88°30'08"E along the North line of the South Half of the Southeast Quarter of the Northeast Quarter a distance of 768.06 feet; thence S00°51'46"E a distance of 333.09 feet; thence S88°27'30"W a distance of 760.91 feet to

the West line of the Southeast Quarter of the Northeast Quarter; thence S02°05'27"E along said West line a distance of 333.67 feet to the Southwest corner of the Southeast Quarter of the Northeast Quarter; thence S02°36'49"E along the West line of the Northeast Quarter of the Southeast Quarter a distance of 166.66 feet; thence N88°24'26"E a distance of 1364.07 feet to the East line of the Southeast Quarter; thence S02°01'02"E along said East line a distance of 1018.83 feet to the Northwest Right-of-Way line of the Missouri Pacific Railroad Company; thence along said Right-of-Way line on a non-tangent curve to the left having a radius of 2914.79 feet, an arc length of 451.50 feet, a chord length of 451.05 feet and a chord bearing of S43°21'44"W; thence continuing along said Right-of-Way line S38°55'29"W a distance of 1527.65 feet to the South line of said Quarter; thence S88°18'18"W along said South line a distance of 1353.93 feet to the Point of Beginning. Said parcel contains 169.68 acres, more or less, and is subject to easements, reservations and restrictions of record. Legal Description prepared by Thad C. Reynolds, L.S.#1354, on November 16, 2021.

Section 2: That Zoning Ordinance No. G-663, as amended, including the Zoning District Boundary Map adopted on May 28, 1991, and periodically revised, is hereby amended and supplemented to include the area and use as set out in the preceding section.

Section 3: This Ordinance shall take effect and be in force from and after its passage and summary publication in the official City newspaper.

ADOPTED AND APPROVED by the Governing Body on this 8th day of March, 2022.

Mayor – Cheryl Brooks

ATTEST:

City Clerk – Tammy Nagel

(SEAL)

INTEROFFICE MEMORANDUM

To: Daron Hall, City Manager
From: Quentin Holmes, Director of Community Development and Housing
CC: Tammy Nagel, City Clerk
Date: **3/1/2022**
Subject: Request to Sub-Lease Airport Hangar

The City has received a request from Mr. Ken Brock to allow a sub-lease of a hangar owned by Mr. Brock at the Atkinson Municipal Airport to Mr. Dale Oglesby for a two year lease.

Would you please place this item on the agenda for the city commission meeting scheduled for Tuesday, March 8th, 2022.

Action necessary will be approval or disapproval of this lease amendment and, if approved, direct the Mayor to sign the lease on behalf of the City of Pittsburg.

If you have any questions concerning this matter, please do not hesitate to contact me.

Attachment: Hangar Lease Agreement

Quentin Holmes
Director of Housing and Community Development
City of Pittsburg, Kansas
620-230-5550

LEASE AGREEMENT

THIS AGREEMENT, made and entered into as of the _____ day of _____, 2022, by and between Ken Brock, hereinafter referred to as the Lessor, and Dale Oglesby, hereinafter referred to as the Lessee.

WHEREAS, the Lessee chooses to lease an aviation hangar from Lessor; and whereas the Lessor continues the land lease at the Atkinson Municipal Airport with the City of Pittsburg.

NOW THEREFORE, in consideration of the rents, covenants and agreements herein contained, the Lessor hereby leases to Lessee the hangar owned by Lessor at Atkinson Municipal Airport.

The Lessee shall pay the Lessor \$5,000.00 annually in advance. The Lease shall be for a two year term.

It is agreed that Lessee shall furnish and pay for all utility charges including gas, electricity, telephone, cable, internet and water used by Lessee at Atkinson Municipal Airport and in or about the leased property as well as for Airport services charged other users and lessees of the Airport.

Lessee shall, at its own cost and expense, be responsible for the collection and timely disposal, in a sanitary manner, of all garbage, trash and waste material from leased premises. Further, Lessee shall, at its sole cost and expense, maintain the lease property in a presentable condition consistent with good business practices. Lessee shall repair any and all damages of leased property caused by Lessee, its employees, invitees or agents or its operation thereon.

Lessee shall not maintain any billboards or advertising signs on the outside of the property or the hangar itself.

It is agreed that the Lessee shall make no additions or improvements to the hangar without first submitting plans for approval.

The Lessee and all employees, agents and servants will faithfully observe and comply with all ordinances, laws, rules and regulations as may be promulgated by the City of Pittsburg, the United States of America or any department or agency thereof, and the State of Kansas.

The Lessee may not assign or transfer this Lease, or any interest therein. Nor may the Lessee sublet the hangar without the prior written consent of the Lessor and City of Pittsburg. Any attempt at assignment or transfer shall be void and, at the option of the Lessor, deemed sufficient grounds for the cancellation and termination of this Lease.

It is understood and agreed that nothing herein contained shall be construed to grant or authorize the granting of an exclusive right within the meaning of Section 308 of the Federal Aviation Act of 1958.

Lessee covenants and agrees to hold the Lessor and the City of Pittsburg and its agents, employees and servants free and harmless, including attorney fees, from each and every claim and demand for damage to property or person(s) or for wrongful death made by or on behalf of

any person or persons for any negligent or wrongful act or omission of Lessee, its agents, servants, invitees and employees, arising out of the use of the Atkinson Municipal Airport.

Lessee shall maintain in full force and effect for the period covered by the Lease, a comprehensive general liability insurance policy issued by insurance carriers licensed to do business in the State of Kansas; which policies shall provide, at a minimum, the following liability coverages:

- a) death or bodily injury to any one person, the sum of \$1,000,000;
- b) death or bodily injury for any one accident or occurrence, the sum of \$2,000,000;
- c) property damage for any one accident or occurrence, the sum of \$1,000,000.

Lessee further agrees to hold the Lessor and the City of Pittsburg harmless from and against any mechanic's lien against the leased premises.

Lessee further agrees to literally and strictly comply with all laws, rules and regulations, and assurances now or hereinafter in effect, whether the same be controlled by local, state or federal law, with reference to environmental damage or injury to, or pollution or contamination of, persons, the premises leased, the Atkinson Municipal Airport or nearby properties, and shall indemnify, protect, defend, and save Lessor harmless, including attorney fees, from and against any and all claims or demands allegedly occurring as the result of Lessee's use of the premises and causing such damage or injury.

It is further agreed and acknowledged that Lessor shall be granted a lien against merchandise, machinery, equipment, and corporate tools as well as Lessee's aircraft located on the premises for all amounts past due Lessor for rent.

Lessor reserves the right to enter the leased premises, upon advanced notice, except in the event of any emergency, at any reasonable time for the purpose of making any inspection it may deem expedient for the maintenance or security needs of either the building or the Airport.

Upon the termination of this Lease, the Lessee agrees to give peaceful possession of the leased property.

Any payments and notices required to be sent hereunder shall be sent or delivered to:

Lessor: Ken Brock
PO Box 1479
1225 E. Centennial Dr.
Pittsburg, KS 66762

Lessee: Dale Oglesby

Pittsburg, KS 66762

IN WITNESS WHEREOF, the parties hereto have executed this Lease as of the day and year first above written.

Ken Brock, Lessor

Date

Dale Oglesby, Lessee

Date

Mayor, City of Pittsburg

Date

VENDOR I.D.	NAME	STATUS	CHECK DATE	INVOICE AMOUNT	DISCOUNT	CHECK NO	CHECK STATUS	CHECK AMOUNT
C-CHECK	VOID CHECK	V	2/25/2022			190591		
C-CHECK	VOID CHECK	V	2/25/2022			190592		

* * T O T A L S * *	NO	INVOICE AMOUNT	DISCOUNTS	CHECK AMOUNT
REGULAR CHECKS:	0	0.00	0.00	0.00
HAND CHECKS:	0	0.00	0.00	0.00
DRAFTS:	0	0.00	0.00	0.00
EFT:	0	0.00	0.00	0.00
NON CHECKS:	0	0.00	0.00	0.00
VOID CHECKS:	2 VOID DEBITS	0.00		
	VOID CREDITS	0.00	0.00	

TOTAL ERRORS: 0

	NO	INVOICE AMOUNT	DISCOUNTS	CHECK AMOUNT
VENDOR SET: 99 BANK: * TOTALS:	2	0.00	0.00	0.00
BANK: * TOTALS:	2	0.00	0.00	0.00

VENDOR I.D.	NAME	STATUS	CHECK DATE	INVOICE AMOUNT	DISCOUNT	CHECK NO	CHECK STATUS	CHECK AMOUNT
0321	KP&F	D	2/18/2022			000000		71,432.84
0728	ICMA	D	2/18/2022			000000		926.56
1050	KPERS	D	2/18/2022			000000		62,756.37
3079	COMMERCE BANK	D	2/28/2022			000000		62,305.28
6415	GREAT WEST TANDEM KPERS 457	D	2/18/2022			000000		5,375.00
6952	ADP INC	D	2/23/2022			000000		2,806.35
7290	DELTA DENTAL OF KANSAS INC	D	2/18/2022			000000		3,054.50
7290	DELTA DENTAL OF KANSAS INC	D	2/25/2022			000000		1,739.22
8051	AFLAC GROUP INSURANCE	D	2/18/2022			000000		1,343.28
8526	HEALTH PLANS, INC	D	2/18/2022			000000		5,901.06
8526	HEALTH PLANS, INC	D	2/25/2022			000000		39,572.82
8529	KYLE JOSEPH DUNCAN	E	2/17/2022			014363		1,500.00
2004	AIRE-MASTER OF AMERICA, INC.	E	2/22/2022			014364		18.08
6524	ELLIOTT EQUIPMENT COMPANY	E	2/22/2022			014365		2,325.87
7567	MERIDIAN OIL & EQUIPMENT LLC	E	2/22/2022			014366		549.60
8467	WASTE CORPORATION OF KANSAS, L	E	2/22/2022			014367		51.18
0044	CRESTWOOD COUNTRY CLUB	E	2/22/2022			014368		227.00
0046	ETTINGERS OFFICE SUPPLY	E	2/22/2022			014369		622.40
0055	JOHN'S SPORT CENTER, INC.	E	2/22/2022			014370		748.38
0087	FORMS ONE, LLC	E	2/22/2022			014371		75.00
0101	BUG-A-WAY INC	E	2/22/2022			014372		105.00
0105	PITTSBURG AUTOMOTIVE	E	2/22/2022			014373		298.11

VENDOR I.D.	NAME	STATUS	CHECK DATE	INVOICE AMOUNT	DISCOUNT	CHECK NO	CHECK STATUS	CHECK AMOUNT
0112	MARRONES INC	E	2/22/2022			014374		221.99
0133	JIM RADELL CONSTRUCTION COMPAN	E	2/22/2022			014375		7,065.00
0194	KANSAS STATE TREASURER	E	2/22/2022			014376		162,580.00
0292	UNIFIRST CORPORATION	E	2/22/2022			014377		62.50
0478	VIETTI AUTO BODY INC	E	2/22/2022			014378		4,696.92
0577	KANSAS GAS SERVICE	E	2/22/2022			014379		3,088.63
0610	THOMAS VACCA	E	2/22/2022			014380		58.00
0628	BERRY COMPANIES, INC.	E	2/22/2022			014381		290.94
0711	HAYNES EQUIPMENT CO INC	E	2/22/2022			014382		7,446.68
0746	CDL ELECTRIC COMPANY INC	E	2/22/2022			014383		27.00
1478	KANSASLAND TIRE #1828	E	2/22/2022			014384		64.00
2005	GALLS PARENT HOLDINGS, LLC	E	2/22/2022			014385		263.84
2025	SOUTHERN UNIFORM & EQUIPMENT L	E	2/22/2022			014386		1,376.25
2825	STATE OF KANSAS	E	2/22/2022			014387		423.00
2960	PACE ANALYTICAL SERVICES LLC	E	2/22/2022			014388		4,275.00
3281	USA BLUE BOOK	E	2/22/2022			014389		63.65
5657	TELEDYNE INSTRUMENTS, INC	E	2/22/2022			014390		602.00
6214	PITT PLASTICS INC	E	2/22/2022			014391		96.88
6230	THE MAZUREK LAW OFFICE LLC	E	2/22/2022			014392		220.00
6402	BEAN'S TOWING & AUTO BODY	E	2/22/2022			014393		2,589.76
6777	DH PACE CO	E	2/22/2022			014394		965.00
6846	GREENWAY ELECTRIC, INC.	E	2/22/2022			014395		8,160.06

VENDOR I.D.	NAME	STATUS	CHECK DATE	INVOICE AMOUNT	DISCOUNT	CHECK NO	CHECK STATUS	CHECK AMOUNT
6851	SCHULTE SUPPLY INC	E	2/22/2022			014396		1,920.00
7167	QUADIENT LEASING USA INC	E	2/22/2022			014397		345.93
7418	NEWEDGE SERVICES, LLC	E	2/22/2022			014398		455.00
7427	OLSSON INC	E	2/22/2022			014399		1,168.42
7620	POMP'S TIRE SERVICE INC	E	2/22/2022			014400		132.50
7667	BRENT'S ELECTRIC, LLC	E	2/22/2022			014401		75.00
7930	SANDERSON PIPE CORPORATION	E	2/22/2022			014402		49,062.00
8206	LINDE INC	E	2/22/2022			014403		2,572.34
8238	US BANCORP GOVT LEASING & FINA	E	2/22/2022			014404		20,818.07
8325	FLEET FUELS LLC	E	2/22/2022			014405		50.00
8457	PENSKE COMMERCIAL VEHICLES US,	E	2/22/2022			014406		485.02
8211	UMB BANK N.A.	E	2/25/2022			014407		65,028.09
6524	ELLIOTT EQUIPMENT COMPANY	E	2/28/2022			014408		4,200.86
7791	C4 HOLDINGS LLC	E	2/28/2022			014409		395.99
8236	NORTHGATE ASSOCIATES LLC	E	2/28/2022			014410		13,283.20
0046	ETTINGERS OFFICE SUPPLY	E	2/28/2022			014411		96.90
0055	JOHN'S SPORT CENTER, INC.	E	2/28/2022			014412		430.90
0087	FORMS ONE, LLC	E	2/28/2022			014413		167.40
0101	BUG-A-WAY INC	E	2/28/2022			014414		55.00
0105	PITTSBURG AUTOMOTIVE	E	2/28/2022			014415		24.10
0133	JIM RADELL CONSTRUCTION COMPAN	E	2/28/2022			014416		5,927.65
0142	HECKERT CONSTRUCTION CO INC	E	2/28/2022			014417		17,136.00

VENDOR SET: 99 City of Pittsburg, KS

BANK: 80144 BMO HARRIS BANK

DATE RANGE: 2/16/2022 THRU 3/01/2022

VENDOR I.D.	NAME	STATUS	CHECK DATE	INVOICE AMOUNT	DISCOUNT	CHECK NO	CHECK STATUS	CHECK AMOUNT
0207	PEPSI-COLA BOTTLING CO OF PITT	E	2/28/2022			014418		60.50
0272	BO'S 1 STOP INC	E	2/28/2022			014419		969.47
0294	COPY PRODUCTS, INC.	E	2/28/2022			014420		2,573.10
0364	CRAWFORD COUNTY SHERIFF'S DEPA	E	2/28/2022			014421		3,950.00
0516	AMERICAN CONCRETE CO INC	E	2/28/2022			014422		2,915.70
0704	NEPTUNE RADIATOR AND AUTO	E	2/28/2022			014423		1,022.39
0746	CDL ELECTRIC COMPANY INC	E	2/28/2022			014424		3,846.10
1792	B&L WATERWORKS SUPPLY, LLC	E	2/28/2022			014425		3,067.11
2035	O'BRIEN ROCK CO., INC.	E	2/28/2022			014426		3,188.38
2186	PRODUCERS COOPERATIVE ASSOCIAT	E	2/28/2022			014427		901.18
2825	STATE OF KANSAS	E	2/28/2022			014428		464.85
3261	PITTSBURG AUTO GLASS	E	2/28/2022			014429		325.00
4262	KDHE SRF	E	2/28/2022			014430		170,315.34
4307	HENRY KRAFT, INC.	E	2/28/2022			014431		135.44
5317	ULINE	E	2/28/2022			014432		240.64
6822	ELIZABETH BRADSHAW	E	2/28/2022			014433		1,335.38
6995	SUMMER WARREN	E	2/28/2022			014434		191.00
7028	MATTHEW L. FRYE	E	2/28/2022			014435		400.00
7151	QUADIENT FINANCE USA INC	E	2/28/2022			014436		1,000.00
7427	OLSSON INC	E	2/28/2022			014437		5,579.64
7559	MEGAN LYNN MUNGER	E	2/28/2022			014438		174.00
7661	LOGAN WENDT	E	2/28/2022			014439		215.00

VENDOR I.D.	NAME	STATUS	CHECK DATE	INVOICE AMOUNT	DISCOUNT	CHECK NO	CHECK STATUS	CHECK AMOUNT
8046	CONVERGEONE, INC.	E	2/28/2022			014440		29,531.70
8291	ELYSE MUSIL	E	2/28/2022			014441		330.00
8309	MISSISSIPPI LIME COMPANY	E	2/28/2022			014442		7,733.48
8325	FLEET FUELS LLC	E	2/28/2022			014443		115.97
8548	ISELA AYALA	E	2/28/2022			014444		25.00
1	A-1 MINI STORAGE	R	2/18/2022			190567		55.00
7929	ARROWHEAD SCIENTIFIC, INC	R	2/18/2022			190568		109.10
1006	COMMUNITY NATIONAL BANK	R	2/18/2022			190569		24,963.47
4263	COX COMMUNICATIONS KANSAS LLC	R	2/18/2022			190570		34.64
5857	CREATIVE PRODUCT SOURCING INC	R	2/18/2022			190571		2,145.55
0375	WICHITA WATER CONDITIONING	R	2/18/2022			190572		17.00
1108	EVERGY KANSAS CENTRAL INC	R	2/18/2022			190573		3,681.38
7463	DEREK HEIKES	R	2/18/2022			190574		9,794.00
6689	HUBER TECHNOLOGY INC	R	2/18/2022			190575		1,225.00
6923	HUGO'S INDUSTRIAL SUPPLY INC	R	2/18/2022			190576		528.71
0731	INFO USA MARKETING INC	R	2/18/2022			190577		748.16
8546	DAVID A. NEWMAN	R	2/18/2022			190578		885.00
7274	INTERNATIONAL TOWN & GOWN ASSO	R	2/18/2022			190579		450.00
6102	KANSAS LAW ENFORCEMENT TRAININ	R	2/18/2022			190580		375.00
7190	LEXISNEXIS RISK DATA MANAGEMEN	R	2/18/2022			190581		381.92
7804	MARTIN PROFESSIONAL, LLC	R	2/18/2022			190582		255.00
8505	PITTSBURG PUBLISHING COMPANY,	R	2/18/2022			190583		802.73

VENDOR I.D.	NAME	STATUS	CHECK DATE	INVOICE AMOUNT	DISCOUNT	CHECK NO	CHECK STATUS	CHECK AMOUNT
7392	ASSURECO RISK MANAGEMENT & REG	R	2/18/2022			190584		350.00
8547	OKLAHOMA STATE UNIVERSITY	R	2/18/2022			190585		105.00
6730	DJB INVESTMENTS, LLC	R	2/18/2022			190586		675.00
5561	AT&T MOBILITY	R	2/25/2022			190587		136.20
5283	CLASS LTD	R	2/25/2022			190588		78.60
4263	COX COMMUNICATIONS KANSAS LLC	R	2/25/2022			190589		96.55
1108	EVERGY KANSAS CENTRAL INC	R	2/25/2022			190590		71,028.31
7463	DEREK HEIKES	R	2/25/2022			190593		5,190.81
8546	DAVID A. NEWMAN	R	2/25/2022			190594		295.00
8505	PITTSBURG PUBLISHING COMPANY,	R	2/25/2022			190595		187.70
8537	RACE BROTHERS	R	2/25/2022			190596		3,603.16
5296	RFB CONSTRUCTION INC	R	2/25/2022			190597		1,000.00
0188	SECRETARY OF STATE	R	2/25/2022			190598		25.00
8527	APPLIED CONCEPTS, INC	R	2/25/2022			190599		8,765.00
8430	EQUIPMENTSHARE.COM, INC	R	2/25/2022			190600		749.16
8521	WATCHGUARD, INC	R	2/25/2022			190601		26,500.00

* * T O T A L S * *	NO	INVOICE AMOUNT	DISCOUNTS	CHECK AMOUNT
REGULAR CHECKS:	33	165,237.15	0.00	165,237.15
HAND CHECKS:	0	0.00	0.00	0.00
DRAFTS:	11	257,213.28	0.00	257,213.28
EFT:	82	635,594.46	0.00	635,594.46
NON CHECKS:	0	0.00	0.00	0.00
VOID CHECKS:	0 VOID DEBITS	0.00		
	VOID CREDITS	0.00	0.00	

TOTAL ERRORS: 0

	NO	INVOICE AMOUNT	DISCOUNTS	CHECK AMOUNT
VENDOR SET: 99 BANK: 80144TOTALS:	126	1,058,044.89	0.00	1,058,044.89
BANK: 80144 TOTALS:	126	1,058,044.89	0.00	1,058,044.89

VENDOR SET: 99 City of Pittsburg, KS
BANK: EHV BMO HARRIS BANK-EHV
DATE RANGE: 2/16/2022 THRU 3/01/2022

VENDOR I.D.	NAME	STATUS	CHECK DATE	INVOICE AMOUNT	DISCOUNT	CHECK NO	CHECK STATUS	CHECK AMOUNT
4636	EVERGY KANSAS CENTRAL INC. (HA	R	3/01/2022			190617		30.00

* * T O T A L S * *		NO		INVOICE AMOUNT	DISCOUNTS	CHECK AMOUNT
REGULAR CHECKS:		1		30.00	0.00	30.00
HAND CHECKS:		0		0.00	0.00	0.00
DRAFTS:		0		0.00	0.00	0.00
EFT:		0		0.00	0.00	0.00
NON CHECKS:		0		0.00	0.00	0.00
VOID CHECKS:		0	VOID DEBITS	0.00		
			VOID CREDITS	0.00	0.00	

TOTAL ERRORS: 0

		NO		INVOICE AMOUNT	DISCOUNTS	CHECK AMOUNT
VENDOR SET: 99	BANK: EHV TOTALS:	1		30.00	0.00	30.00
BANK: EHV	TOTALS:	1		30.00	0.00	30.00

VENDOR SET: 99 City of Pittsburg, KS
BANK: HAP BMO HARRIS BANK-HAP
DATE RANGE: 2/16/2022 THRU 3/01/2022

VENDOR I.D.	NAME	STATUS	CHECK DATE	INVOICE AMOUNT	DISCOUNT	CHECK NO	CHECK STATUS	CHECK AMOUNT
6152	MARTHA R CAMPBELL	R	3/01/2022			190608		353.00
6585	CLASS HOMES 1 LLC	R	3/01/2022			190609		111.00
4636	EVERGY KANSAS CENTRAL INC. (HA	R	3/01/2022			190610		1,480.00
7616	STEVE KUPLEN	R	3/01/2022			190611		239.00
8177	MISSISSIPPI REGIONAL HOUSING A	R	3/01/2022			190612		659.38
8427	RENT-MOORE LLC	R	3/01/2022			190613		625.00
1800	DAN R. RODABAUGH	R	3/01/2022			190614		570.00
6451	NAZAR SAMAN	R	3/01/2022			190615		901.00
0472	LARRY SPRESSER	R	3/01/2022			190616		472.00

* * T O T A L S * *	NO	INVOICE AMOUNT	DISCOUNTS	CHECK AMOUNT
REGULAR CHECKS:	9	5,410.38	0.00	5,410.38
HAND CHECKS:	0	0.00	0.00	0.00
DRAFTS:	0	0.00	0.00	0.00
EFT:	0	0.00	0.00	0.00
NON CHECKS:	0	0.00	0.00	0.00
VOID CHECKS:	0 VOID DEBITS	0.00		
	VOID CREDITS	0.00	0.00	

TOTAL ERRORS: 0

	NO	INVOICE AMOUNT	DISCOUNTS	CHECK AMOUNT
VENDOR SET: 99 BANK: HAP TOTALS:	9	5,410.38	0.00	5,410.38
BANK: HAP TOTALS:	9	5,410.38	0.00	5,410.38
REPORT TOTALS:	136	1,063,485.27	0.00	1,063,485.27


Passed and approved this 8th day of March, 2022.

Cheryl L. Brooks, Mayor

ATTEST:

Tammy Nagel, City Clerk

Interoffice Memorandum

To: Daron Hall, City Manager
CC: Tammy Nagel, City Clerk
From: Dexter Neisler, Zoning Administrator (DN:dg) 
Date: March 1, 2022
Subject: Agenda Item – March 8, 2022
Variance – 525 S Broadway

The Planning Commission/Board of Zoning Appeals, in its meeting of February 28, 2022, considered a request submitted by Comeau Jewelry, for a variance at 525 S Broadway to allow a 6' rear-alley setback. After reviewing all evidence presented, the Planning Commission/Board of Zoning Appeals voted unanimously to recommend to the Governing Body **approval** of this request based on the following criteria:

Character of Neighborhood: This variance does not change the character of the neighborhood in any way.

Zoning and Nearby Property Use: This variance does not affect the use of any nearby property in any way.

Project Suitability for Proposed Use: This project is suitable for the proposed used as it does not change or affect any existing features including streets, drainage areas, or sanitary sewers.

Detrimental Affects to Nearby Properties: This variance will not pose any detrimental affects to any nearby properties.

Affects to Public Health, Safety, & Welfare: Public health, safety, and welfare will not be affected by this variance.

Staff Recommendation: Approve. This variance does not change or affect the character of the neighborhood.

In this regard, would you place this item on the agenda for the City Commission meeting scheduled for March 8, 2022.

Requested Action: For the Governing Body to approve or disapprove the variance submitted by Comeau Jewelry.

If you have any questions regarding this matter, please feel free to contact me at 620-230-5517.


Sincerely,

Dexter Neisler
Zoning Administrator

DN:dg 



Interoffice Memorandum

To: Daron Hall, City Manager
CC: Tammy Nagel, City Clerk
From: Dexter Neisler, Zoning Administrator (DN:dg) 
Date: March 1, 2022
Subject: Agenda Item – March 8, 2022
City of Pittsburg – Conditional Use Permit – 910 Memorial Drive

The Planning Commission/Board of Zoning Appeals, in its meeting of February 28, 2022, considered a request submitted by the City of Pittsburg for a Conditional Use Permit to allow a communications tower at 910 Memorial Drive.

Character of Neighborhood: This Conditional Use does not change the character of the neighborhood in any way.

Zoning and Nearby Property Use: This Conditional Use does not affect the use of any nearby property in any way.

Project Suitability for Proposed Use: This project is suitable for the proposed use as it does not change or affect any existing features including streets, drainage areas, or sanitary sewers.

Detrimental Affects to Nearby Properties: This Conditional use will not pose any detrimental affects to any nearby properties.

Affects to Public Health, Safety, & Welfare: Public health, safety, and welfare will not be affected by this Conditional Use.


Staff Recommendation: Approve. This Conditional Use does not change or affect the character of the neighborhood.

In this regard, would you place this item on the agenda for the City Commission meeting scheduled for March 8, 2022.

Requested Action: For the Governing Body to approve or disapprove the Conditional Use submitted by the City of Pittsburg. If the Governing Body disapproves the Conditional Use, they may, by a simple majority, deny the request and send it back to the Planning Commission/Board of Zoning Appeals for further consideration.

If you have any questions regarding this matter, please feel free to contact me at 620-230-5517.

Sincerely,

Dexter Neisler
Zoning Administrator
DN:dg 



GROUND LEASE

This Ground Lease ("Lease") is made and entered into by and between City of Pittsburg, Kansas, having an address at 201 W. 4th St., Pittsburg, Kansas 66762 hereinafter referred to as "Landlord," and Kansas #15 Limited Partnership, a Delaware limited liability company, having an address at Attention: Real Estate Lease Administration, 8410 West Bryn Mawr Avenue, Chicago, Illinois 60631, hereinafter referred to as "Tenant."

WHEREAS, Landlord is the fee owner of property XXX located in the City of Pittsburg County of Crawford, State of Kansas legally described in Exhibit A attached hereto and incorporated by reference (the "Landlord's Parcel").

WHEREAS, Tenant desires to occupy, and Landlord is willing to provide Tenant such Premises (as hereinafter defined) on the Landlord's Parcel for Tenant's use, as set forth in this Lease.

NOW THEREFORE, in consideration of the mutual promises, conditions, and other good and valuable consideration of the parties hereto, it is covenanted and agreed as follows:

1. Option to Lease.

- a. Landlord hereby grants to Tenant an option (the "Option") to lease from Landlord the following described parcel (the "Leasehold Parcel"):

Approximate dimensions: 30 X 30

Approximate square footage: 900

Legal descriptions of the Landlord's Parcel and the Tenant's Premises are attached hereto as Exhibit A and a Site Plan of the Leasehold Parcel is attached to the lease as Exhibit B.

- b. During the Initial Option Term (as hereinafter defined) and any Extended Option Term (as hereinafter defined), and during the Initial Term (as hereinafter defined) and any Renewal Term (as hereinafter defined) of this Lease, Tenant and its agents, engineers, surveyors and other representatives will have the right to enter upon the Leasehold Parcel to inspect, examine, conduct soil borings, drainage testing, material sampling, and other geological or engineering tests or studies of the Leasehold Parcel (collectively the "Tests"), to apply for and obtain licenses, permits, approvals, or other relief required of or deemed necessary or appropriate at Tenant's sole discretion for its use of the Premises (as hereinafter defined) and include without limitation applications for zoning variances, zoning ordinances, amendments, special use permits, and construction permits (collectively referred to as "Governmental Approvals"), and otherwise to do those things on or off the Leasehold Parcel that, in the opinion of Tenant, are necessary in Tenant's sole discretion to determine the physical condition of the Leasehold Parcel, the environmental history of the Leasehold Parcel, Landlord's title to the Leasehold Parcel, and the feasibility or suitability of the Leasehold Parcel for Tenant's Permitted Use (as hereinafter defined), all at Tenant's expense. Tenant will not be liable to Landlord or any third party on

account of any pre-existing defect or condition on or with respect to the Leasehold Parcel, whether or not such defect or condition is disclosed by Tenant's inspection.

- c. In consideration of Landlord granting Tenant the Option, Tenant hereby agrees to pay Landlord the sum of Seven Hundred dollars (\$ 700.00) within fifteen (15) days of full execution of this Lease by Landlord and Tenant. The Option will be for an initial term of eighteen (18) months (the "Initial Option Term") and may be renewed by Tenant, at the election of Tenant, for an additional six (6) months ("Extended Option Term") upon written notification to Landlord and the payment of an additional Seven Hundred dollars (\$ 700.00) no later than fifteen (15) days prior to the expiration date of the Initial Option Term. Landlord shall provide a complete and accurate IRS form W9 to Tenant for the Payee of the Option sum prior to payment thereof.
 - d. During the Initial Option Term and during the Extended Option Term, if any, as the case may be, Tenant may exercise the Option by notifying Landlord in writing at any time prior to the expiration of the Initial Option Term and the Extended Option Term, if any, as the case may be. The date stated on such notice will be the Commencement Date of the Lease. If Tenant exercises the Option, then Landlord shall lease the Premises (as hereinafter defined) to the Tenant on, and subject to, the terms and conditions of this Lease.
2. Grant of Easements. Landlord hereby grants to Tenant an access easement thirty (30) feet in width from the Leasehold Parcel to the nearest accessible public right-of-way (the "Access Easement") and a utility easement ten (10) feet in width to the nearest suitable utility company-approved service connection points (the "Utility Easement"); the Access Easement and the Utility Easement are collectively referred to herein as the "Easements"; the lands underlying the Access Easement and the Utility Easement are collectively referred to herein as the "Easement Parcels," which Easement Parcels are further described in Exhibits "A" & "B" attached hereto and incorporated herein). The Easements granted herein shall include, but not be limited to,
- a. The right to clear vegetation, cut timber, and move earthen materials upon the Easement Parcels,
 - b. The right to improve an access road within the Access Easement Parcel,
 - c. The right to place use, repair, replace, modify and upgrade utility lines and related infrastructure and equipment within the Utility Easement Parcel,
 - d. The right to enter and temporarily rest upon Landlord's adjacent lands for the purposes of
 - (i) Installing, repairing, replacing and removing the Improvements (as defined below) and any other personal property of Tenant from the Leasehold Parcel and
 - (ii) Improving the Easement Parcels, including the right to bring in and use all necessary tools and machinery, and
 - e. The right of pedestrian and vehicular ingress and egress to and from the Leasehold Parcel at any time over and upon the Access Easement Parcel. The Leasehold Parcel

and the Easement Parcels are collectively referred to herein as the "Premises.". In the event Landlord intends to utilize the property in such a manner as to impede Tenant's use of the Easement Parcel(s), or in the event the applicable utility company(ies) or any applicable federal, state, local government authority such as the local zoning authority disapproves or rejects Tenant's use of the Easement Parcel(s) for Tenant's intended access and utility requirements, Landlord shall, without the need for additional consideration, make such additional grants of easement rights as are reasonably necessary to achieve Tenant's access and utility needs or comply with the applicable utility company or governmental authority requirements described above.

3. Use of the Premises. Tenant shall be entitled to use the Premises to construct, operate, modify as necessary, and maintain thereon a communications antenna tower (including aviation hazard lights when required), an access road, one or more equipment buildings, back-up power devices and a security fence, together with all necessary lines, anchors, connections, devices, legally required signage and equipment for the transmission, reception, encryption, and translation of voice and data signals by means of radio frequency energy and landline carriage (collectively, the "Improvements"); Tenant's use described in this Section 4 is hereinafter referred to as the ("Permitted Use"). Tenant shall have unlimited access to the Premises 24 hours per day, 7 days a week.
4. Term of Lease. In the event Tenant, in Tenant's sole discretion, exercises the Option, the initial Lease term will be five (5) years (the "Initial Term"), commencing upon the Commencement Date and terminating at midnight on the day in which the fifth (5th) anniversary of the Commencement Date falls.
5. Option to Renew. The Initial Term of this Lease shall automatically extend for up to five (5) additional terms of five (5) years each (each, a "Renewal Term"), upon a continuation of all the same provisions hereof, unless Tenant gives Landlord written notice of Tenant's intention to terminate the Lease at least sixty (60) days before the expiration of the Initial Term or any Renewal Term.
6. Option to Terminate. Tenant shall have the unilateral right to terminate this Lease at any time by giving Landlord written notice of the date of such termination ("Termination Date"). The Indemnification obligations of each party contained in Section 13 and Tenant's requirement to remove improvements as provided in Section 20 shall survive termination of the Lease.
7. Rent. Tenant shall pay Rent to Landlord in the amount of Seven Hundred dollars (\$ 700.00) per month, the first payment of which shall be due within thirty (30) days of the Commencement Date, and installments thereafter on the first day of each calendar month, provided that Landlord shall submit to Tenant a complete and accurate IRS form W9 prior to Tenant's first payment of Rent. Landlord shall specify the name, address, and taxpayer identification number of a sole payee (or maximum two joint payees) who shall receive Rent on behalf of the Landlord. Rent will be prorated for any partial month. Any change to the Payee must be requested in

accordance with the Notice provision herein, and a new IRS form W9 must be supplied prior to payment by Tenant to the new Payee.

8. Adjusted Rent. At the beginning of each Renewal Term throughout the duration of the Lease as renewed and extended, the Rent shall be increased by ten percent (10%) over the previous term's Rent.
9. Utilities. Tenant shall solely and independently be responsible for all costs of providing utilities to the Premises, including the separate metering, billing, and payment of utility services consumed by Tenant's operations. The word "utilities" shall mean any service that is necessary for the Tenant to conduct its operations on the Premises and "utility services" shall mean any provider who provides utility services or utility related infrastructure so that the Tenant can conduct its Permitted Use on the Premises.
10. Landlord Tower Space Tenant hereby agrees to provide at no cost to Landlord a portion of certain space ("the Tower Space") on the Tenant's improvements, hereinafter referred to as the "Tower", located on the Premises, together with the non-exclusive right for access, seven (7) days a week, twenty-four (24) hours a day, for the installation and maintenance of antennas, utility wires, poles, cables, conduits, pipes, or other pertinent facilities. Landlord shall be responsible for all costs associated with installation of Landlord's facilities. Landlord's facilities may not interfere with Tenant's facilities or operations. Landlord's Tower Space and Tower attachments shall be limited to the following: a total of six (6) antennae, with a length no greater than three feet (3'), and be mounted at the one hundred (100') above ground elevation centerline on the Tower. Landlord may, for Landlord's use and only Landlord's use, solicit additional mounting centerlines or additional antennas or other equipment on the Tower at the rate of fifty (\$50) per antenna per month. Notwithstanding the afore-stated, Landlord hereby acknowledges and agrees to fully comply with Tenant's collocation process prior to Landlord or Landlord's agent installing any equipment on the Tower or at the Site. Said collocation process may include, but not be limited to, the following requirements:

at the Landlord's expense and prior to commencing the installation of Landlord's equipment on the Tower and/or at the Site, Landlord shall submit to Tenant the following: (i) detailed site plans and specifications setting forth the proposed antennas and other equipment, the height and location of such equipment, and the construction, installation, and other work to be performed on the Tower and the Site, (ii) a structural analysis of the Tower addressing the installation of any antennas and other equipment on the Tower by the Landlord and demonstrating that the installation of such equipment shall fully comply with Tenant's structural analysis requirements, and (iii) a list of all known frequencies licensed or assigned to Landlord by the Federal Communications Commission (the "FCC") to be utilized by Landlord at the Site as well as any other proposed frequencies to be utilized by Landlord at the Site. (iv) Landlord shall not install any equipment or commence any work on the Tower or Site until Tenant approves, in writing, Landlord's site plan, plans and specifications, structural analysis and frequencies, such approval to be given in Tenant's reasonable discretion. (v) Landlord's site plan, plans and specifications, structural analysis and frequencies will be deemed approved if no response has been provided within sixty (60) days.

11. Property Taxes. Landlord shall pay prior to delinquency any real estate taxes attributable to Landlord's Parcel. Tenant shall pay prior to delinquency any personal property taxes levied against Tenant's Improvements. Tenant shall pay to Landlord upon Landlord's demand, any increase in real property taxes levied against Landlord's Parcel which is attributable to Tenant's use or Improvements, provided that Landlord agrees to furnish reasonable documentation of such increase to Tenant. Furthermore, Landlord agrees to give timely notice to Tenant in the event it is notified of an assessment valuation change, or a change in property status. Landlord agrees that Tenant shall have the right to appeal any such change in status or any increase in real estate assessment for the Leasehold Parcel or Tenant's Improvements, and Landlord will reasonably cooperate, but at no cost to Landlord, with any such appeal by Tenant. Tenant shall only be responsible for property tax reimbursements requested by Landlord within one (1) year of payment of such property taxes by Landlord. Landlord's requests to Tenant for reimbursement of such property taxes should be addressed to:

U. S. Cellular
Attention: [589403]
P.O. Box 31369
Chicago, IL 60631-0369

In order to ensure that Tenant's leasehold interest is not extinguished in the event that the real property taxes related to Landlord's Parcel become delinquent, Tenant shall have the right, but not the obligation, to pay delinquent real property taxes related to Landlord's Parcel. Tenant shall be entitled to take a credit against the Rent under this lease for any such taxes paid by Tenant that exceed Tenant's proportionate share thereof.

12. Repairs and Maintenance. Tenant shall be responsible for all repairs and maintenance of the Improvements, including, if applicable, snow removal if Tenant has exclusive control over its access road, and may at its own expense alter or modify the Improvements to suit its needs consistent with the intended use of the Premises. Landlord will maintain the areas surrounding Tenant's Premises. Landlord's maintenance shall include, but is not limited to, if applicable, snow removal if all of or part of the Access Easement is shared between the parties.
13. Mutual Indemnification.
- a. To the extent permitted by law, Tenant agrees to defend, indemnify and save harmless Landlord from and against all claims, losses, costs, expenses, or damages from a third party, arising from
- (i) The negligence or willful misconduct of Tenant, or its agents, employees, or contractors; or
 - (ii) Any material breach by Tenant of any provision of this Lease. This indemnity and hold harmless agreement will include indemnity against all

reasonable costs, expenses, and liabilities incurred in or in connection with any such claim, and the defense thereof. Notwithstanding the foregoing, Tenant will have no liability to Landlord to the extent any claims, losses, costs, expenses, or damages arise out of or result from any act, omission, or negligence of Landlord, or of Landlord's agents, employees or contractors.

- b. To the extent permitted by law, Landlord agrees to defend, indemnify and save harmless Tenant from and against all claims, losses, costs, expenses, or damages from a third party, arising from
 - (i) The negligence or willful misconduct of Landlord or its agents, employees, or contractors; or
 - (ii) Any material breach by Landlord of any provision of this Lease. This indemnity and hold harmless agreement will include indemnity against all reasonable costs, expenses, and liabilities incurred in or in connection with any such claim, and the defense thereof. Notwithstanding the foregoing, Landlord will have no liability to Tenant to the extent any claims, losses, costs, expenses, or damages arise out of or result from any act, omission, or negligence of Tenant, or of Tenant's, agents, employees or contractors.

14. Insurance.

- a. Tenant shall maintain commercial general liability insurance insuring against liability for bodily injury, death or damage to personal property with combined single limits of One Million and No/100 Dollars (\$1,000,000). In addition, Tenant shall maintain worker's compensation in statutory amounts, employer's liability insurance with combined single limits of One Million and No/100 Dollars (\$1,000,000); automobile liability insurance insuring against claims for bodily injury or property damage with combined single limits of One Million and No/100 Dollars (\$1,000,000); and all risk property insurance covering all personal property of Tenant for full replacement value. Tenant shall provide Landlord with evidence of such insurance in the form of a certificate of insurance prior to obtaining occupancy of the Premises and throughout the term of this Lease or any Renewal Term.
 - b. Landlord shall maintain general liability insurance insuring against liability for bodily injury, death or damage to personal property with combined single limits of One Million and No/100 Dollars (\$1,000,000). In addition, to the extent required by law, Landlord shall maintain worker's compensation in statutory amounts and employer's liability insurance with combined single limits of One Million and No/100 Dollars (\$1,000,000). Landlord shall provide Tenant with evidence of such insurance in the form of a certificate of insurance prior to Tenant obtaining occupancy and throughout the term of this Lease or any Renewal Term.
15. Default. Tenant shall be in default of this Lease if Tenant fails to make a payment of rent when due and such failure continues for fifteen (15) days after Landlord notifies Tenant in writing of such failure. If Landlord or Tenant fails to comply with any non-monetary provision of this Lease, the other party shall serve written notice of such failure upon the defaulting party, whereupon a grace period of thirty (30) days

shall commence to run during which the defaulting party shall undertake and diligently pursue a cure of such failure at its sole cost and expense. Such grace period shall automatically be extended for an additional thirty (30) days, provided the defaulting party makes a good faith showing that efforts toward a cure are continuing.

16. Compliance with Laws. Tenant shall, at Tenant's cost and expense, comply with all federal, state, county or local laws, rules, regulations and ordinances now or hereafter enacted by any governmental authority or administrative agency having jurisdiction over the Premises and Tenant's operations thereupon.
17. Assignment of Lease by Tenant. This Lease shall be freely assignable by the Tenant to any other party without the necessity of obtaining Landlord's consent. Tenant's right to effect an outright transfer of the Lease, and the right of any collateral assignee to seize the Premises as defaulted security, is subject only to the limitation that the Premises shall be used for the purposes permitted herein. Tenant shall notify Landlord in writing of the name and address of any assignee or collateral assignee.
18. Subleasing. Tenant shall have the unreserved and unqualified right to sublet or license all or any portion of the Premises to subtenants without the necessity of obtaining Landlord's consent.
19. Right of First Refusal. Tenant (or its successor in interest, assignee or designee) shall have a right of first refusal ("Right of First Refusal") to purchase (a) all or any part of the fee ownership of the Premises; (b) any easement rights in or over all or any part of the Premises; (c) all or any part of Landlord's interest in or rights under this Lease, including, without limitation, the right to collect rents, or (d) any other legally recognizable interest in the Premises that Landlord may seek to transfer (each, "Landlord's Interest") whenever Landlord receives a bona fide offer from an unrelated third party to purchase, directly or indirectly, all or any part of Landlord's Interest that Landlord desires to accept ("Offer"). If the Offer is part of a larger transaction, including, without limitation, involving Landlord's Parcel, equity of Landlord or a larger package of assets which includes the Landlord's Interest, Landlord shall make a good faith estimate of the portion of such larger offer price attributable to the Landlord's Interest and provide that price to Tenant. Prior to accepting such Offer, Landlord shall give Tenant a copy of the Offer and other relevant documents, including the price and the terms and conditions upon which Landlord proposes to transfer Landlord's Interest (collectively, the "Right of First Refusal Notice"). Tenant shall have forty-five (45) days from the receipt of such notice to agree to purchase Landlord's Interest for the price and upon the terms and conditions specified in the Offer ("Tenant Approval Period").

If Tenant elects to so purchase Landlord's Interest, Tenant shall give to Landlord written notice thereof within said Tenant Approval Period ("Acceptance Notice"). If Tenant delivers an Acceptance Notice as provided herein, then Landlord and Tenant shall enter into a mutually acceptable purchase and sale agreement pertaining to such Landlord's Interest (the "Purchase and Sale Agreement"), reflecting the terms of the Offer, as well as other customary covenants, representations and warranties contained in purchase and sale

agreements for similar acquisitions in the metropolitan area in which the Premises is located. The parties agree to act reasonably and cooperatively in negotiating, executing and delivering the Purchase and Sale Agreement. Except as otherwise specified in the Offer, at the closing for the sale of all or any part of the Premises, Landlord shall deliver to Tenant a special warranty deed (or local equivalent), sufficient to convey to Tenant fee simple title. In the case of an assignment of the Lease or the grant of an easement, Landlord shall instead deliver to Tenant a customary assignment of the Lease or a customary easement.

If Tenant does not exercise the Right of First Refusal during the Tenant Approval Period, then Landlord may proceed to transfer Landlord's Interest upon the same terms and conditions set forth in the Offer; provided such transfer occurs within three (3) months following the end of the Tenant Approval Period, the transfer is made in accordance with all the other terms and conditions of this Lease, and such purchaser assumes the obligations of Landlord under this Lease including, without limitation, this Right of First Refusal which shall be an ongoing Right of First Refusal during the lease term. If Landlord has not transferred Landlord's Interest within such three (3) month period, or in the event any terms or conditions of the proposed deal change from the terms and conditions provided in the initial Right of First Refusal Notice, then Landlord shall not thereafter transfer Landlord's Interest to an unrelated third party without first renewing the Right of First Refusal Notice to Tenant in the manner provided above. Tenant's failure to exercise its Right of First Refusal or its express waiver of its Right of First Refusal in any instance shall not be deemed a waiver of Tenant's Right of First Refusal for subsequent instances when Landlord proposes to transfer Landlord's Interest to an unrelated third party during the lease term. Notwithstanding the foregoing, Landlord's right to sell all or any part of the Premises to a third party shall not be encumbered or restricted, except to the extent set forth in this Section.

20. Execution of Other Instruments. Landlord agrees to execute, acknowledge, and deliver to Tenant such other instruments respecting the Premises as Tenant or Tenant's lender may reasonably request from time to time. Such instruments may include, but are not limited to, a memorandum of lease that may be recorded in the appropriate local land records. Landlord also agrees to cooperate with Tenant's efforts to obtain all private and public consents related to Tenant's use of the Premises, including, but not limited to zoning and permitting applications. If it is needed for the Tenant's permitting purposes, Landlord grants to Tenant and its employees, representatives, agents, and consultants a limited power of attorney to prepare execute, submit, file and present on behalf of Landlord building, permitting, zoning, or land-use applications with appropriate local, state, and/or federal agencies necessary to obtain land use changes, special exceptions, zoning variances, conditional use permits, special use permits, administrative permits, construction permits, and or building permits.
21. Removal of Improvements. The Improvements are agreed to be Tenant's personal property and shall never be considered fixtures to the Premises. Tenant shall at all times be authorized to remove the Improvements from the Premises. Upon the expiration or earlier termination of this Lease, Tenant shall remove all improvements, to a depth of two feet (2') below grade, from the Premises. Tenant

shall be entitled to abandon, in place, all footings, foundations and other below ground improvements that are located deeper than two feet (2') below grade.

22. Quiet Enjoyment. Landlord covenants that Tenant shall have quiet and peaceable possession of the Premises throughout the Initial Lease Term and any Renewal Term, if any, as the case may be, and that Landlord will not intentionally disturb Tenant's enjoyment thereof as long as Tenant is not in default under this Lease.

23. Title, Access and Authority. Landlord covenants and warrants to Tenant that Landlord presently owns a legally defined interest in and to Landlord's Parcel; that the Premises are served by legal access from a public way; that Landlord is duly authorized and empowered to enter into this Lease; and that the person executing this Lease on behalf of the Landlord warrants himself to be duly authorized to bind the Landlord hereto.

24. Subordination and Non-Disturbance. Tenant agrees to subordinate this Lease to any mortgage or trust deed which may hereafter be placed on the Premises, provided the mortgagee or trustee thereunder shall ensure to Tenant the right to possession of the Premises and other rights granted to Tenant herein so long as Tenant is not in default beyond any applicable grace or cure period, such assurance to be in writing and otherwise in form and substance reasonably satisfactory to Tenant. If requested by Tenant, Landlord agrees to use Landlord's best efforts to assist Tenant in obtaining from any holder of a security interest in Landlord's Parcel a non-disturbance agreement in form and substance reasonably satisfactory to Tenant.

25. Environmental Warranty. Landlord hereby represents and warrants to Tenant that Landlord has never generated, stored, handled, or disposed of any hazardous waste or hazardous substance upon the Premises, and that Landlord has no knowledge of such uses historically having been made of the Premises or such substances historically having been introduced thereon. Notwithstanding the foregoing, Landlord agrees to protect, indemnify and hold harmless Tenant from and against any claims or losses arising out or related to the presence or release of any hazardous substances at, on or beneath the Premises, whether existing prior to the date hereof or migrating onto the Premises during any portion of the Term, except to the extent caused by a spill or release of hazardous substances specifically brought on the Premises by or for the benefit of Tenant after the Commencement Date.

26. Notices. Any notice, request or demand required or permitted to be given pursuant to this Lease shall be in writing and shall be deemed sufficiently given if delivered by messenger at the address of the intended recipient, sent prepaid by Federal Express (or a comparable guaranteed overnight delivery service), or deposited in the United States first class mail (registered or certified, postage prepaid, with return receipt requested), addressed to the intended recipient at the address set forth below or at such other address as the intended recipient may have specified by written notice to the sender in accordance with the requirements of this paragraph. Any such notice, request, or demand so given shall be deemed given on the day it is delivered by messenger at the specified address, on the day after deposit with an overnight delivery service), on the date the receipt is refused, or on the day that is five (5) days after deposit in the United States mail, as the case may be.

TENANT: Kansas #15 Limited Partnership
Attention: Real Estate Lease Administration
8410 West Bryn Mawr Avenue
Chicago, Illinois 60631
Phone: 1-866-573-4544

LANDLORD: City Manager
City of Pittsburg
201 W. 4th St.
Pittsburg, Kansas 66762

Phone: 620-231-4100

27. Contingencies. Tenant shall have the right to terminate this Lease upon written notice to Landlord, relieving both parties of all further obligations hereunder, if Tenant, acting reasonably and in good faith, shall be unable to obtain any or all licenses or permits required to construct its intended improvements upon the Premises or conduct Tenant's business at the Premises at any time during the Term; if Tenant's technical reports fails to establish to Tenant's satisfaction that the Premises are capable of being suitably engineered to accomplish Tenant's intended use of the Premises; if the Premises are taken by eminent domain by a governmental entity or a title commitment or report obtained by Tenant with respect to the Premises shows as exceptions any encumbrances or restrictions which would, in Tenant's opinion, interfere with Tenant's intended use of the Premises.
28. Attorneys' Fees. In any action on this Lease at law or in equity, the prevailing party shall be entitled to recover from the other party the reasonable costs incurred by such party in such action, including reasonable attorneys' fees and costs of appeal.
29. Governing Law. This Lease will be governed by and construed in accordance with the laws of the State in which the Premises is located.
30. Binding Effect. All of the covenants, conditions, and provisions of this Lease shall inure to the benefit of and be binding upon the parties hereto and their respective successors and assigns.
31. Entire Agreement; Waiver. This Lease constitutes the entire agreement of the parties, and may not be modified except in writing signed by the party against whom such modification is sought to be enforced. No waiver at any time of any of the provisions of the Lease will be effective unless in writing. A waiver on one occasion will not be deemed to be a waiver at any subsequent time.
32. Modifications. This Lease may not be modified, except in writing signed by both parties.
33. Recording. Each party, on request of the other, agrees to execute a short form lease in recordable form and complying with applicable laws and reasonably satisfactory to both parties, which will be recorded in the appropriate public records.

34. Holdover. In the event Tenant remains in possession of the Premises after the expiration of this Lease, this Lease will become a year to year tenancy, that can be terminated by either Landlord or Tenant with thirty (30) day notice before the end of the first year to year tenancy. Tenant shall pay, as Rent, during such holdover, a rent equal to one hundred-ten percent (110%) of the Rent payable immediately prior to the expiration or earlier Termination Date of this Lease. Except as otherwise provided for herein, all other covenants and conditions of this Lease shall remain unchanged and in full force and effect. Provided that the Landlord and Tenant are diligently working on the renewal and/or extension of the Lease, the increase in the Rent shall not be applied for any period after the expiration of the Lease.
35. Headings. The section headings throughout this instrument are for convenience and reference only, and are not to be used to explain, modify, amplify or aid in the interpretation, construction or meaning of the provisions of this Lease.
36. Invalidity of Particular Provision. If any term or provision of this Lease, or the application of such term or provision to any person or circumstance, to any extent, is invalid or unenforceable, the remainder of this Lease, or the application of such term or provision to persons or circumstances other than those as to which it is invalid or unenforceable, will not be affected and each term and provision of this Lease will be valid and be enforced to the fullest extent permitted by law.
37. Remedies. The parties shall be entitled to the application of all appropriate remedies available to them under state and federal law in the enforcement of this Lease.
38. Errors and Omissions. Landlord and Tenant agree as part of the basis of their bargain for this Ground Lease to cooperate fully in executing any and all documents (including amendments to this Ground Lease) necessary to correct any factual or legal errors, omissions, or mistakes, and to take any and all additional action, that may be necessary or appropriate to give full force and effect to the terms and intent of this Ground Lease.
39. Non-Binding Until Full Execution. Both parties agree that this Lease is not binding on either party until both parties execute the Lease.
40. Electronic Reproductions. The Parties agree that a scanned or electronically reproduced copy or image of this Lease, as executed, shall be deemed an original and may be introduced or submitted in any action or proceeding as competent evidence of such agreement, notwithstanding the failure or inability of either party to produce or tender an original executed counterpart.

[END OF LEASE - SIGNATURE PAGE FOLLOWS]

SIGNATURE PAGE

IN WITNESS WHEREOF, the parties hereto bind themselves to this Ground Lease as of the date of full execution of this Ground Lease.

LANDLORD: City of Pittsburg, Kansas

TENANT: Kansas #15 Limited Partnership

By: USCOC Nebraska/Kansas, Inc.
Its: General Partner

By: _____

By: ____

Printed: _____

Printed: _____

Title: _____

Title: Vice President

Date: _____

Date: _____

By: _____

Printed: _____

Title: _____

Date: _____

STATE OF _____ (Kansas)

COUNTY OF _____ (Crawford)

I, the undersigned, a notary public in and for the State and County aforesaid, do hereby certify that City of Pittsburg, Kansas known to me to be the same persons whose names are subscribed to the foregoing Ground Lease, appeared before me this day in person and (severally)acknowledged that they signed the said Lease as their free and voluntary act for the uses and purposes therein stated.

Given under my hand and seal this ____ day of _____, 20__.

Notary Public

My commission expires _____

STATE OF _____)
)
COUNTY OF _____)

I, the undersigned, a notary public in and for the State and County aforesaid, do hereby certify that _____, _____, for USCOC Nebraska/Kansas Inc., known to me to be the same person whose name is subscribed to the foregoing Ground Lease, appeared before me this day in person and acknowledged that, pursuant to his authority, he signed the said Lease as his free and voluntary act on behalf of the named Tenant, for the uses and purposes therein stated.

Given under my hand and seal this ____ day of _____, 20__.

Notary Public

My commission expires _____

Exhibit A

Legal Descriptions

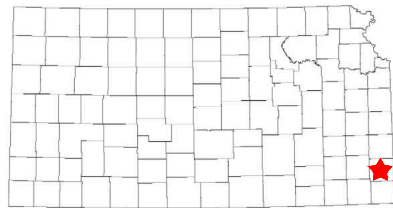
Will be added once survey is complete

Exhibit B

Site Plan

Attached

STATE LOCATION



SITE LOCATION



DRIVING DIRECTIONS

FROM SPRINGFIELD-BRANSON NATIONAL AIRPORT: TAKE PREFERRED ROUTE TO MO-266 W. TURN LEFT ONTO N STATE HWY B. TURN RIGHT ONTO I-44 W TOWARDS JOPLIN. MERGE ONTO I-44. TAKE EXIT 57 FOR MO-96. TURN RIGHT ONTO CO RD 80. TURN LEFT ONTO BASE LINE BLVD. TURN RIGHT ONTO MO-171 N. CONTINUE ONTO KS-171 W. TURN RIGHT ONTO US-160 E/US-69 N. TURN RIGHT ONTO 12TH ST. TURN LEFT ONTO MCNALLY RD. TURN LEFT. SITE WILL BE DIRECTLY AHEAD.

PROJECT TEAM

PROJECT CONTACT:

NAME US CELLULAR CORPORATION
ADDRESS 800 CORNERSTONE DRIVE
CITY, STATE, ZIP KNOXVILLE, TN 37932
CONTACT KEN HARDIN
PHONE (865) 777-8054

TOWER OWNER:

NAME US CELLULAR CORPORATION
ADDRESS 800 CORNERSTONE DRIVE
CITY, STATE, ZIP KNOXVILLE, TN 37932
CONTACT KEN HARDIN
PHONE (865) 777-8054

CIVIL ENGINEER:

NAME TOWER ENGINEERING PROFESSIONALS, INC.
ADDRESS 326 TRYON ROAD
CITY, STATE, ZIP RALEIGH, NC 27603-3530
CONTACT JEREMY K. WOOSTER, P.E.
PHONE (919) 661-6351

ELECTRICAL ENGINEER:

NAME TOWER ENGINEERING PROFESSIONALS, INC.
ADDRESS 326 TRYON ROAD
CITY, STATE, ZIP RALEIGH, NC 27603-3530
CONTACT JEREMY K. WOOSTER, P.E.
PHONE (919) 661-6351

PROPOSED 120-FT MONOPOLE
(124-FT OVERALL HEIGHT)

SITE NAME:

LINCOLN PARK

SITE NUMBER:

589403

SITE ADDRESS (E911 ADDRESS TBD):

MCNALLY ROAD
PITTSBURG, KS 66762
(CRAWFORD COUNTY)

INDEX OF SHEETS

NO.	SHEET TITLE	REV
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-	SITE SURVEY	-
C-1	SITE PLAN	2
C-2	COMPOUND DETAIL	2
C-3	TOWER ELEVATION	2
C-4AB	CABINET DETAILS	2
C-5	ICE BRIDGE DETAILS	2
C-6	COMPOUND FENCE DETAILS	2
C-7	SIGNAGE DETAILS	2
C-8A	SOIL & EROSION CONTROL PLAN	2
C-8B	SILT FENCE DETAILS	2
C-9	ACCESS ROAD DETAILS	2
C-10AB	ANTENNA MOUNTING DETAILS & SPECIFICATIONS	2
C-11A	RRH MOUNTING DETAILS	2
C-11B	RRH DETAILS	2
C-12AB	LTE PLUMBING DIAGRAMS	2
C-13AB	LABELING STANDARDS I & II	2
C-14	EQUIPMENT CANOPY ELEVATION & DETAILS	2
E-1	ELECTRICAL NOTES	2
E-2	ONE-LINE DIAGRAM & POWER PANEL SCHEDULE	2
E-3	POWER/TELCO PLAN	2
E-3A	EQUIPMENT H-FRAME & SERVICE RACK DETAILS	2
E-4	COMPOUND GROUNDING PLAN	2
E-5	EQUIPMENT GROUNDING PLAN	2
E-6,7,8	GROUNDING DETAILS I-III	2
N-1	PROJECT NOTES	2

PROJECT INFORMATION

LATITUDE: N 37° 25' 12.22" * (NAD '83)
LONGITUDE: W 94° 42' 46.51" * (NAD '83)
EXISTING GROUND ELEVATION: 912.7' ± * (NAVD '88)
PROPOSED GROUND ELEVATION: 913.0' ± (NAVD '88)

* INFORMATION PER SURVEY PROVIDED BY HUSKER SURVEYING, DATED 05/04/21.

TOWER TYPE: 120' MONOPOLE (124' OVERALL)
LOADING TYPE: 4T4R/2T2R
ACCESS ISSUES: N/A
GATE COMBO: 8722

STRUCTURAL NOTE

STRUCTURAL STATUS:

- MOUNT SA - N/A
- TOWER SA - N/A

SCOPE OF WORK

TOWER SCOPE:

- PROPOSED EQUIPMENT:
- (5) DENGYO OCT8-2LX2HX-BW65 ANTENNAS
 - (3) SECTOR FRAMES (SABRE P/N: C1085777CDP OR APPROVED EQ.)
 - (2) COLLAR MOUNTS (SABRE P/N: C10857801DP OR APPROVED EQ.)
 - (2) QUAD BRACKET MOUNTS (SITE PRO P/N: UGLM4 OR APPROVED EQ.)
 - (6) DUAL MOUNTS (SITE PRO P/N: CWT8 OR APPROVED EQ.)
 - (2) 1/4" HYBRID CABLE
 - (2) RAYCAP RUSDC-6267-PF-48
 - (3) NOKIA AHL0A RRHS
 - (2) NOKIA AHCA RRHS
 - (3) NOKIA AHFIB RRHS
 - (3) GROUND BARS (TOWER TOP, TOWER MIDDLE, AND BASE OF TOWER)

LTE JUMPERS:

- (3) POWER JUMPERS FROM RAYCAP TO BAND 71/12 RRHS
- (3) POWER JUMPERS FROM RAYCAP TO BAND 2/4 RRHS
- (2) POWER JUMPERS FROM RAYCAP TO BAND 5 RRHS
- (6) FIBER JUMPERS FROM RAYCAP TO BAND 71/12 RRHS
- (6) FIBER POWER JUMPERS FROM RAYCAP TO BAND 2/4 RRHS
- (4) FIBER JUMPERS FROM RAYCAP TO BAND 5 RRHS
- (12) PROPOSED 1/2" JUMPERS FROM BAND 71/12 RRHS TO ANTENNA
- (12) PROPOSED 1/2" JUMPERS FROM BAND 2/4 RRHS TO ANTENNA
- (8) PROPOSED 1/2" JUMPERS FROM BAND 5 RRHS TO ANTENNA
- (3) RET JUMPERS FROM BAND 71/12 RRHS TO ANTENNA
- (2) RET JUMPERS FROM BAND 5 RRHS TO ANTENNA

GROUND EQUIPMENT SCOPE:

- PROPOSED EQUIPMENT:
- (1) CHARLES EQUIPMENT CABINETS
 - (1) 10'x12' CONCRETE PAD
 - (1) ICE BRIDGE (19'-0" IN LENGTH REQUIRED)
 - (1) 10'x12' EQUIPMENT CANOPY (SITEPRO P/N: COV1012-B)
 - (2) RAYCAP RUSDC-6267-PF-48 (MOUNTED ON H-FRAME)
 - (1) JUNCTION BOX
 - (2) GROUND BARS
 - (1) CAC EQUIPMENT CABINET
 - (1) TELCO BOX
 - (1) 200A POWER METER
 - (1) MULTI-GANG METER SERVICE RACK WITH TELCO BOX (COORDINATE WITH LOCAL UTILITY COMPANY)
 - (4) 6' UNISTRUTS FOR H-FRAME AND U-BOLTS FOR MOUNTING

SPECIAL REQUIREMENTS:

ANTENNA AZIMUTHS:
CONTRACTOR SHALL VERIFY AZIMUTHS PRIOR TO CONSTRUCTION.
CONTRACTOR TO REQUEST RF SHEET FROM CM, DO NOT GO ONLY OFF DRAWINGS.

UTILITIES:

POWER COMPANY: CDL ELECTRIC
CONTACT: CUSTOMER SERVICE
PHONE: (800) 392-4942
METER # ON SITE: 40 470 965

FIBER COMPANY: AT&T
CONTACT: CUSTOMER SERVICE
PHONE: (800) 288-2020
PEDESTAL # NEAR SITE: UNKNOWN



PLANS PREPARED FOR:



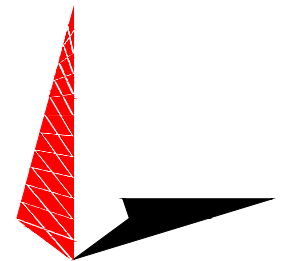
800 CORNERSTONE DRIVE
KNOXVILLE, TN 37932
(865) 777-8054

PROJECT INFORMATION:

LINCOLN PARK
SITE #: 589403

MCNALLY ROAD
(E911 ADDRESS T.B.D.)
PITTSBURG, KS 66762
(CRAWFORD COUNTY)

PLANS PREPARED BY:



TOWER ENGINEERING PROFESSIONALS

326 TRYON ROAD
RALEIGH, NC 27603-3530
OFFICE: (919) 661-6351
www.tepgroup.net

SEAL:



October 15, 2021

2	10-15-21	CONSTRUCTION
1	08-10-21	PRELIMINARY
0	05-17-21	PRELIMINARY
REV	DATE	ISSUED FOR:

DRAWN BY: GLB CHECKED BY: JKW

SHEET TITLE:

TITLE SHEET

SHEET NUMBER:	REVISION:
T-1	2
	TEP #: 257244

NOTES:

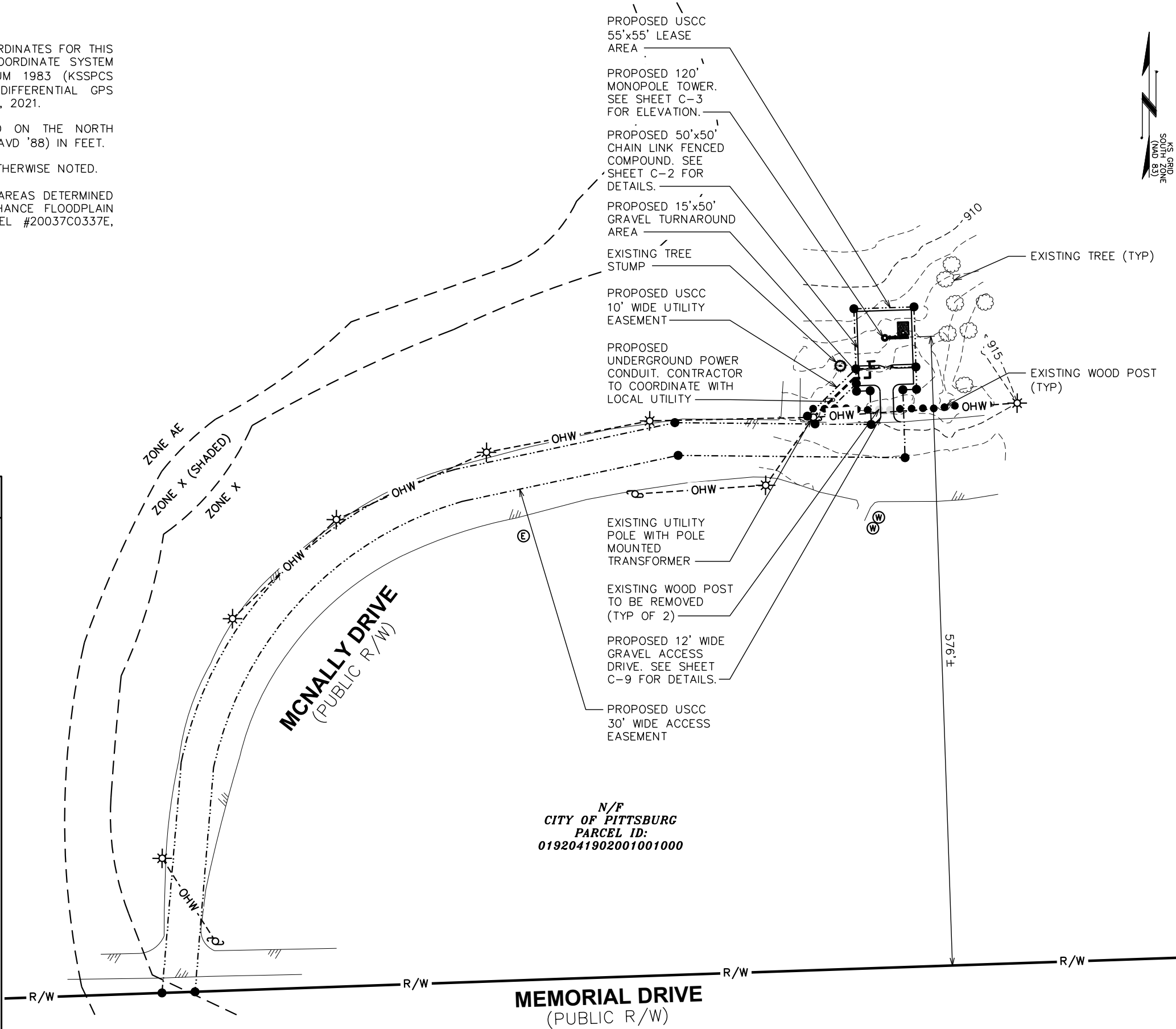
- 1. THE BASIS OF THE MERIDIANS AND COORDINATES FOR THIS PLAT IS THE KANSAS STATE PLANE COORDINATE SYSTEM SOUTH ZONE, NORTH AMERICAN DATUM 1983 (KSSPCS SOUTH ZONE NAD 83), BASED ON DIFFERENTIAL GPS OBSERVATIONS PERFORMED ON APRIL 21, 2021.
- 2. VERTICAL INFORMATION SHOWN, BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD '88) IN FEET.
- 3. ALL DISTANCES ARE GROUND UNLESS OTHERWISE NOTED.
- 4. THE TOWER IS LOCATED IN ZONE "X." AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN ACCORDING TO FEMA COMMUNITY PANEL #20037C0337E, DATED APRIL 16, 2009.

LEGEND

- EXIST. PROPERTY LINE
- ADJ. PROPERTY LINE
- EXIST. UTILITY POLE
- EXIST. LIGHT POLE
- EXIST. HYDRANT
- EXIST. TELCO PEDESTAL
- EXIST. WATER METER
- EXIST. ELEC. METER
- PROPERTY CORNER
- LEASE/EASE. CORNER
- EXIST. CONTOUR LINE
- EDGE OF PAVEMENT
- OVERHEAD WIRE
- RIGHT-OF-WAY
- WOOD FENCE
- EXISTING CROP LINE

SITE PLAN

SCALE: 1" = 100'



PLANS PREPARED FOR:



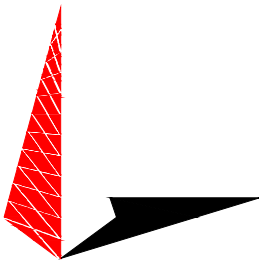
800 CORNERSTONE DRIVE
KNOXVILLE, TN 37932
(865) 777-8054

PROJECT INFORMATION:

**LINCOLN PARK
SITE #: 589403**

MCNALLY ROAD
(E911 ADDRESS T.B.D.)
PITTSBURG, KS 66762
(CRAWFORD COUNTY)

PLANS PREPARED BY:



TOWER ENGINEERING PROFESSIONALS

326 TRYON ROAD
RALEIGH, NC 27603-3530
OFFICE: (919) 661-6351
www.tepgroup.net

SEAL:



October 15, 2021

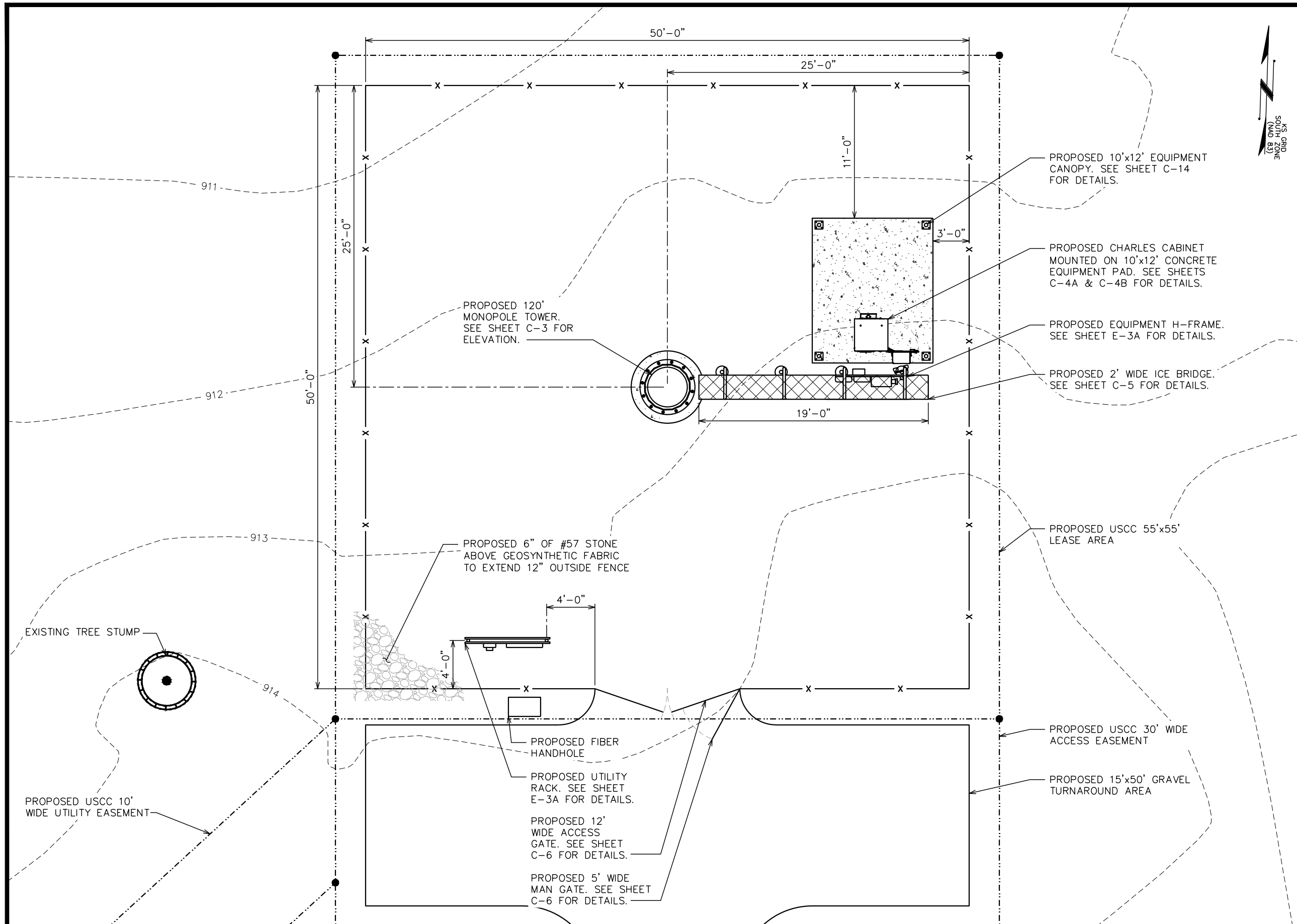
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1	08-10-21	PRELIMINARY
0	05-17-21	PRELIMINARY
REV	DATE	ISSUED FOR:

DRAWN BY: GLB CHECKED BY: JKW

SHEET TITLE:

SITE PLAN

SHEET NUMBER:	REVISION:
C-1	2
	TEP #: 257244



PLANS PREPARED FOR:

 800 CORNERSTONE DRIVE
 KNOXVILLE, TN 37932
 (865) 777-8054

PROJECT INFORMATION:
LINCOLN PARK
SITE #: 589403
 MCNALLY ROAD
 (E911 ADDRESS T.B.D.)
 PITTSBURG, KS 66762
 (CRAWFORD COUNTY)

PLANS PREPARED BY:

TOWER ENGINEERING PROFESSIONALS
 326 TRYON ROAD
 RALEIGH, NC 27603-3530
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 www.tepgroup.net

SEAL:

2	10-15-21	CONSTRUCTION
1	08-10-21	PRELIMINARY
0	05-17-21	PRELIMINARY
REV	DATE	ISSUED FOR:

DRAWN BY: GLB CHECKED BY: JKW

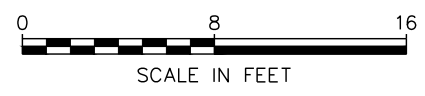
SHEET TITLE:
COMPOUND DETAIL

SHEET NUMBER:
C-2

REVISION:
2
 TEP #: 257244

COMPOUND DETAIL

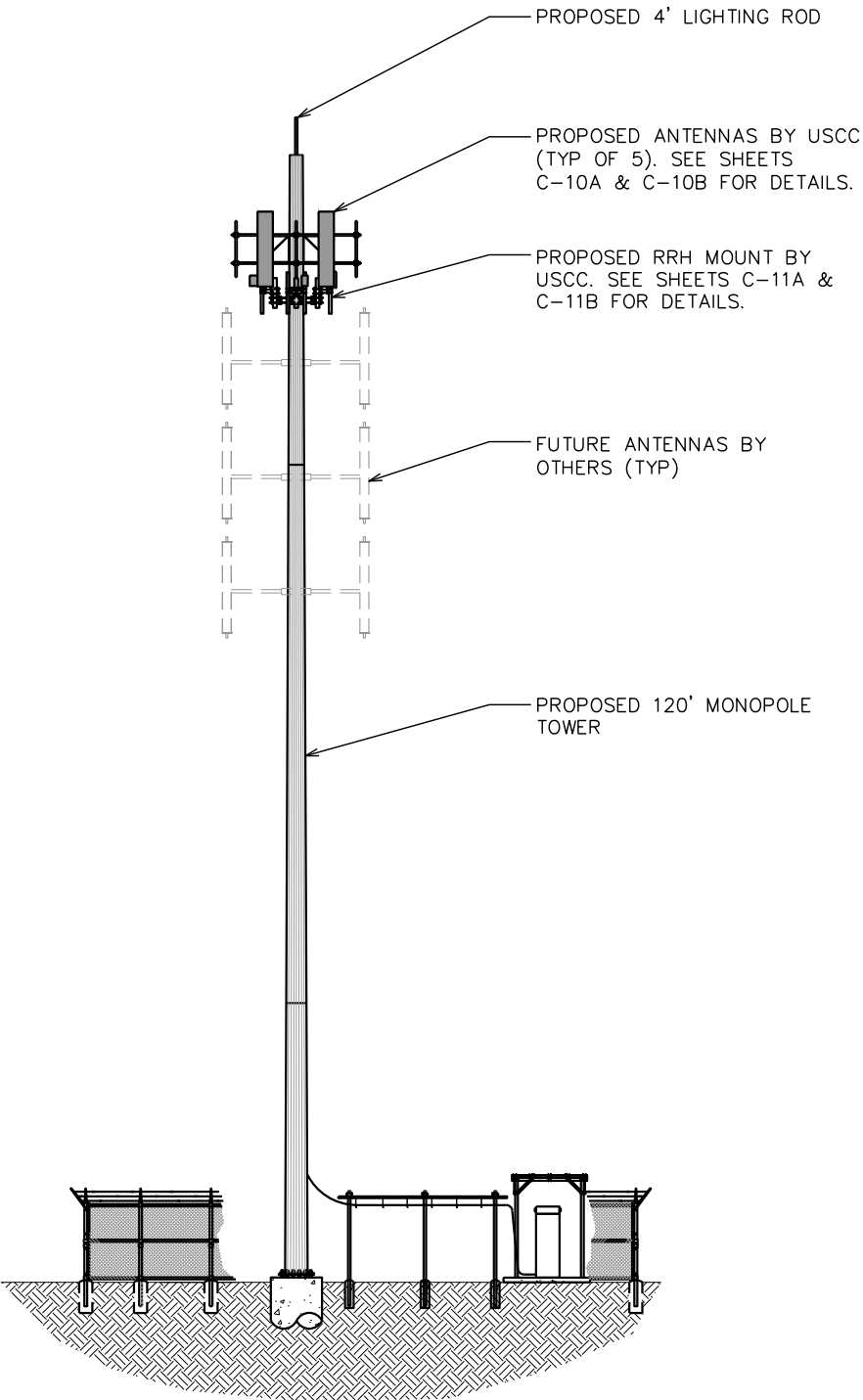
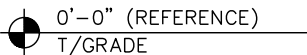
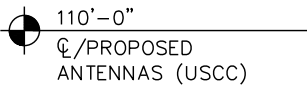
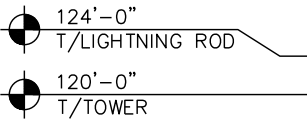
SCALE: 1/8" = 1'-0"



NOTES:

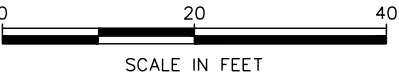
1. PROPOSED CABLE TO BE RUN PER SPECIFICATIONS OF PASSING STRUCTURAL ANALYSIS.
2. TOWER SHALL BE CONSTRUCTED OF GALVANIZED STEEL OR PAINTED PER APPLICABLE STANDARDS OF THE FAA OR OTHER APPLICABLE FEDERAL OR STATE AGENCY
3. TOWER ELEVATION SHOWN FOR REFERENCE ONLY. VERIFY ACTUAL TOWER DESIGN & LOADING WITH TOWER DRAWINGS FROM MANUFACTURER AND/OR PASSING STRUCTURAL ANALYSIS PRIOR TO CONSTRUCTION.

EUPEN HYBRID CABLE LENGTH			
PROPOSED RAYCAP QUANTITY AT GROUND LEVEL:			2
ICE BRIDGE LENGTH:			19-FT
RAYCAP CENTERLINE + 20-FT BUFFER:			130-FT
TOTAL ESTIMATED LENGTH OF HYBRID CABLE:			149-FT
TOTAL EST. LENGTH OF HYBRID CABLE (ROUNDED UP):			150-FT
JUMPER INFO			
FIBER/POWER JUMPER LENGTH FROM RAYCAP TO RRU			
	BAND 2/4	BAND 5	BAND 71/12
ALPHA SECTOR:	10-M (32.8 FT)	10-M (32.8 FT)	10-M (32.8 FT)
BETA SECTOR:	10-M (32.8 FT)	10-M (32.8 FT)	10-M (32.8 FT)
GAMMA SECTOR:	10-M (32.8 FT)	10-M (32.8 FT)	10-M (32.8 FT)
½" JUMPER FROM RRU TO ANTENNA			
	BAND 2/4	BAND 5	BAND 71/12
ALPHA SECTOR:	25-FT	25-FT	25-FT
BETA SECTOR:	25-FT	25-FT	25-FT
GAMMA SECTOR:	25-FT	25-FT	25-FT
RET JUMPER INFO			
RRU TO ANTENNA			
	BAND 5	BAND 71/12	
ALPHA SECTOR:	10-M (32.8 FT)	10-M (32.8 FT)	
BETA SECTOR:	10-M (32.8 FT)	10-M (32.8 FT)	
GAMMA SECTOR:	10-M (32.8 FT)	10-M (32.8 FT)	



TOWER ELEVATION

SCALE: 1" = 20'



PLANS PREPARED FOR:



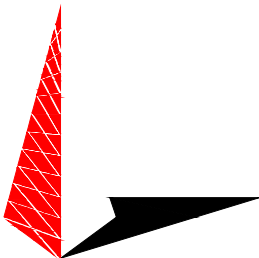
800 CORNERSTONE DRIVE
KNOXVILLE, TN 37932
(865) 777-8054

PROJECT INFORMATION:

LINCOLN PARK
SITE #: 589403

MCNALLY ROAD
(E911 ADDRESS T.B.D.)
PITTSBURG, KS 66762
(CRAWFORD COUNTY)

PLANS PREPARED BY:



TOWER ENGINEERING PROFESSIONALS

326 TRYON ROAD
RALEIGH, NC 27603-3530
OFFICE: (919) 661-6351
www.tepgroup.net

SEAL:



October 15, 2021

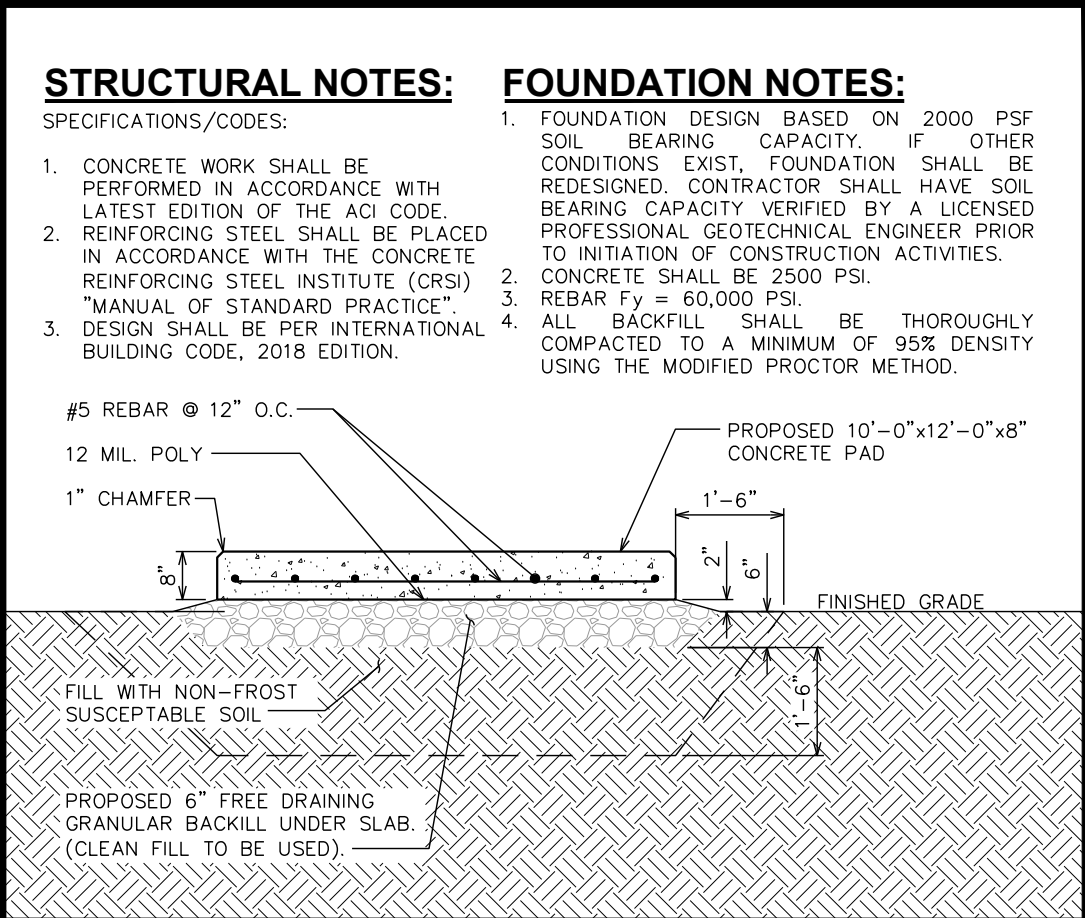
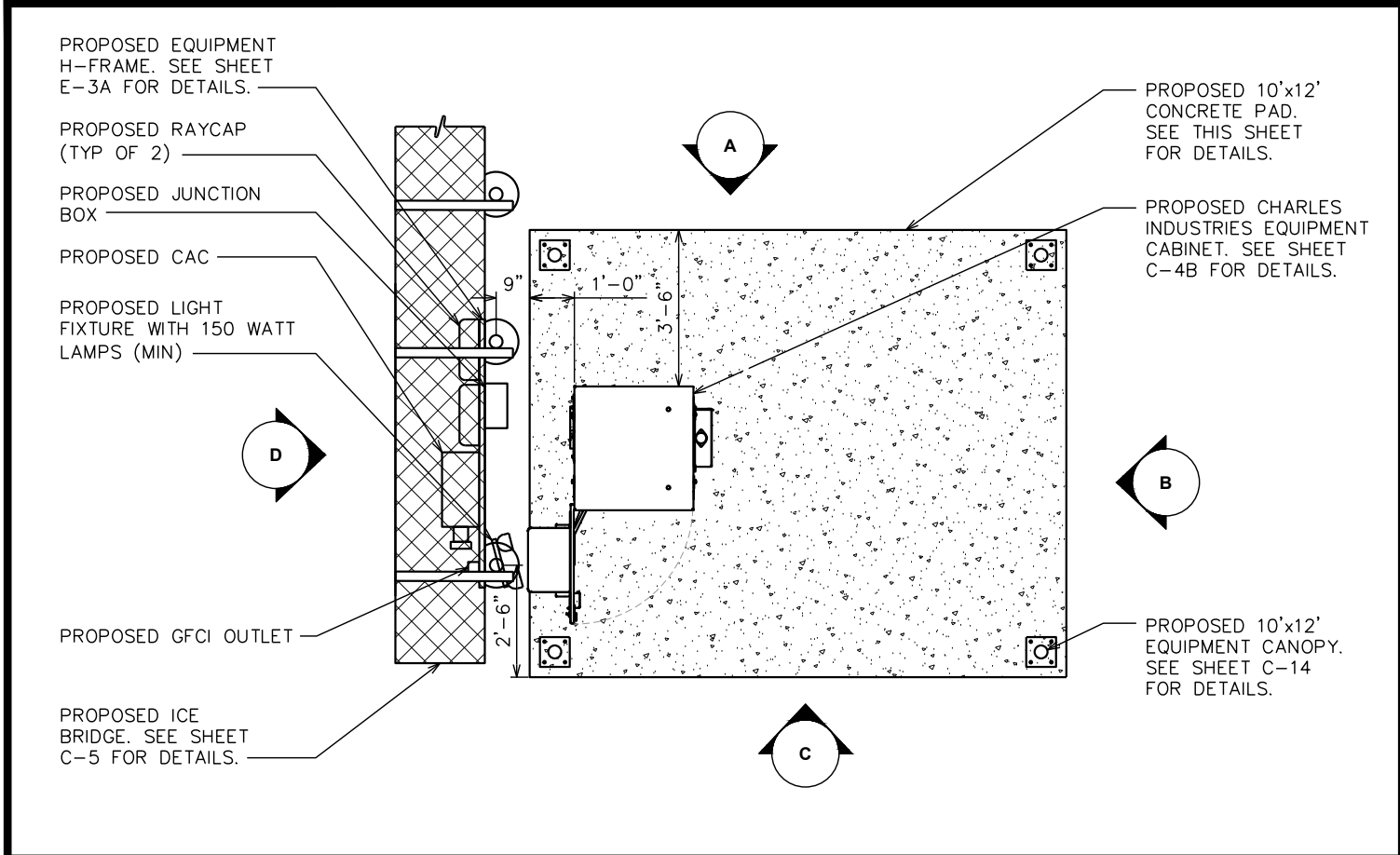
2	10-15-21	CONSTRUCTION
1	08-10-21	PRELIMINARY
0	05-17-21	PRELIMINARY
REV	DATE	ISSUED FOR:

DRAWN BY: GLB CHECKED BY: JKW

SHEET TITLE:

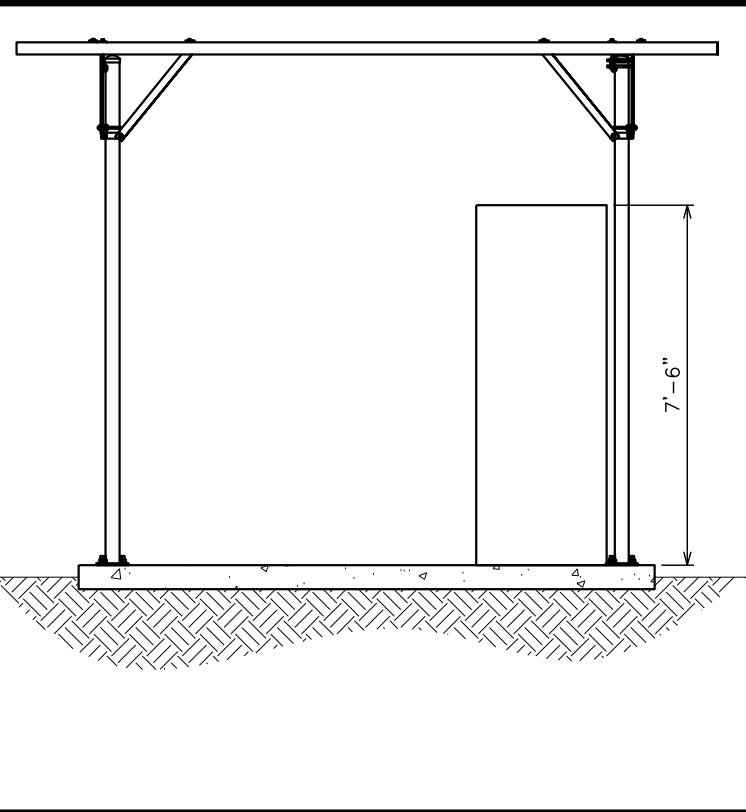
TOWER ELEVATION

SHEET NUMBER:	REVISION:
C-3	2
	TEP #: 257244



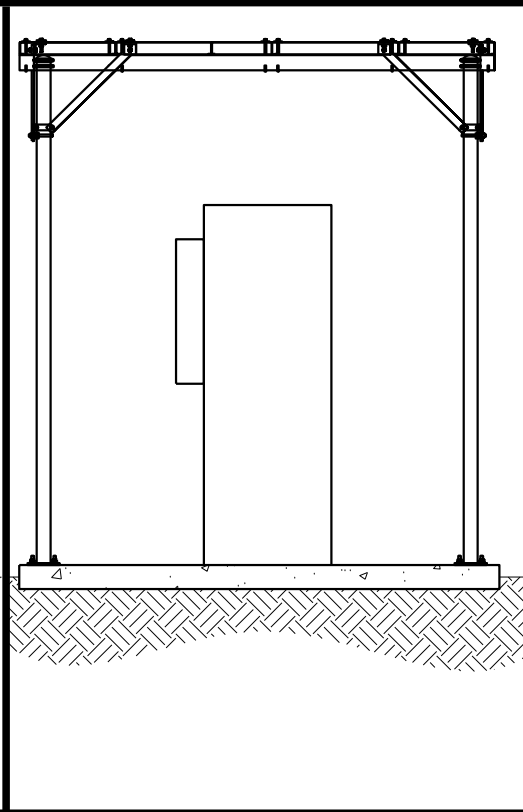
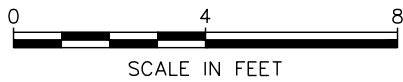
EQUIPMENT LAYOUT

SCALE: 1/4" = 1'-0"



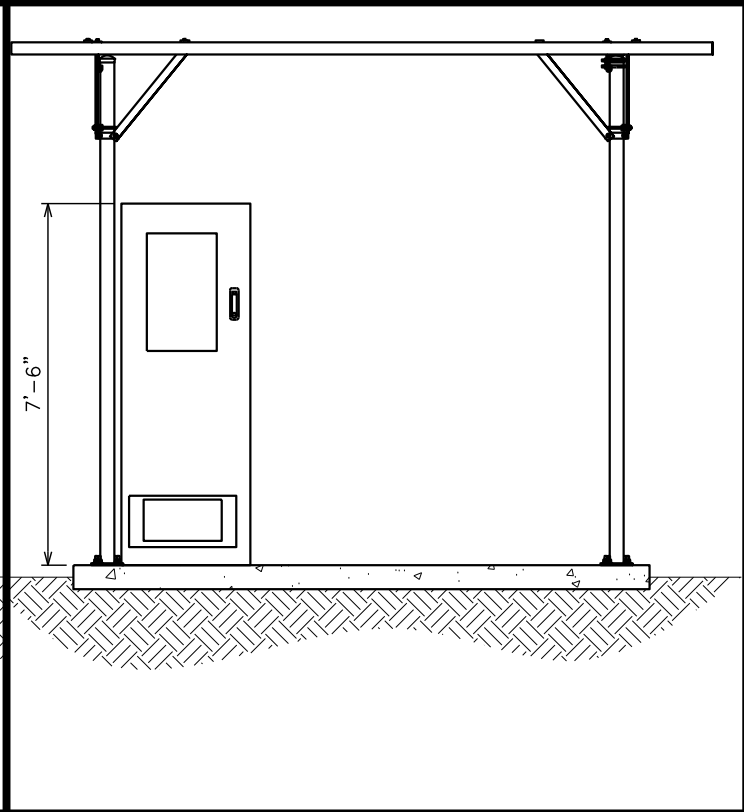
ELEVATION A

SCALE: 1/4" = 1'-0"



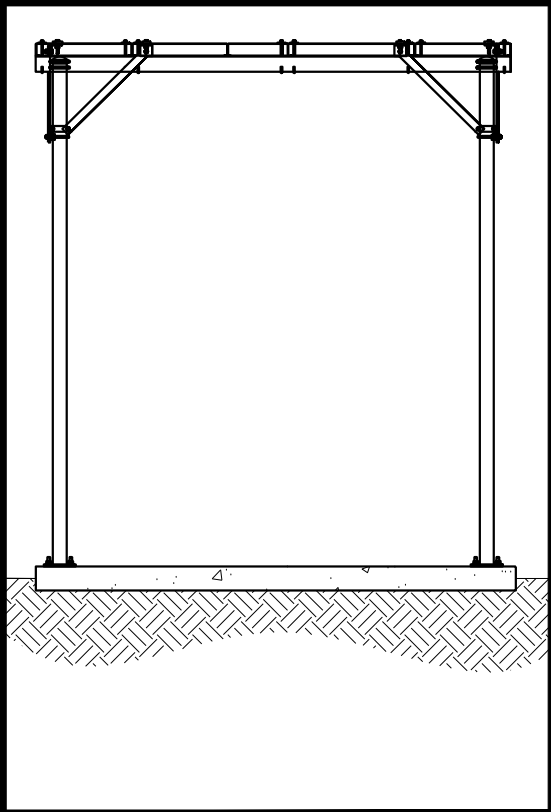
ELEVATION B

SCALE: 1/4" = 1'-0"



ELEVATION C

SCALE: 1/4" = 1'-0"



ELEVATION D

SCALE: 1/4" = 1'-0"

STRUCTURAL NOTES:

SPECIFICATIONS/CODES:

1. CONCRETE WORK SHALL BE PERFORMED IN ACCORDANCE WITH LATEST EDITION OF THE ACI CODE.
2. REINFORCING STEEL SHALL BE PLACED IN ACCORDANCE WITH THE CONCRETE REINFORCING STEEL INSTITUTE (CRSI) "MANUAL OF STANDARD PRACTICE".
3. DESIGN SHALL BE PER INTERNATIONAL BUILDING CODE, 2018 EDITION.

FOUNDATION NOTES:

1. FOUNDATION DESIGN BASED ON 2000 PSF SOIL BEARING CAPACITY. IF OTHER CONDITIONS EXIST, FOUNDATION SHALL BE REDESIGNED. CONTRACTOR SHALL HAVE SOIL BEARING CAPACITY VERIFIED BY A LICENSED PROFESSIONAL GEOTECHNICAL ENGINEER PRIOR TO INITIATION OF CONSTRUCTION ACTIVITIES.
2. CONCRETE SHALL BE 2500 PSI.
3. REBAR Fy = 60,000 PSI.
4. ALL BACKFILL SHALL BE THOROUGHLY COMPACTED TO A MINIMUM OF 95% DENSITY USING THE MODIFIED PROCTOR METHOD.

PLANS PREPARED FOR:



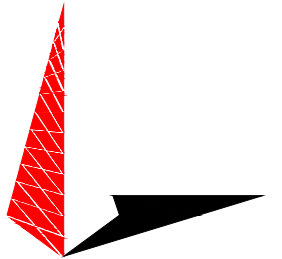
800 CORNERSTONE DRIVE
KNOXVILLE, TN 37932
(865) 777-8054

PROJECT INFORMATION:

**LINCOLN PARK
SITE #: 589403**

MCNALLY ROAD
(E911 ADDRESS T.B.D.)
PITTSBURG, KS 66762
(CRAWFORD COUNTY)

PLANS PREPARED BY:



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REV	DATE	ISSUED FOR:

DRAWN BY: GLB CHECKED BY: JKW

SHEET TITLE:

CABINET DETAILS

SHEET NUMBER:	REVISION:
C-4A	2
	TEP #: 257244

LT-SS4B231UN4

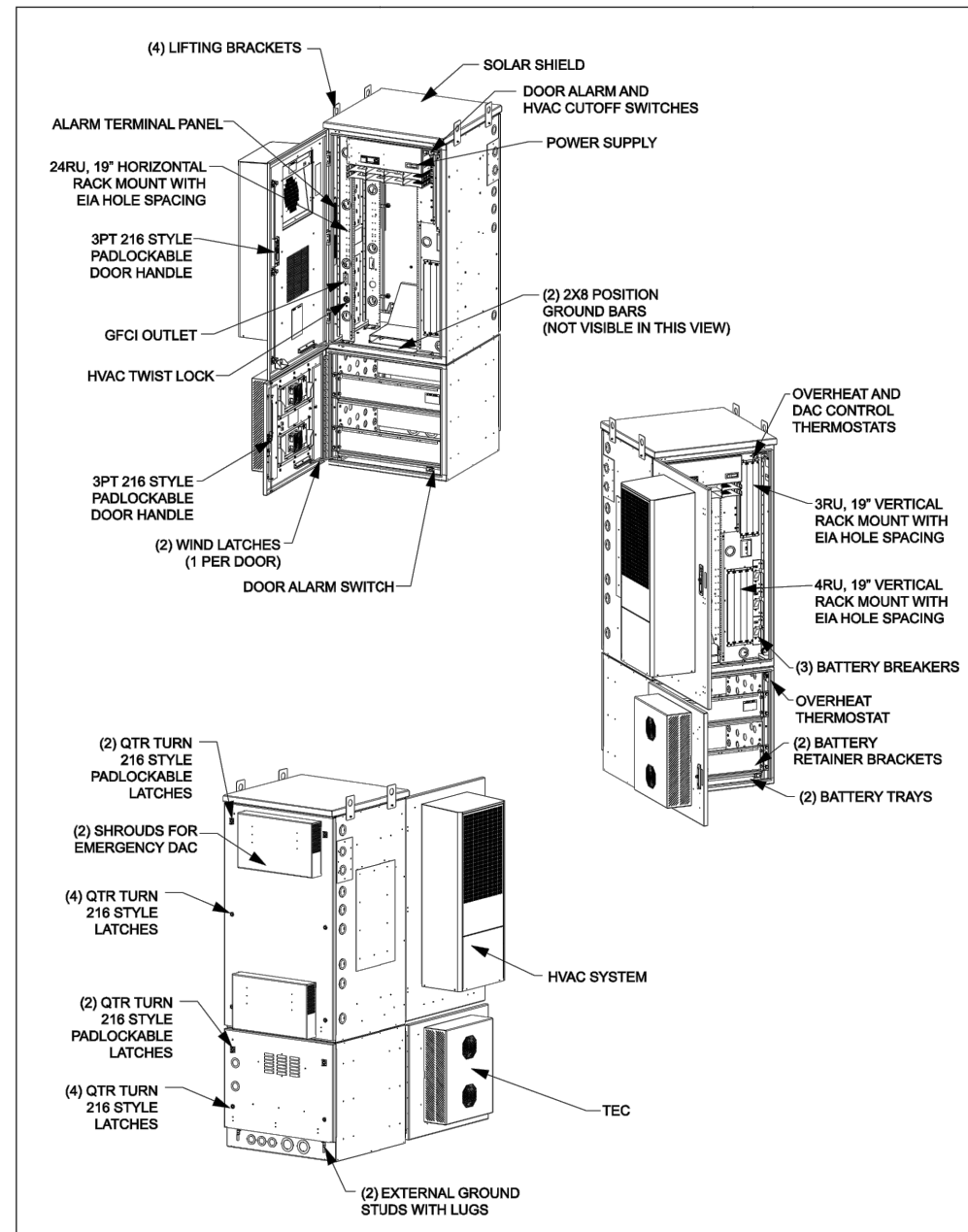


Figure 3 CUBE Components

2nd Printing

Page 2 of 5

PLANS PREPARED FOR:



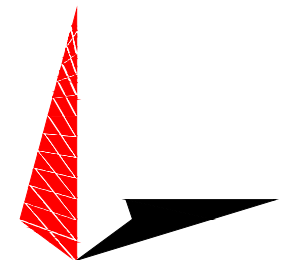
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SITE #: 589403**

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SHEET TITLE:

CABINET DETAILS

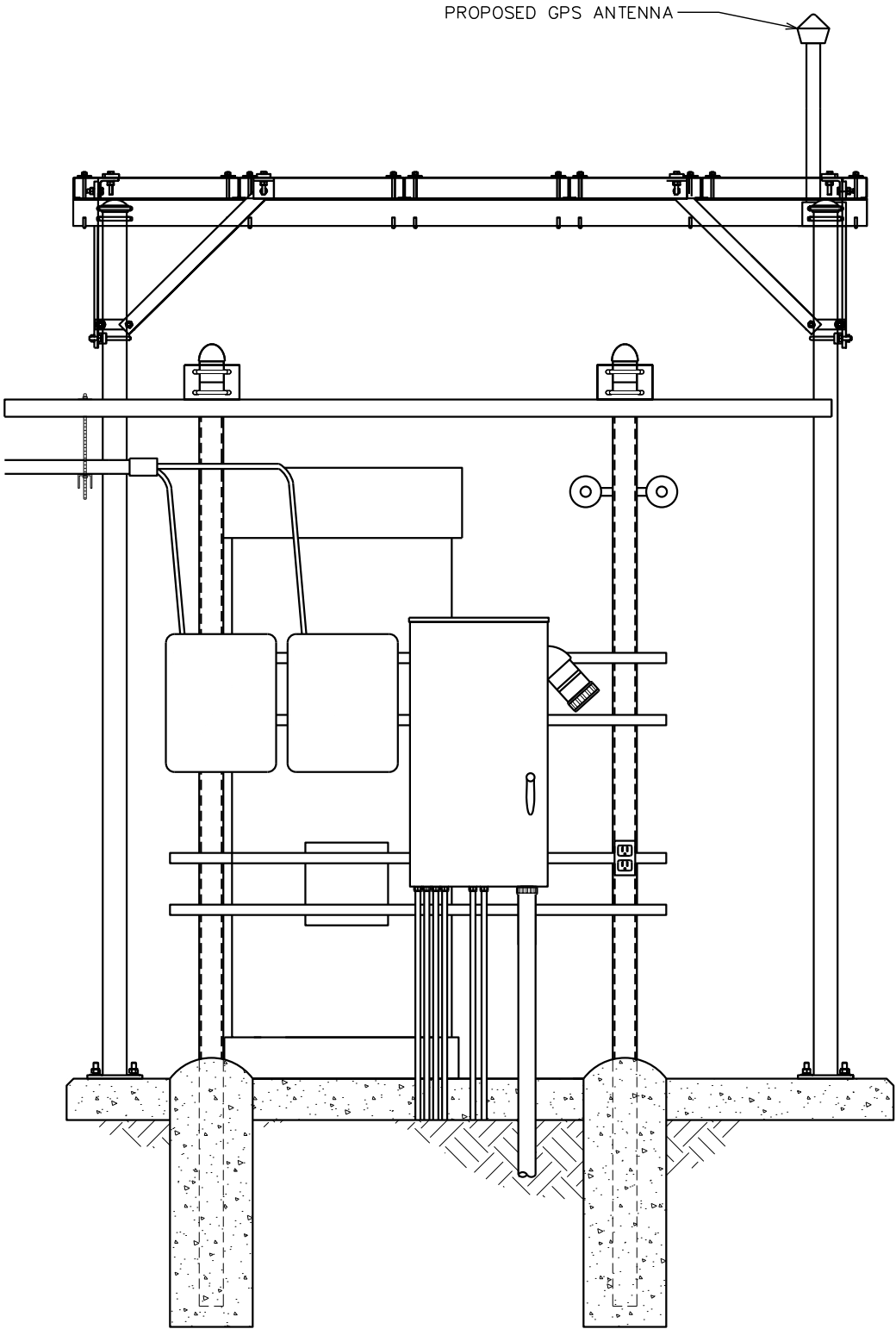
SHEET NUMBER:	REVISION:
C-4B	2
TEP #:	257244

CHARLES CABINET DETAIL (CUBE-SS4B231UN4)

SCALE: N.T.S.

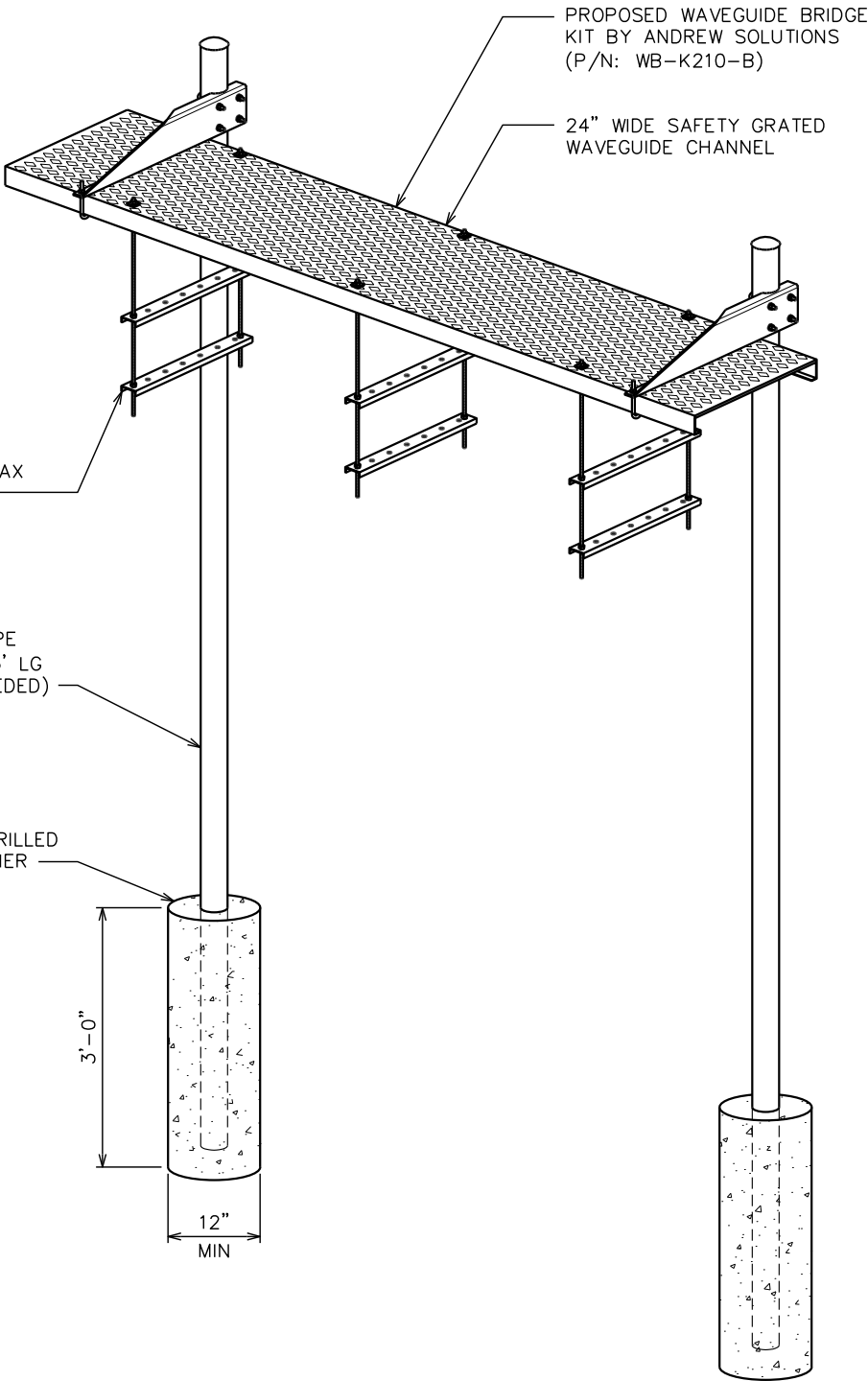
NOTE:

GPS ANTENNA SHALL BE MOUNTED TO THE ICE BRIDGE POST WITH A UNIVERSAL GPS MOUNTING KIT (VALMONT P/N: B1841) OR AN APPROVED EQUIVALENT.



GPS MOUNTING DETAIL

SCALE: N.T.S.



ICE BRIDGE DETAIL

SCALE: N.T.S.

PLANS PREPARED FOR:



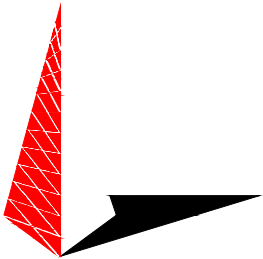
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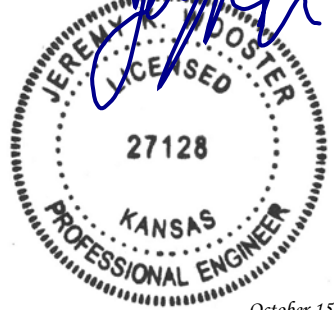
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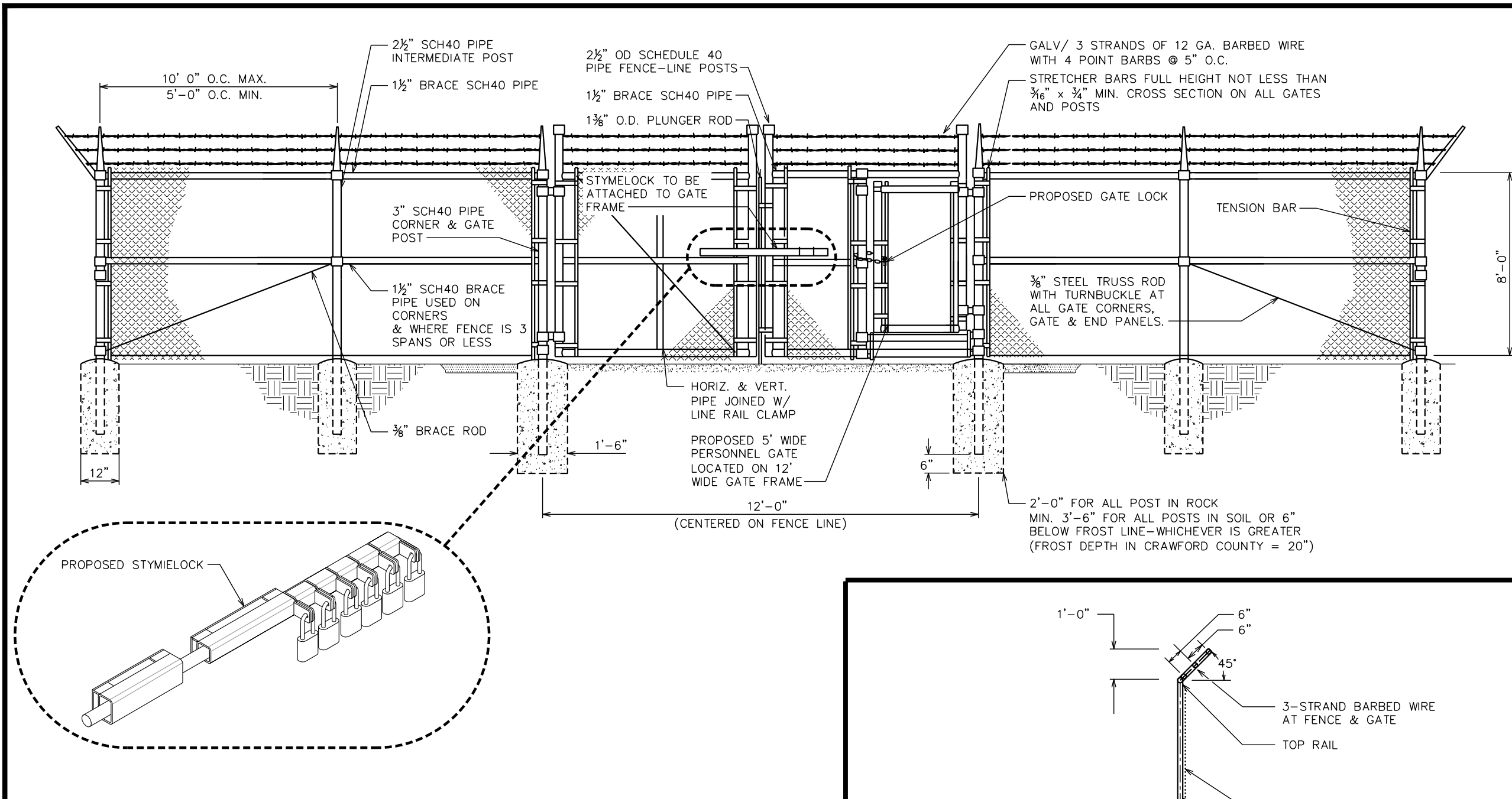
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REV	DATE	ISSUED FOR:

DRAWN BY: GLB CHECKED BY: JKW

SHEET TITLE:

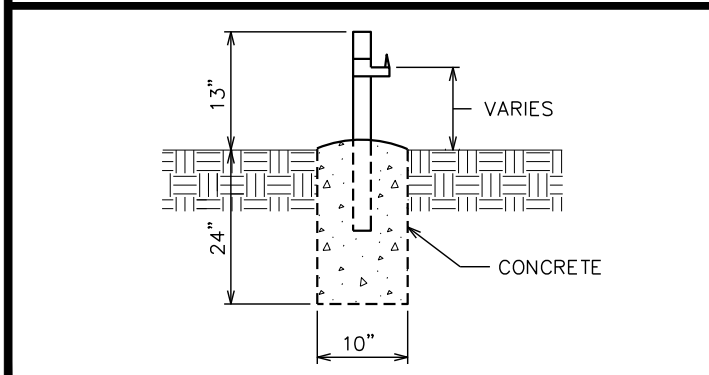
**ICE BRIDGE
DETAIL**

SHEET NUMBER:	REVISION:
C-5	2
TEP #:	257244



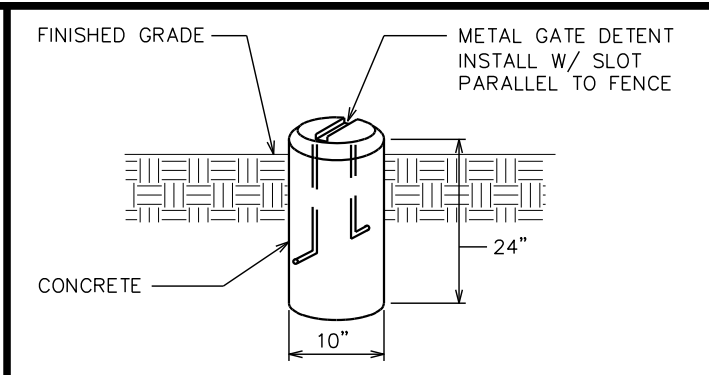
TYPICAL FENCE ELEVATION

SCALE: N.T.S.



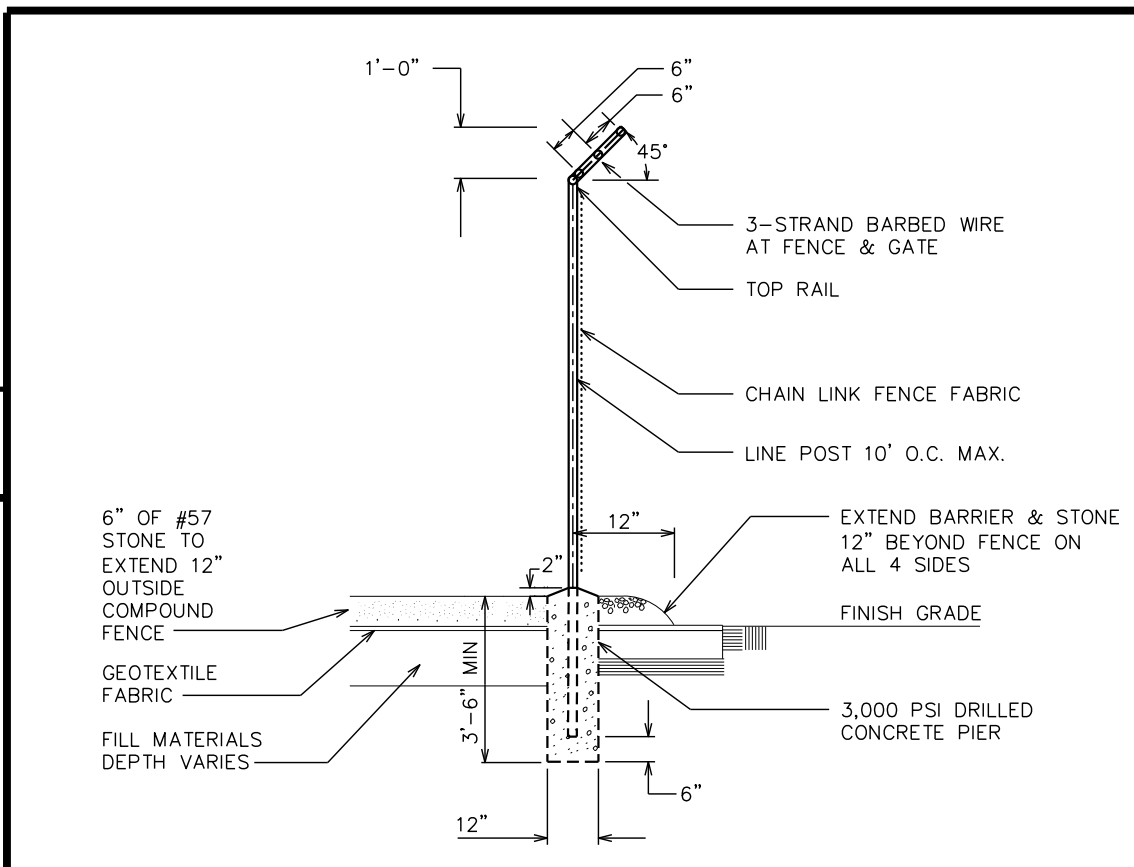
GATE STOP / KEEPER DETAIL

SCALE: N.T.S.



GATE DETENT DETAIL

SCALE: N.T.S.



FENCE / BARBED WIRE ARM DETAIL

SCALE: N.T.S.

PLANS PREPARED FOR:



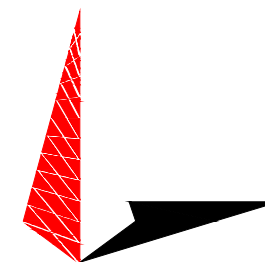
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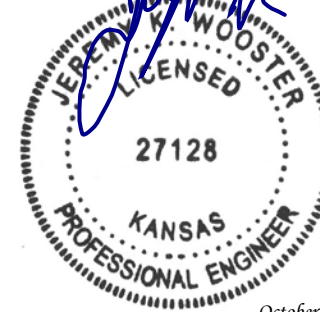
PLANS PREPARED BY:



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REV	DATE	ISSUED FOR:

DRAWN BY: GLB CHECKED BY: JKW

SHEET TITLE:

FENCE DETAIL

SHEET NUMBER:

C-6

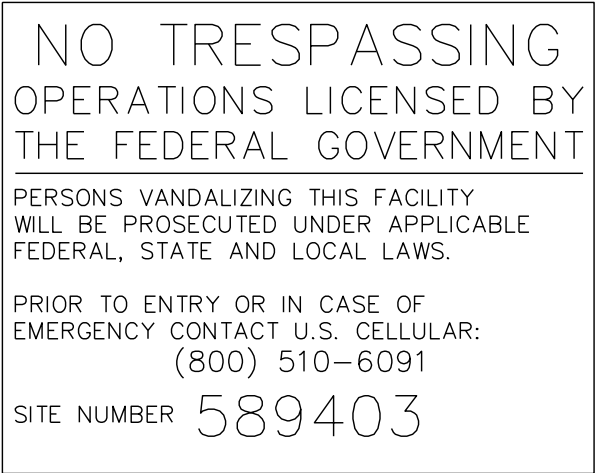
REVISION:

2

TEP #: 257244

NOTES:

1. SIGNS SHALL BE MADE OF ALUMINUM WITH ¼” HOLES ½” FROM EACH CORNER TO HANG SIGNS ON FENCE.
2. SIGNS SHALL BE INSTALLED AS FOLLOWS:
GATE: NO TRESPASSING, RF GUIDELINES, RF WARNING, NFPA SULFURIC ACID, AUTHORIZED PERSONNEL ONLY
INTERIOR OF FENCE GATE: EXIT SIGN
3. SIGNS SHALL BE INSTALLED WITH CENTER AT 5’ ABOVE FINISHED GRADE.



① NO TRESSPASSING SIGN
SIZE: 22”X 22” (0.063” ALUMINUM)
(TO BE MOUNTED ON GATE)



② RF GUIDELINES
SIZE: 6”X 4”
(TO BE MOUNTED ON GATE)



③ RF WARNING SIGN
SIZE: 10”X 14”
(TO BE MOUNTED ON GATE)



④ NFPA SULFURIC ACID SIGN
SIZE: 6.25”X 9”
(TO BE MOUNTED ON GATE)



⑤ REFLECTIVE EXIT SIGN
SIZE: 10”X 7”
(TO BE MOUNTED TO INTERIOR GATE FENCE)



⑥ AUTHORIZED PERSONNEL ONLY SIGN
SIZE: 14”X 10”
(TO BE MOUNTED ON GATE)

TYPICAL SIGNS AND SPECIFICATIONS

SCALE: N.T.S.

PLANS PREPARED FOR:



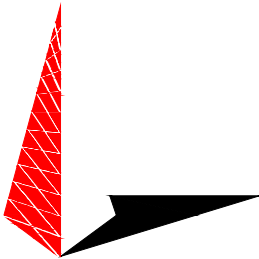
800 CORNERSTONE DRIVE
KNOXVILLE, TN 37932
(865) 777-8054

PROJECT INFORMATION:

LINCOLN PARK
SITE #: 589403

MCNALLY ROAD
(E911 ADDRESS T.B.D.)
PITTSBURG, KS 66762
(CRAWFORD COUNTY)

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REV	DATE	ISSUED FOR:

DRAWN BY: GLB CHECKED BY: JKW

SHEET TITLE:

SIGNAGE DETAILS

SHEET NUMBER:

C-7

REVISION:

2

TEP #: 257244

NOTES:

- 1. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE ACROSS COMPOUND.
- 2. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE ACROSS DRIVEWAY ENTRANCE.

LEGEND

SILT FENCE	
LODA	

PROPOSED SILT FENCE
OUTLET. SEE SHEET
C-8B FOR DETAILS.

PROPOSED SILT FENCE.
SEE SHEET C-8B FOR
DETAILS.

APPROXIMATE LIMITS
OF DISTURBED AREA
5,842± SQ. FT.
(0.13 AC)

EXISTING WOOD POST
(TYP)

SEE NOTE 2.

MCNALLY DRIVE
(PUBLIC R/W)



PLANS PREPARED FOR:



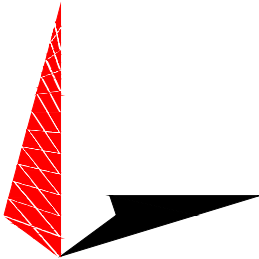
800 CORNERSTONE DRIVE
KNOXVILLE, TN 37932
(865) 777-8054

PROJECT INFORMATION:

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DRAWN BY: GLB CHECKED BY: JKW

SHEET TITLE:

**SOIL AND EROSION
CONTROL PLAN**

SHEET NUMBER:	REVISION:
C-8A	2
	TEP #: 257244

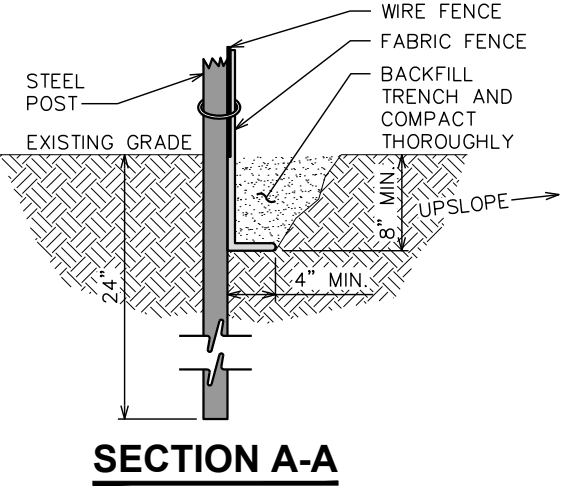
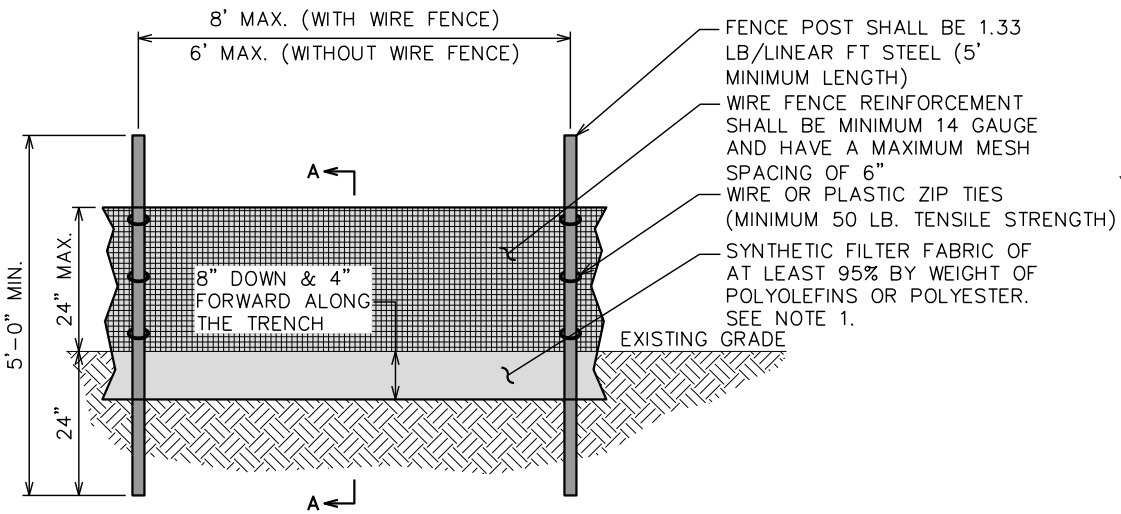
SOIL & EROSION CONTROL PLAN

SCALE: 1/16" = 1'-0"



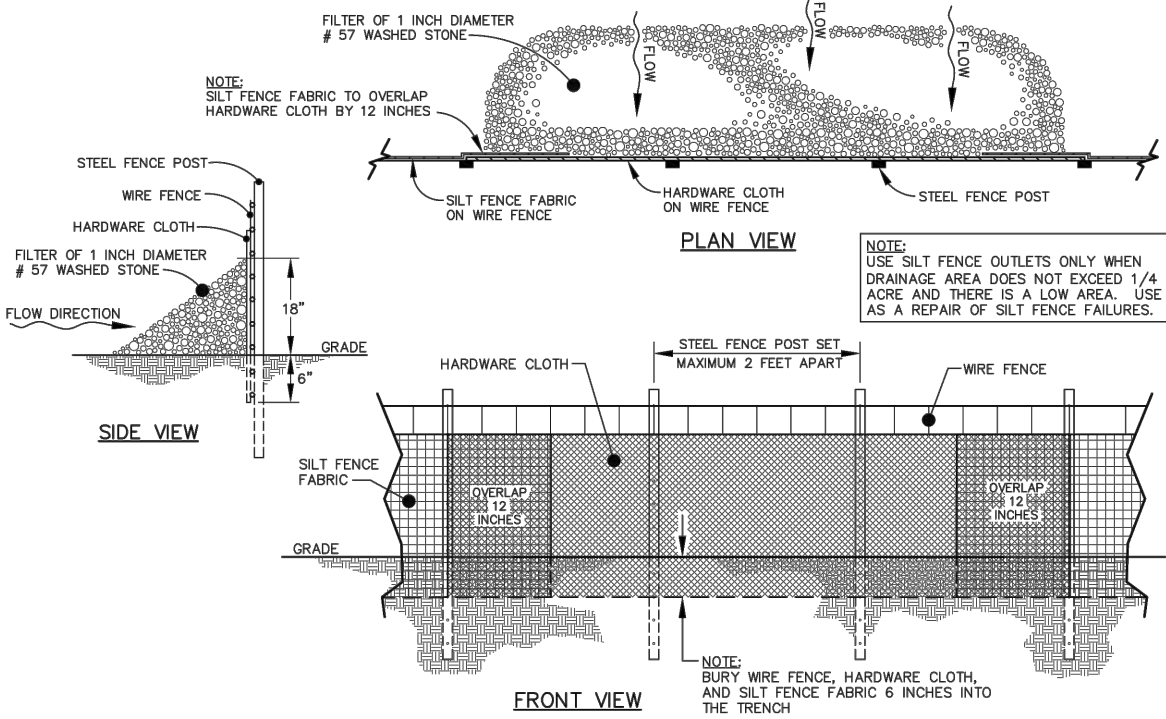
NOTES:

- 1. FILTER FABRIC SHALL CONFORM TO THE REQUIREMENTS LISTED IN ASTM D 6461.
- 2. ENDS OF INDIVIDUAL FILTER FABRIC SHALL BE SECURELY FASTENED AT A SUPPORT POST WITH 4 FEET MINIMUM OVERLAP TO THE NEXT POST.
- 3. PLACE 12 INCHES OF FABRIC ALONG THE BOTTOM AND SIDE OF THE TRENCH.
- 4. INSPECT SEDIMENT FENCE(S) AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL.
- 5. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE.
- 6. AFTER CONSTRUCTION IS COMPLETE, THE CONTRACTOR SHALL REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS, BRING THE AREA TO GRADE AND PROPERLY STABILIZE THE SITE.



SILT FENCE DETAIL

SCALE: N.T.S.



STANDARD SILT FENCE OUTLET DETAIL

SCALE: N.T.S.

PLANS PREPARED FOR:



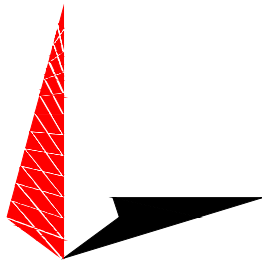
800 CORNERSTONE DRIVE
KNOXVILLE, TN 37932
(865) 777-8054

PROJECT INFORMATION:

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SITE #: 589403**

MCNALLY ROAD
(E911 ADDRESS T.B.D.)
PITTSBURG, KS 66762
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PLANS PREPARED BY:



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SEAL:



October 15, 2021

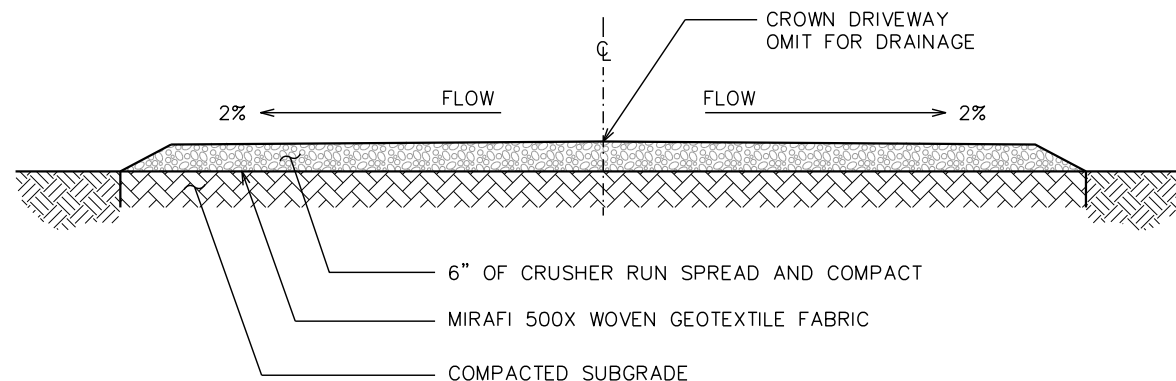
2	10-15-21	CONSTRUCTION
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REV	DATE	ISSUED FOR:

DRAWN BY: GLB CHECKED BY: JKW

SHEET TITLE:

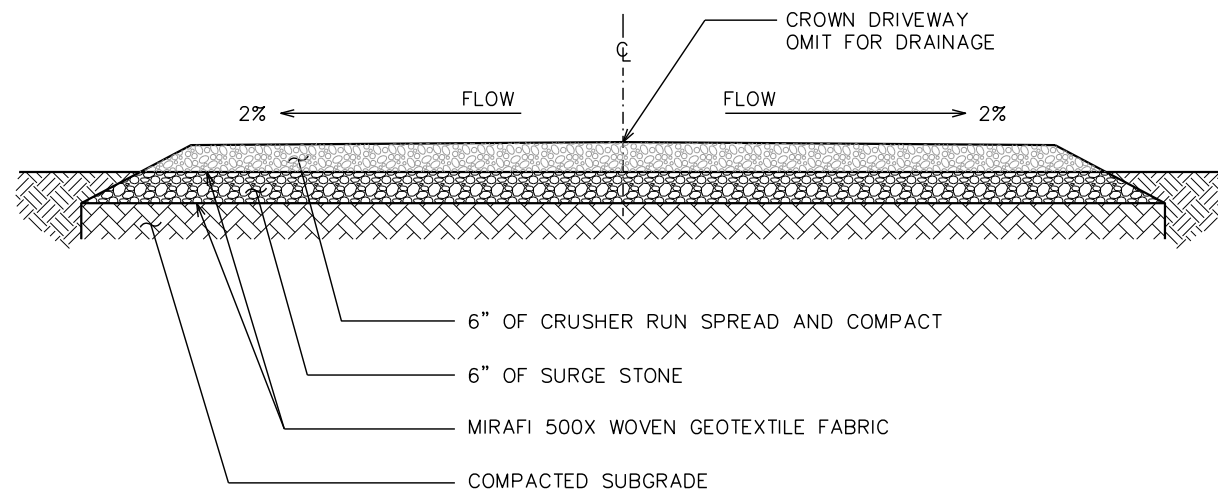
**SILT FENCE
DETAILS**

SHEET NUMBER:	REVISION:
C-8B	2
TEP#:	257244



STANDARD ROAD SECTION (GOOD SUBGRADE)

SCALE: N.T.S.



ALTERNATIVE ROAD SECTION (POOR SUBGRADE)

SCALE: N.T.S.

PLANS PREPARED FOR:



800 CORNERSTONE DRIVE
KNOXVILLE, TN 37932
(865) 777-8054

PROJECT INFORMATION:

LINCOLN PARK
SITE #: 589403


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(E911 ADDRESS T.B.D.)
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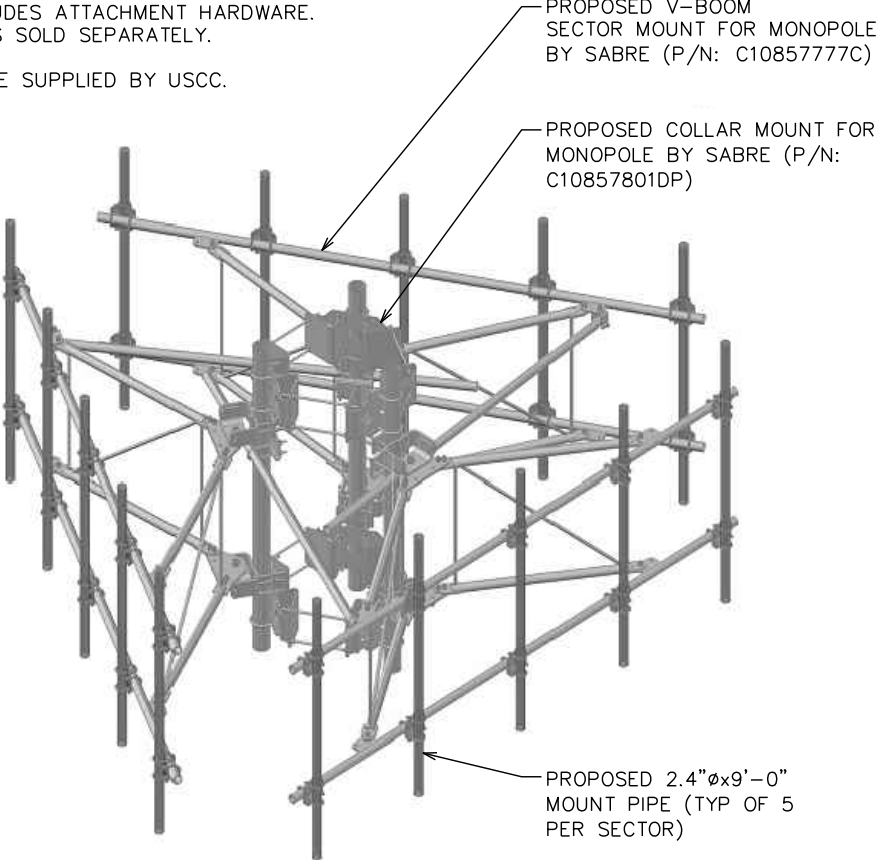
SHEET TITLE:

**ACCESS ROAD
DETAILS**

SHEET NUMBER:	REVISION:
C-9	2
	TEP #: 257244

NOTES:

- 1. MOUNT INCLUDES ATTACHMENT HARDWARE. MOUNT PIPES SOLD SEPARATELY.
- 2. MOUNT TO BE SUPPLIED BY USCC.



ANTENNA MOUNT DETAILS

SCALE: N.T.S.

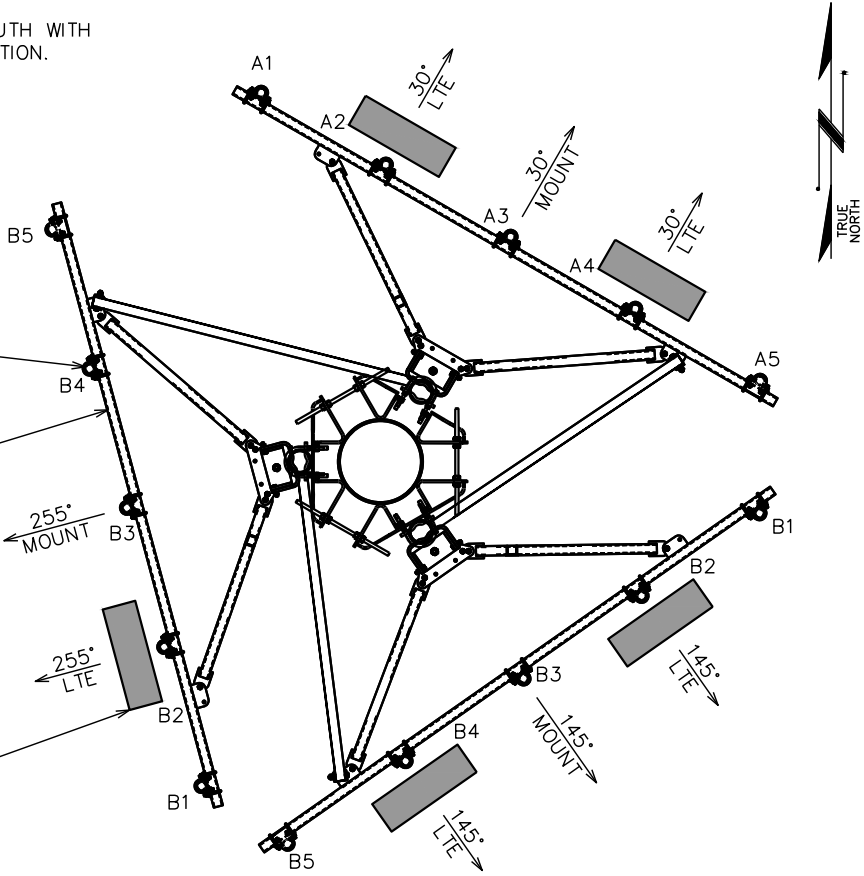
NOTES:

- 1. CONTRACTOR TO CONFIRM ANTENNA AZIMUTH WITH USCC LOADING SHEET PRIOR TO INSTALLATION.
- 2. SEE SHEET C-12 FOR PLUMBING DIAGRAM
- 3. SEE SHEET C-11A FOR RRH DIAGRAM

PROPOSED USCC 2.4"Øx8'-0" MOUNT PIPE (TYP OF 15)

PROPOSED USCC SECTOR MOUNT (TYP OF 3)

PROPOSED USCC LTE ANTENNA (TYP OF 3)



MOUNT ORIENTATION

SCALE: 1/4" = 1'-0"



ANTENNA/CABLE SCHEDULE

ANTENNA	SECTOR	TECH	MANUFACTURER (MODEL #)	AZIMUTH (TRUE NORTH)	MOUNTING HEIGHT	ELECT. D-TILT	MECH. D-TILT	EQUIPMENT	SURGE PROTECTION	COAX/CABLE	CABLE LENGTH*	COAX JUMPER*
A2	ALPHA	LTE	DENGYO OCT8-2LX2HX-BW65	30°	℄ @ 110'-0"	-	-	(3) NOKIA AHLOA RRH (2) NOKIA AHCA RRH (3) NOKIA AHFIB RRH	(2) RUSDC-6267-PF-48 RAYCAP	(2) 1 1/4" Ø HYBRID CABLE	150'±	25'±
A4	ALPHA	LTE	DENGYO OCT8-2LX2HX-BW65	30°	℄ @ 110'-0"	-	-					25'±
B2	BETA	LTE	DENGYO OCT8-2LX2HX-BW65	145°	℄ @ 110'-0"	-	-					25'±
B4	BETA	LTE	DENGYO OCT8-2LX2HX-BW65	145°	℄ @ 110'-0"	-	-					25'±
C2	GAMMA	LTE	DENGYO OCT8-2LX2HX-BW65	255°	℄ @ 110'-0"	-	-					25'±

NOTES:

- 1. *CONTRACTOR SHALL FIELD VERIFY HYBRID CABLE AND COAX JUMPER LENGTHS PRIOR TO ORDERING MATERIALS.
- 2. (2) ANTENNA PER SECTOR FOR SECTORS ALPHA AND BETA AND (1) ANTENNA FOR SECTOR GAMMA FOR A TOTAL OF (5) ANTENNAS.
- 3. CONTRACTOR TO VERIFY AZIMUTHS PRIOR TO CONSTRUCTION.
- 4. CONTRACTOR TO REQUEST RF SHEET FROM CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION.

RF CONFIGURATION

SCALE: N.T.S.

PLANS PREPARED FOR:



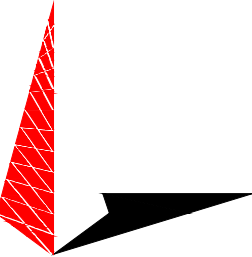
800 CORNERSTONE DRIVE
KNOXVILLE, TN 37932
(865) 777-8054

PROJECT INFORMATION:

**LINCOLN PARK
SITE #: 589403**

MCNALLY ROAD
(E911 ADDRESS T.B.D.)
PITTSBURG, KS 66762
(CRAWFORD COUNTY)

PLANS PREPARED BY:



TOWER ENGINEERING PROFESSIONALS

326 TRYON ROAD
RALEIGH, NC 27603-3530
OFFICE: (919) 661-6351
www.tepgroup.net

SEAL:



2	10-15-21	CONSTRUCTION
1	08-10-21	PRELIMINARY
0	05-17-21	PRELIMINARY
REV	DATE	ISSUED FOR:

DRAWN BY: GLB CHECKED BY: JKW

SHEET TITLE:
**ANTENNA MOUNTING
DETAILS**

SHEET NUMBER: C-10A	REVISION: 2 TEP #: 257244
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Base Station Antennas

Frequency Range	617-894x2 1695-2400x2
Polarization	±45°
Half-Power Beam Width	65°
Electrical Downtilt	2° - 12°x4

Type OCT8-2LX2HX-BW65

Base Station Antenna

8-ports 617-894 / 617-894 / 1695-2400 / 1695-2400 MHz 65°, 16 / 18 / 18 / 18 dBi, 2°-12° / 2°-12° / 2°-12° / 2°-12° Tilt Antenna With 4 Integrated RCUs.

Electrical Specifications

Frequency Range(MHz)		2x617-894			2x1695-2400		
		617-698	698-824	824-894	1695-1920	1920-2180	2300-2400
Polarization		±45°					
Horizontal 3dB Beamwidth(°)		70	63	60	66	63	58
Vertical 3dB Beamwidth(°)		10.4	9.1	8.0	5.5	5	4.3
Gain (dBi)		15.0	15.5	16.0	17.6	18.0	18.1
Electrical Downtilt		2°-12°			2°-12°		
Upper Sidelobe Suppression(dB)		First	≥16	≥16	≥16	≥16	≥16
Front-to-Back Ratio		≥23	≥24	≥25	≥25	≥25	≥25
Total Power, ± 30° (dB)							
Cross polar ratio	Main direction(dB)	≥17	≥17	≥17	≥17	≥17	≥17
	± 60° (dB)	≥7	≥7	≥7	≥7	≥7	≥7
Isolation ports		≥25 dB					
Isolation Frequency		≥30 dB					
VSWR		< 1.5					
Intermodulation IM3		< -150 dBc(2x43dBm carrier)					
Impedance		50 Ω					
Max. Power per Input (at 50°C ambient temperature)		500 W			300 W		
Lightning Protection		DC Ground					



Mechanical Specifications

Radome Material	Fiberglass
Connector Type and Location	4,3-10x8 ,Bottom IRCUI in:1 x 8 pin male IRCUI out:1 x 8 pin female
Dimensions,HxWxD(mm)/(inches)	2438 x 499 x 180 / 95.9 x 19.6 x 7.1
Packing Size(mm)/(inches)	2750 x 620 x 325 / 108.3 x 24.4 x 12.8
Weight ,w/o Mounting kit(kg)/(lbs)	47 / 103.4
Weight ,with Mounting kit(kg)/(lbs)	53 / 116.6
Packing Weight(kg)/(lbs)	63 / 138.6
Max. Wind Velocity(mph)	150
Mounting hardware	φ 50 mm ~ φ 115 mm
Operational Temperature(°C)	-40 to +65
Operational Humidity(%)	<95
Wind Load at 100mph (Frontal/lateral/Rearside(N))	1416/280/1027

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OCT8-2LX2HX-BW65 Rev.3

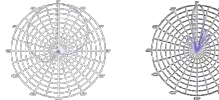


Base Station Antennas

Frequency Range	617-894x2 1695-2400x2
Polarization	±45°
Half-Power Beam Width	65°
Electrical Downtilt	2° - 12°x4

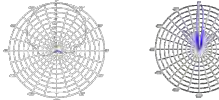
Type OCT8-2LX2HX-BW65

Radiation Pattern (617 - 880 MHz)



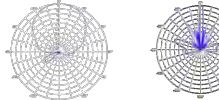
Horizontal Pattern Vertical Pattern

Radiation Pattern (1695 - 1920 MHz)



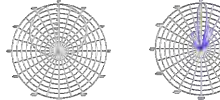
Horizontal Pattern Vertical Pattern

Radiation Pattern (2180 - 2400 MHz)



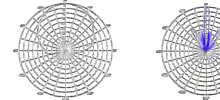
Horizontal Pattern Vertical Pattern

Radiation Patterns (880 - 960 MHz)



Horizontal Pattern Vertical Pattern

Radiation Patterns (1920 - 2180 MHz)



Horizontal Pattern Vertical Pattern

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OCT8-2LX2HX-BW65 Rev.3



Base Station Antennas

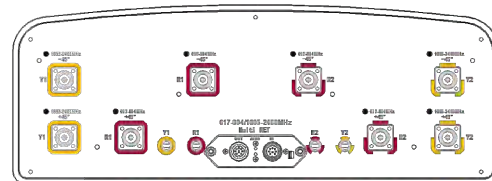
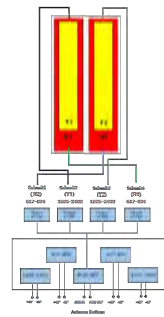
Frequency Range	617-894x2 1695-2400x2
Polarization	±45°
Half-Power Beam Width	65°
Electrical Downtilt	2° - 12°x4

Type OCT8-2LX2HX-BW65

Integrated RET Properties

Protocols	Compliant to AISG 2.0/3GPP
Input voltage range	+10~+30VDC(pin 6)
Power consumption	<2W(stand by);<13W(motor activated)
Connectors	2 x 8 pin connector acc. To IEC 60130-9
	Acc.to AISG Delay chain in:female
Hardware Interface	Delay chain out:female
	Two motor shaft(Embedded motor)
Hardware Interface	RS485A/B(pin5/pin3):Power supply(pin6);
	DC return(pin7)Acc.to AISG
Adjustment time(full range)	40 sec(typically,depending on antenna)
Adjustment Cycles	≥10000
Torque Max	≥160mN.m
Lightning Protection Rating	IEC 61000-4-5 Current Pulse Profile, 8/20 μs 10 Repetitions Min.@ 6kA IEC 61312-1 Annex B Current Pulse Profile, 10/350 μs,200 Repetitions Min. @ 0.6kA

COMPREHENSIVE TILT CONFIGURATION



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OCT8-2LX2HX-BW65 Rev.3

PLANS PREPARED FOR:



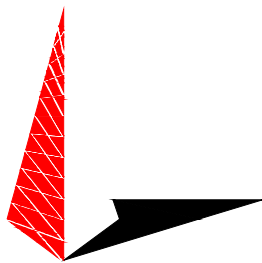
800 CORNERSTONE DRIVE
KNOXVILLE, TN 37932
(865) 777-8054

PROJECT INFORMATION:

**LINCOLN PARK
SITE #: 589403**

MCNALLY ROAD
(E911 ADDRESS T.B.D.)
PITTSBURG, KS 66762
(CRAWFORD COUNTY)

PLANS PREPARED BY:



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SEAL:



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DRAWN BY: GLB CHECKED BY: JKW

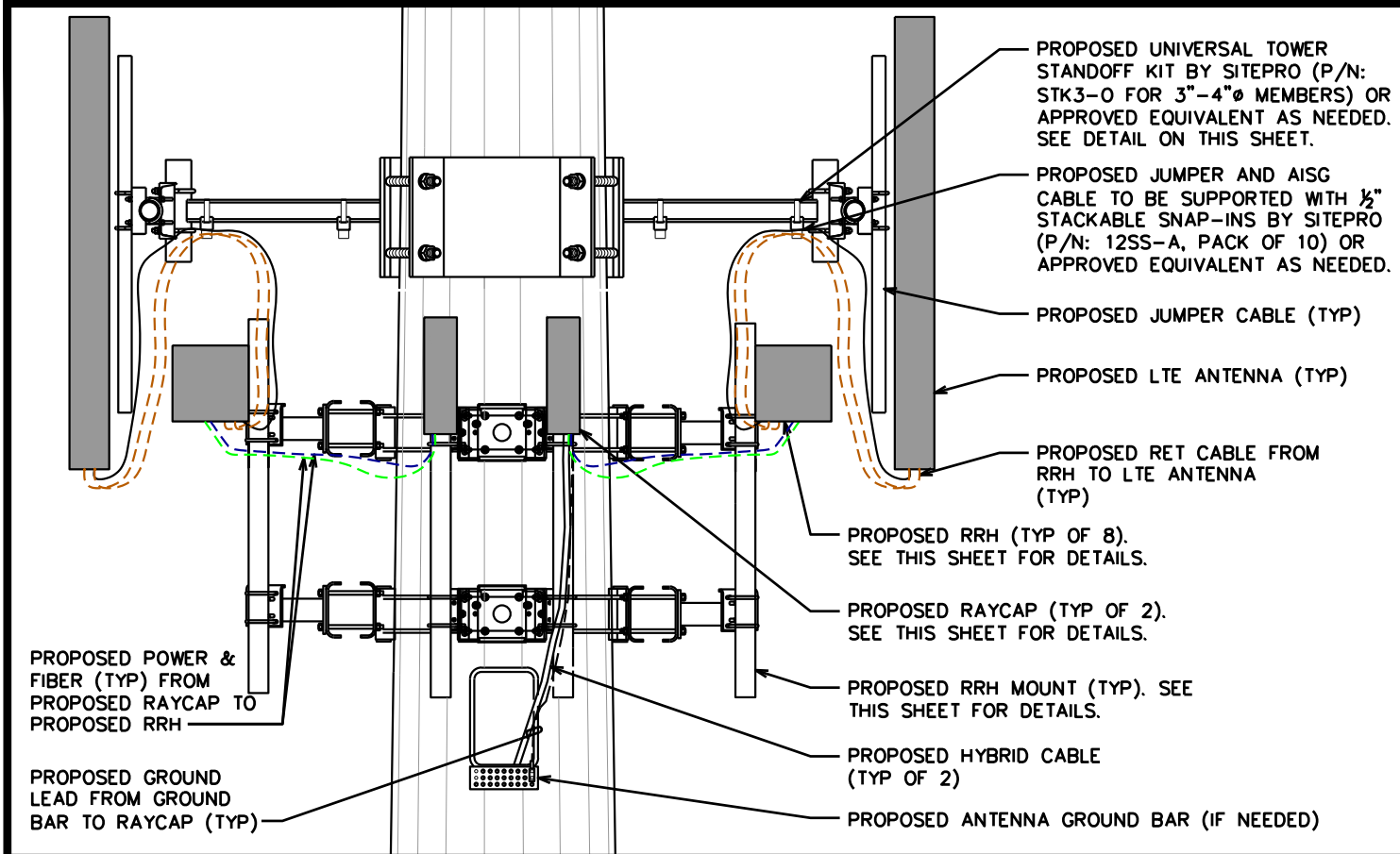
SHEET TITLE:

ANTENNA DETAILS

SHEET NUMBER:	REVISION:
C-10B	2
TEP#:	257244

ANTENNA DETAILS

SCALE: N.T.S.



RAYCAP AND RRH MOUNTING DETAIL (ELEVATION)

SCALE: N.T.S.

NOTES:

- USCC TO PROVIDE RRHS. DO NOT MIX MODELS.
- CONTRACTOR TO PROVIDE AMPA TO MOUNT RRHS TO RRH MOUNT. SEE THIS SHEET FOR MORE DETAILS.
- CONTRACTOR TO LEAVE OPENING FOR SAFETY CLIMB.
- TOWER TOP FIBER/POWER CONNECTIONS FROM RAYCAP TO RRH RUNS SHOULD BE SHIELDED IN 1" INNERDUCT (75' PROVIDED IN HYBRID KIT)

PROPOSED RRH BOOK MOUNT (TYP OF 8). SEE THIS SHEET FOR DETAILS.

PROPOSED NOKIA RRH (TYP OF 8). SEE SHEETS C-9B FOR DETAILS.

PROPOSED QUAD BRACKET MOUNT BY SITE PRO. SEE THIS SHEET FOR DETAILS.

RAYCAP AND RRH MOUNTING DETAIL (PLAN)

SCALE: N.T.S.

PLANS PREPARED FOR:



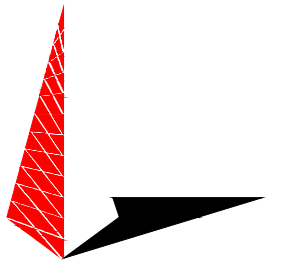
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(865) 777-8054

PROJECT INFORMATION:

**LINCOLN PARK
SITE #: 589403**

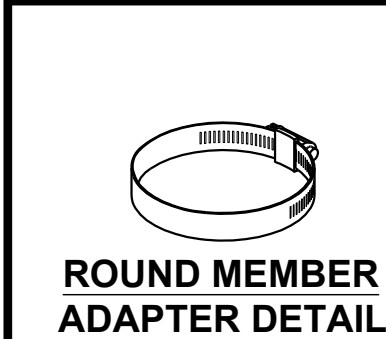
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(E911 ADDRESS T.B.D.)
PITTSBURG, KS 66762
(CRAWFORD COUNTY)

PLANS PREPARED BY:

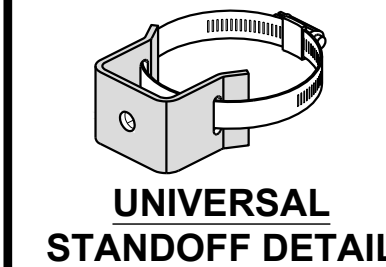


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**ROUND MEMBER
ADAPTER DETAIL**



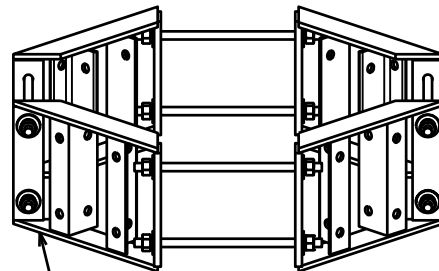
**UNIVERSAL
STANDOFF DETAIL**

MOUNTING DETAILS

SCALE: N.T.S.

NOTES:

- USCC TO PROVIDE RRH MOUNTS
- FLUSH MOUNT ADAPTER KIT (SITE PRO P/N: FMA2) AND MOUNT PIPES TO SUPPLIED SEPARATELY



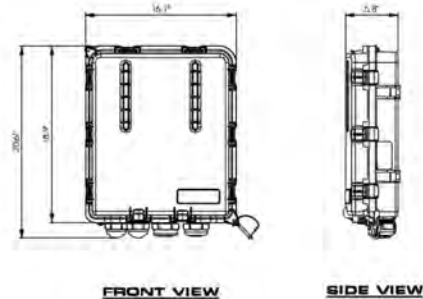
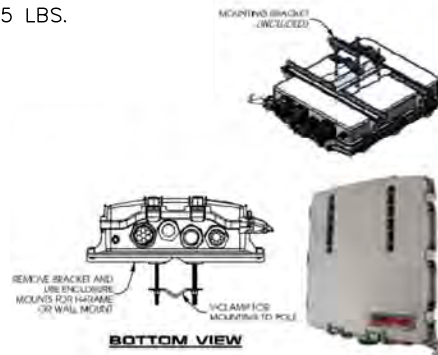
PROPOSED QUAD BRACKET MOUNT (SITE PRO P/N: UGLM4 OR APPROVED EQUIVALENT)

QUAD BRACKET MOUNT

SCALE: N.T.S.

NOTES:

- P/N: RUSDC-6267-PF-48
- 20.6"Hx18.9"Wx5.8"D
- 19.95 LBS.

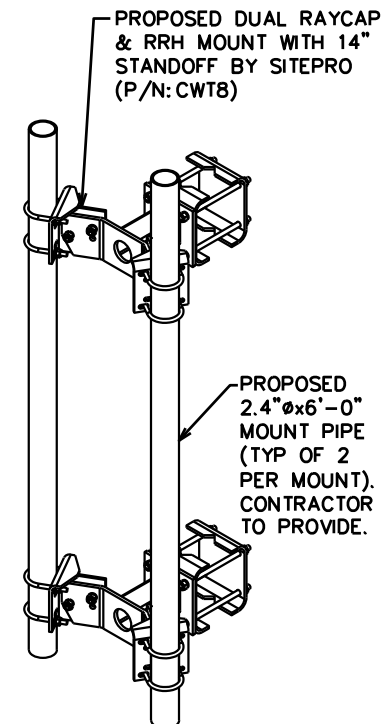


RAYCAP SPEC SHEET

SCALE: N.T.S.

NOTE:

USCC TO PROVIDE RRH MOUNTS



PROPOSED DUAL RAYCAP & RRH MOUNT WITH 14" STANDOFF BY SITEPRO (P/N: CWT8)

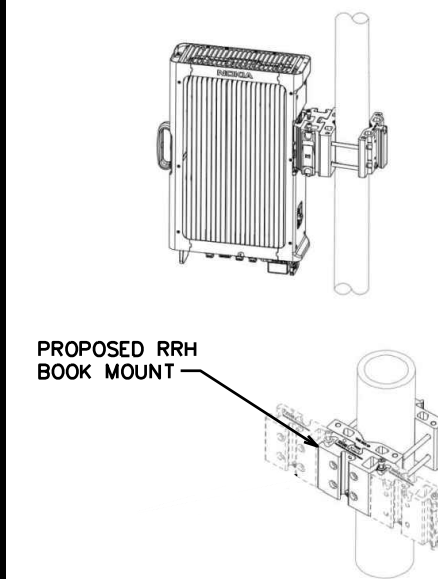
PROPOSED 2.4"Øx6'-0" MOUNT PIPE (TYP OF 2 PER MOUNT). CONTRACTOR TO PROVIDE.

DUAL MOUNT

SCALE: N.T.S.

NOTE:

- NOKIA POLE MOUNTING KIT (AMPA) 473879A.
- CAN BE USED WITH PIPES FROM 1.2"Ø TO 4.7"Ø.



PROPOSED RRH BOOK MOUNT

RRH MOUNTS

SCALE: N.T.S.

SEAL:



October 15, 2021

2	10-15-21	CONSTRUCTION
1	08-10-21	PRELIMINARY
0	05-17-21	PRELIMINARY
REV	DATE	ISSUED FOR:

DRAWN BY: GLB CHECKED BY: JKW

SHEET TITLE:

**RRH MOUNTING
DIAGRAM**

SHEET NUMBER:	REVISION:
C-11A	2
	TEP #: 257244

NOKIA



Product name	AirScale Dual RRH 4T4R B12/71 240W AHLOA
Supported frequency bands	3GPP bands 12 and 71
Frequencies	Band 85 (12.17): UL 698 – 716 MHz; DL 728 – 746 MHz Band 71: UL 663 MHz – 698 MHz; DL 617 MHz – 652 MHz
Number of TX/RX ports	4 pipes; 2T2R, 2T4R, 4T4R for both bands
Instantaneous Bandwidth IBW	17 MHz for B12 and 35MHz for B71 1 MHz NB IoT future use in B85
Occupied Bandwidth OBW	UL: 53MHz contiguous DL: B12 17MHz + 1 MHz NB IoT future use; B71 35MHz
Output power	60W per TX shared between bands
Supply Voltage / Voltage Range	DC-48 V / -36 V to -60 V
Typical power consumption	664W [ETSI Busy Hour Load at 4TX@60W] 465W [ETSI Busy Hour Load at 4TX@20W]
Antenna ports	4 ports, 4.3-10
Optical ports	2 x CPRI 9.8 Gbps
ALD control interfaces	AISG3.0 and RET (DC on ANT1 & ANT3)
Other interfaces	External alarm MDR-26 serial connector (4 inputs, 1 output) DC circular power connector
Operational temperature range	-40°C to 55°C (with no solar load)
Dimensions (mm) height x width x depth	560 x 308 x 189
Volume (liters)	32.5
Weight (kg)	38
Ingress protection class	IP65
Installation options	Pole or Wall, vertical or horizontal book mount
Surge protection	Class II 5kA

NOKIA



Product name	AirScale Dual RRH 4T4R 875/66 320W AHFIB - 67A218A
Supported frequency bands	3GPP Bands 25 and 66
Frequencies	Band 25: DL 1930-1995MHz; UL 1850-1915MHz Band 66: DL 2110-2200MHz; UL 1710-1780MHz
Number of TX/RX ports	4/4
Instantaneous Bandwidth IBW	Band 25/ Band 66 - full band
Occupied Bandwidth OBW	Band 25: full band; Band 66: 80MHz
Output Power	40W per band; 80W per TX
Supply Voltage / Voltage Range	DC-48 V / -36V to -60V
Typical Power Consumption	525W [ETSI 24h Avg. - 4x20W per band; 40W per TX port]
Antenna Ports	4 ports, 4.3-10+
Optical Ports	2 x CPRI 9.8 Gbps
ALD Control interfaces	AISG3.0 from AIT 1,2,3,4 and RET (Power supply AIT1 and AIT3)
Other interfaces	External Alarm MDR-26 Serial connector (4 inputs, 1 Output) DC Circular Power Connector
Operational Temperature Range	-40°C to 55°C (with no solar load)
Dimensions (mm)	560x308x149 mm (without covers or mounting bracket)
Height x width x depth	
Volume (liters)	< 28 (without covers or mounting brackets)
Weight (kg)	< 30 (without covers or mounting brackets)
Ingress protection class	IP65
Installation options	Pole, Wall, Book mount; Vertical wall/pole; Horizontal wall
Surge protection	Class II 5kA

NOKIA



Product name	AirScale RRH 4T4R B5 160W AHCA - 473966A
Supported frequency bands	3GPP band 5
Frequencies	DL 869-894MHz; UL 824-843MHz
Number of TX/RX ports	4/4
Instantaneous Bandwidth IBW	25MHz
Occupied Bandwidth OBW	25MHz
Output power	4T4R 40 W; 2T4R 80W
Dimensions (mm) height x width x depth	337 x 295 x 165
Volume (liters)	16.4
Weight (kg)	16.7
Supply Voltage / Voltage Range	DC-48V / -36V to -60V
Typical Power Consumption	207 W [ETSI 24h Avg. - 4x20W mode]
Antenna ports	4TX(AAR), 4.3-10+
Optical ports	2 x CPRI 9.8 Gbps
ALD control interfaces	AISG3.0 from ANT1, 2, 3, 4 and RET (Power supply ANT1 and ANT3)
Other interfaces	External alarm MDR-26 serial connector (4 inputs, 1 output) DC circular power connector
Operational temperature range	-40°C to 55°C (with no solar load)
Ingress protection class	IP65
Installation options	Pole or wall, RAS; vertical or horizontal book mount
Surge protection	Class II 5kA

RRH SPEC SHEETS

SCALE: N.T.S.

PLANS PREPARED FOR:



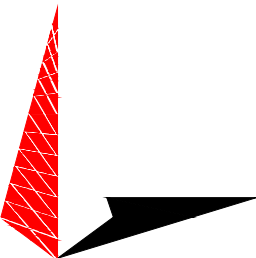
800 CORNERSTONE DRIVE
KNOXVILLE, TN 37932
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PROJECT INFORMATION:

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SITE #: 589403

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(CRAWFORD COUNTY)

PLANS PREPARED BY:



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RALEIGH, NC 27603-3530
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SEAL:



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DRAWN BY: GLB CHECKED BY: JKW

SHEET TITLE:

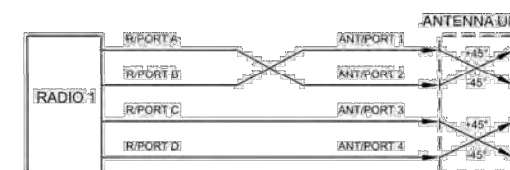
RRH SPEC
SHEETS

SHEET NUMBER:	REVISION:
C-11B	2
TEP #:	257244

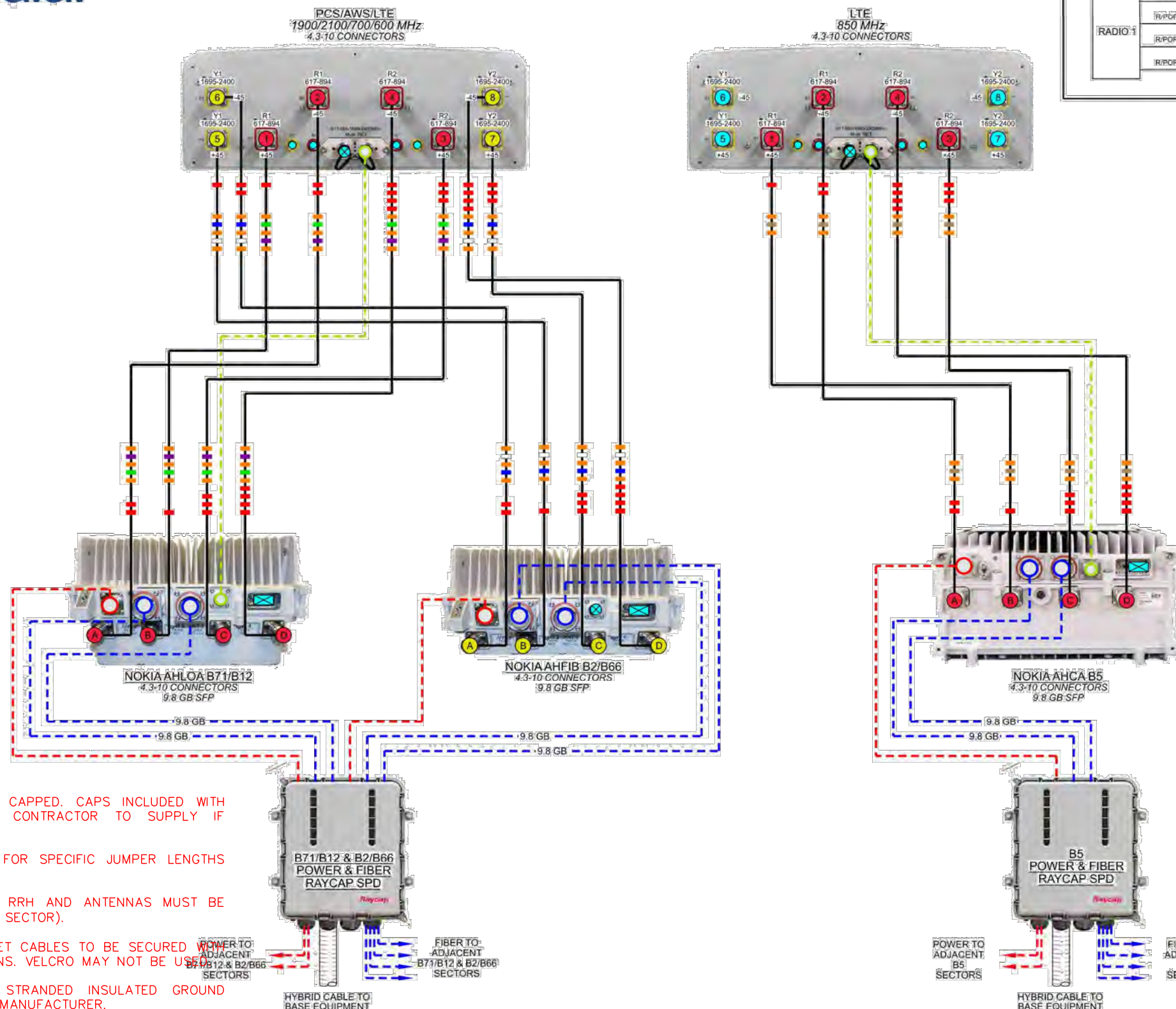
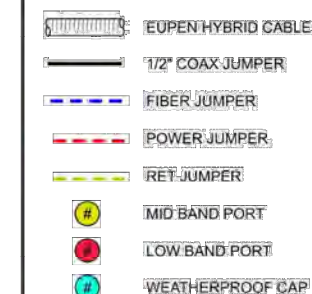


NSN// B71/B12 / B2/B66 / B5
PER SECTOR CONFIGURATION

ANT. TO AIRSCALE RADIO DE-CORRELATION



CABLE LEGEND



NOTES:

1. UNUSED PORTS TO BE CAPPED. CAPS INCLUDED WITH EQUIPMENT PURCHASE. CONTRACTOR TO SUPPLY IF NECESSARY.
2. SEE TOWER ELEVATION FOR SPECIFIC JUMPER LENGTHS AND SIZES.
3. ALL JUMPERS BETWEEN RRH AND ANTENNAS MUST BE THE SAME LENGTH (PER SECTOR).
4. EXCESS JUMPER AND RET CABLES TO BE SECURED WITH GROMMETS AND SNAP-INS. VELCRO MAY NOT BE USED.
5. CONTRACTOR TO USE STRANDED INSULATED GROUND LEAD #6. SPECIFIED BY MANUFACTURER.
6. USE LDF4 JUMPERS FOR BAND 5.

PLUMBING DIAGRAM: DX212

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NOTES:

1. ALL JUMPERS BETWEEN RADIO UNITS & ANTENNAS MUST BE THE SAME LENGTH.
2. CONTRACTOR TO INSTALL WEATHERPROOF CAP ON ALL UN-USED PORTS.

PLANS PREPARED FOR:



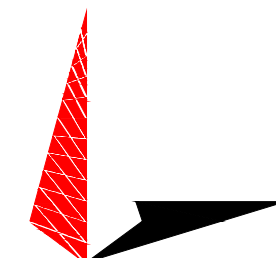
800 CORNERSTONE DRIVE
KNOXVILLE, TN 37932
(865) 777-8054

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PLANS PREPARED BY:



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SEAL:



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REV	DATE	ISSUED FOR:

DRAWN BY: GLB CHECKED BY: JKW

SHEET TITLE:

LTE PLUMBING
DIAGRAM

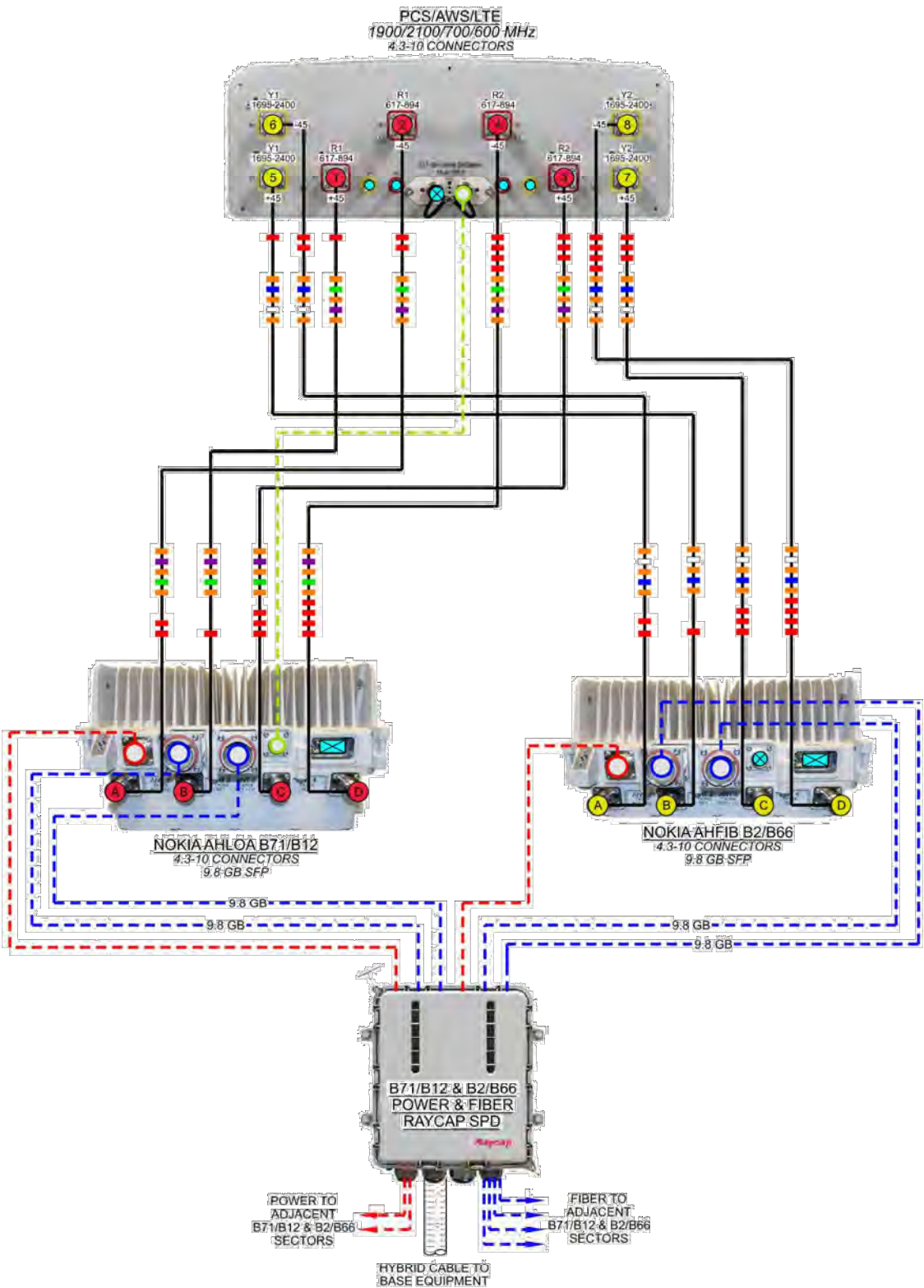
SHEET NUMBER:	REVISION:
C-12A	2
	TEP #: 257244

LTE PLUMBING DIAGRAM

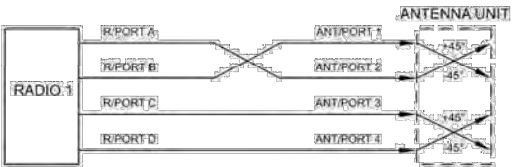
SCALE: N.T.S.



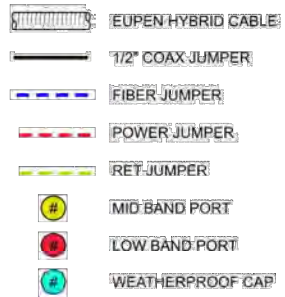
NSN// B71/B12 / B2/B66
PER SECTOR CONFIGURATION



ANT. TO AIRSCALE RADIO DE-CORRELATION



CABLE LEGEND



NOTES:

1. UNUSED PORTS TO BE CAPPED. CAPS INCLUDED WITH EQUIPMENT PURCHASE. CONTRACTOR TO SUPPLY IF NECESSARY.
2. SEE TOWER ELEVATION FOR SPECIFIC JUMPER LENGTHS AND SIZES.
3. ALL JUMPERS BETWEEN RRH AND ANTENNAS MUST BE THE SAME LENGTH (PER SECTOR).
4. EXCESS JUMPER AND RET CABLES TO BE SECURED WITH GROMMETS AND SNAP-INS. VELCRO MAY NOT BE USED.
5. CONTRACTOR TO USE STRANDED INSULATED GROUND LEAD #6. SPECIFIED BY MANUFACTURER.
6. USE LDF4 JUMPERS FOR BAND 5.

PLUMBING DIAGRAM: DX209

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DATE CREATED: 06/04/2021

LTE PLUMBING DIAGRAM

SCALE: N.T.S.

PLANS PREPARED FOR:



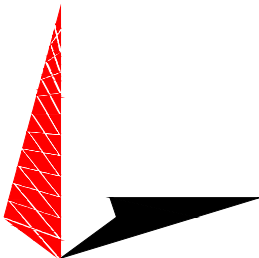
800 CORNERSTONE DRIVE
KNOXVILLE, TN 37932
(865) 777-8054

PROJECT INFORMATION:

LINCOLN PARK
SITE #: 589403

MCNALLY ROAD
(E911 ADDRESS T.B.D.)
PITTSBURG, KS 66762
(CRAWFORD COUNTY)

PLANS PREPARED BY:



TOWER ENGINEERING PROFESSIONALS

326 TRYON ROAD
RALEIGH, NC 27603-3530
OFFICE: (919) 661-6351
www.tepgroup.net

SEAL:



2	10-15-21	CONSTRUCTION
1	08-10-21	PRELIMINARY
0	05-17-21	PRELIMINARY
REV	DATE	ISSUED FOR:

DRAWN BY: GLB CHECKED BY: JKW

SHEET TITLE:

LTE PLUMBING
DIAGRAM

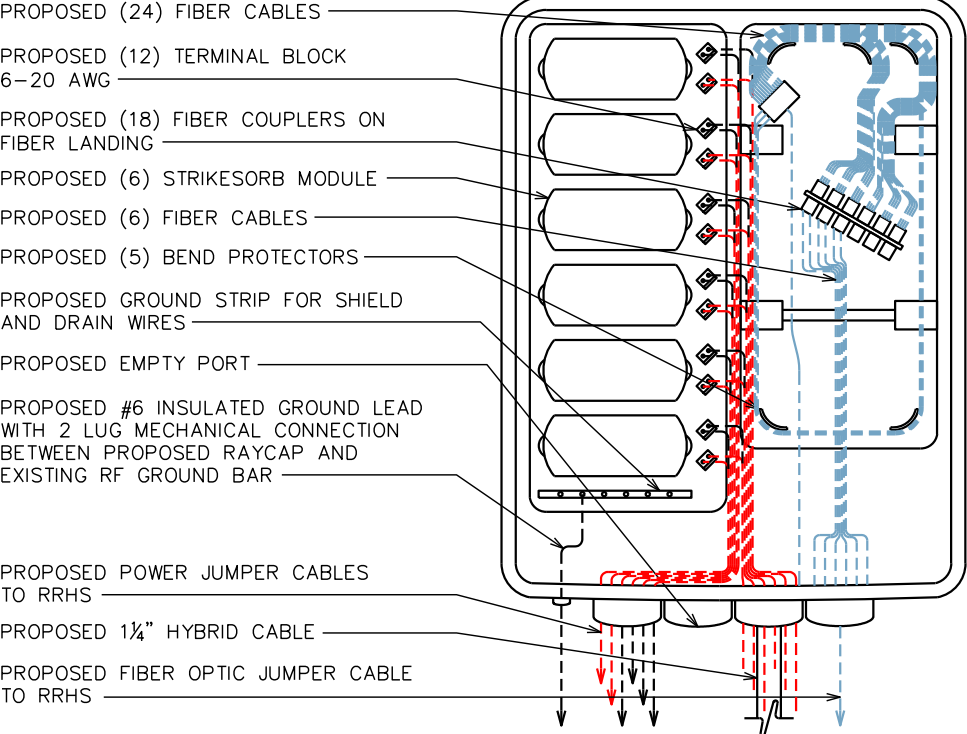
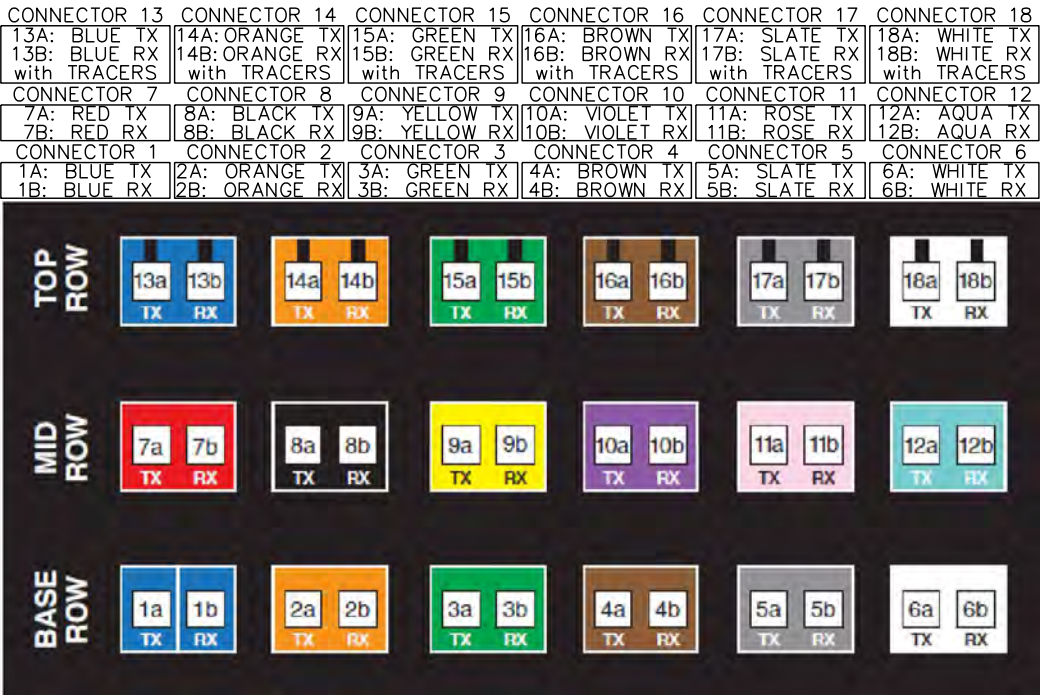
SHEET NUMBER:	REVISION:
C-12B	2
	TEP #: 257244

NOTES:

1. ALL JUMPERS BETWEEN RADIO UNITS & ANTENNAS MUST BE THE SAME LENGTH.
2. CONTRACTOR TO INSTALL WEATHERPROOF CAP ON ALL UN-USED PORTS.

NOTE:

REFER TO USCC DOCUMENT "TOWER MOUNTED EQUIPMENT AND TOWER CABLE STANDARDS AT CELL SITES" FOR COMPLETE COLOR CODING STANDARDS.

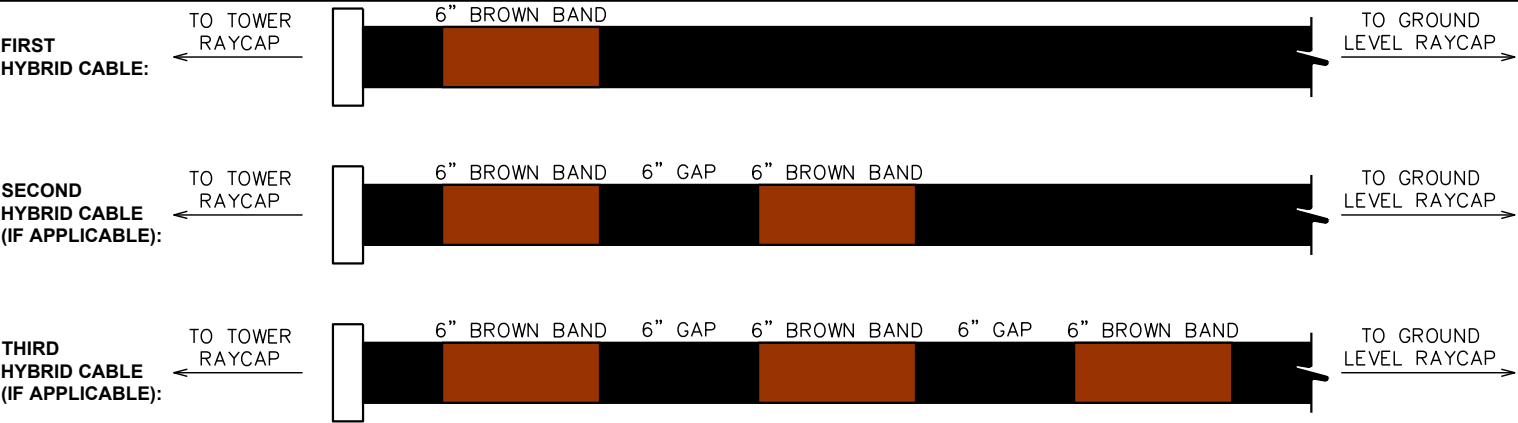


FIBER CABLE LABELING

SCALE: N.T.S.

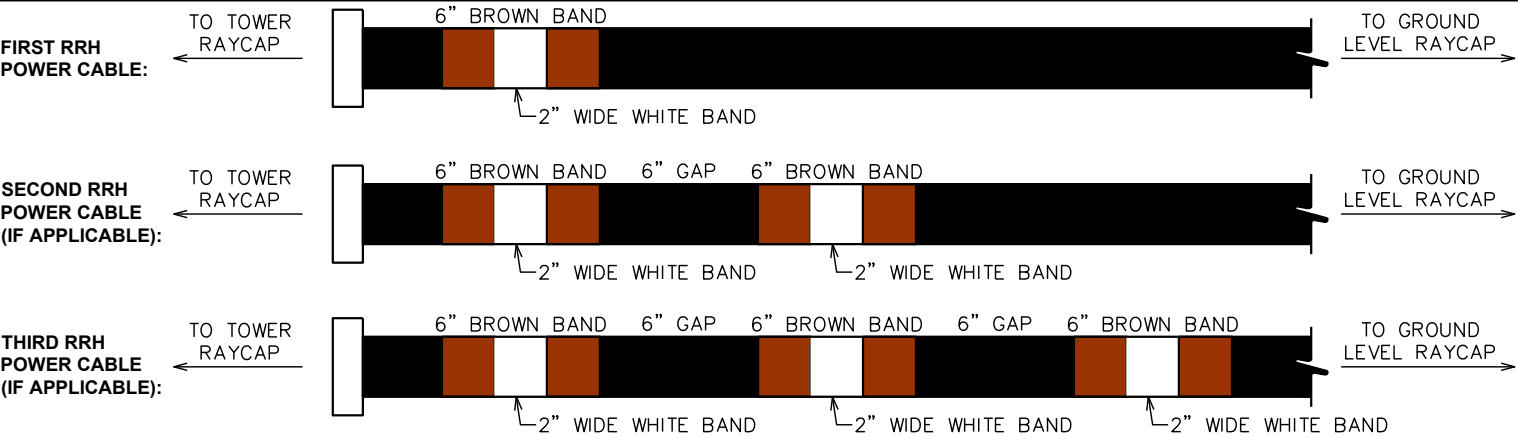
RAYCAP CABLING

SCALE: N.T.S.



HYBRID CABLE BANDING

SCALE: N.T.S.



POWER CABLE BANDING

SCALE: N.T.S.

PLANS PREPARED FOR:

uscellular

800 CORNERSTONE DRIVE
KNOXVILLE, TN 37932
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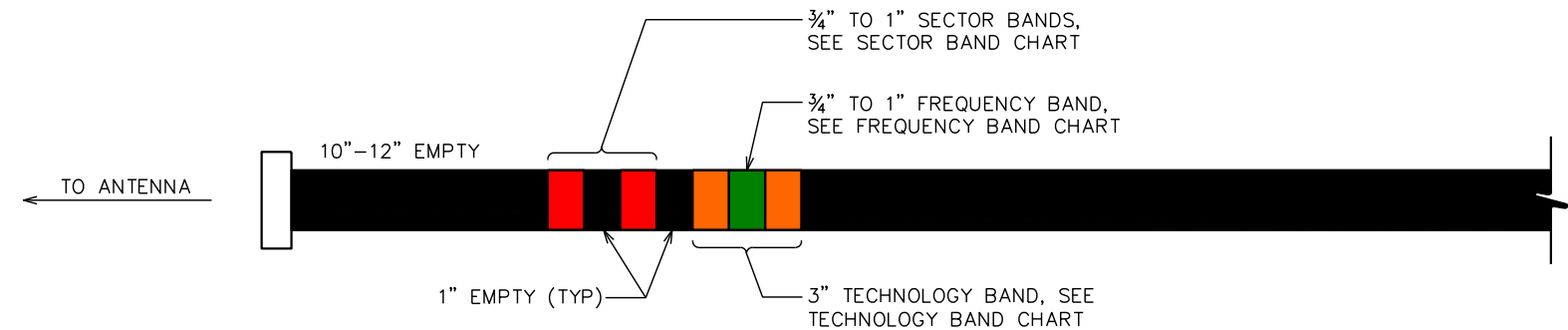
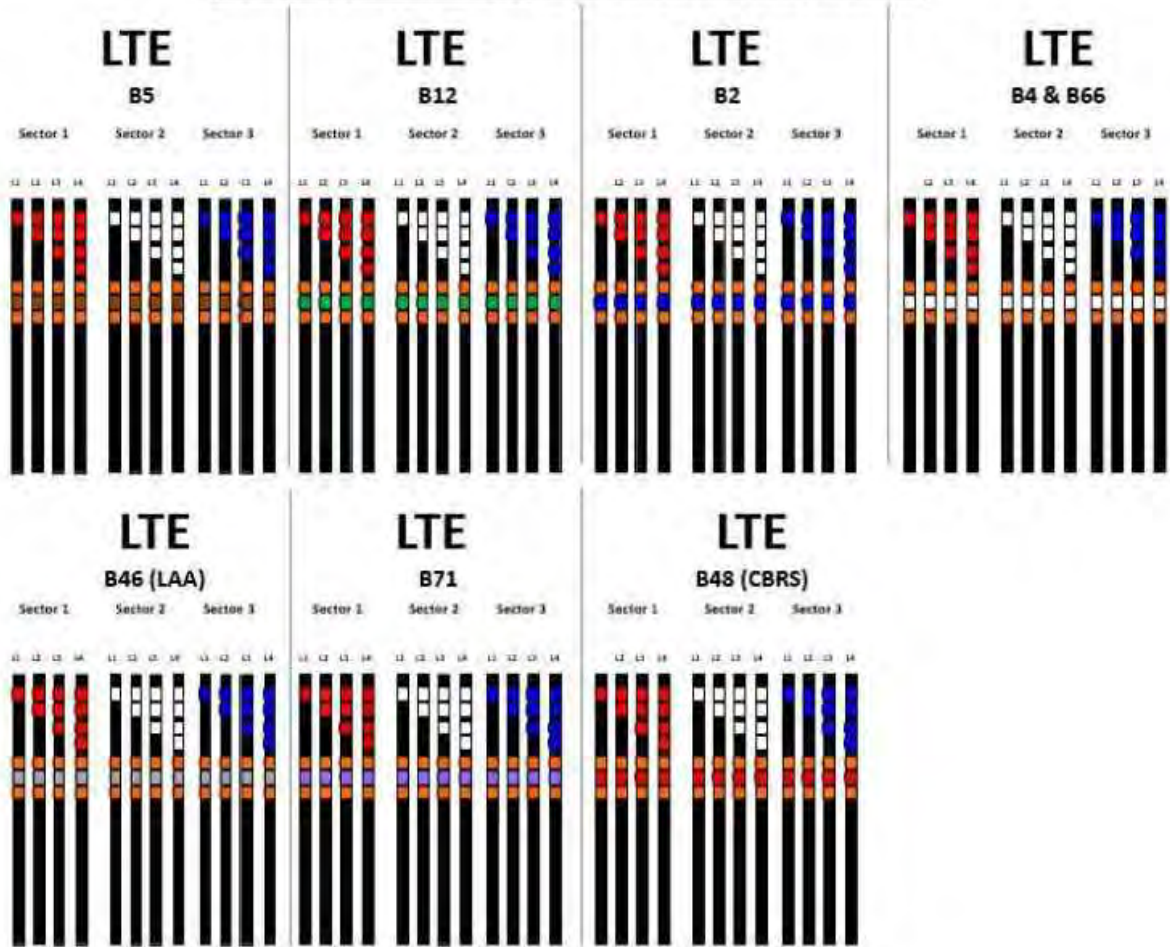
**LABELING
STANDARDS I**

SHEET NUMBER:	REVISION:
C-13A	2
	TEP #: 257244

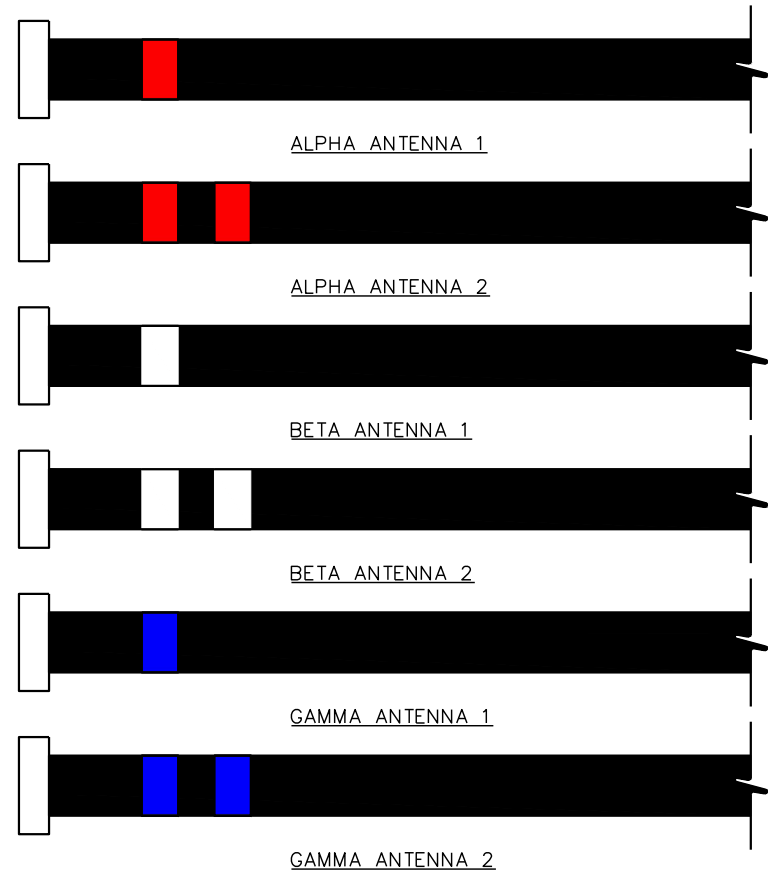
Sector Band Assignments (Most Common Case: Single Technology within the Sector)					
Sector Band	Assigned Color	Line 1	Line 2	Line 3	Line 4
Alpha (Sector 1)	red	1 red band	2 red bands	3 red bands	4 red bands
Beta (Sector 2)	white	1 white band	2 white bands	3 white bands	4 white bands
Gamma (Sector 3)	blue	1 blue band	2 blue bands	3 blue bands	4 blue bands
Delta (Sector 4, if applicable)	green	1 green band	2 green bands	3 green bands	4 green bands
Epsilon (Sector 5, if applicable)	violet	1 violet band	2 violet bands	3 violet bands	4 violet bands
Zeta (Sector 6, if applicable)	brown	1 brown band	2 brown bands	3 brown bands	4 brown bands

FREQUENCY BAND	
FREQUENCY	FREQUENCY BAND
700 (B12)	GREEN
800 (B5)	BROWN
1900 (B2)	BLUE
2100 (B4 & B66)	WHITE
5100 (B46)–LAA	GREY
600 (B71)	VIOLET
3.5 GHz	RED

USC COAX Color Code Standard



RET SECTOR BAND		
SECTOR	LINE 1 - FIRST TECHNOLOGY	LINE 2 - FIRST TECHNOLOGY
ALPHA	(1) RED BAND	(2) RED BAND
BETA	(1) WHITE BAND	(2) WHITE BAND
GAMMA	(1) BLUE BAND	(2) BLUE BAND



PLANS PREPARED FOR:



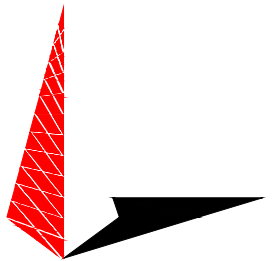
800 CORNERSTONE DRIVE
KNOXVILLE, TN 37932
(865) 777-8054

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SITE #: 589403

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PLANS PREPARED BY:



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SEAL:



October 15, 2021

2	10-15-21	CONSTRUCTION
1	08-10-21	PRELIMINARY
0	05-17-21	PRELIMINARY
REV	DATE	ISSUED FOR:

DRAWN BY: GLB CHECKED BY: JKW

SHEET TITLE:

LABELING STANDARDS II

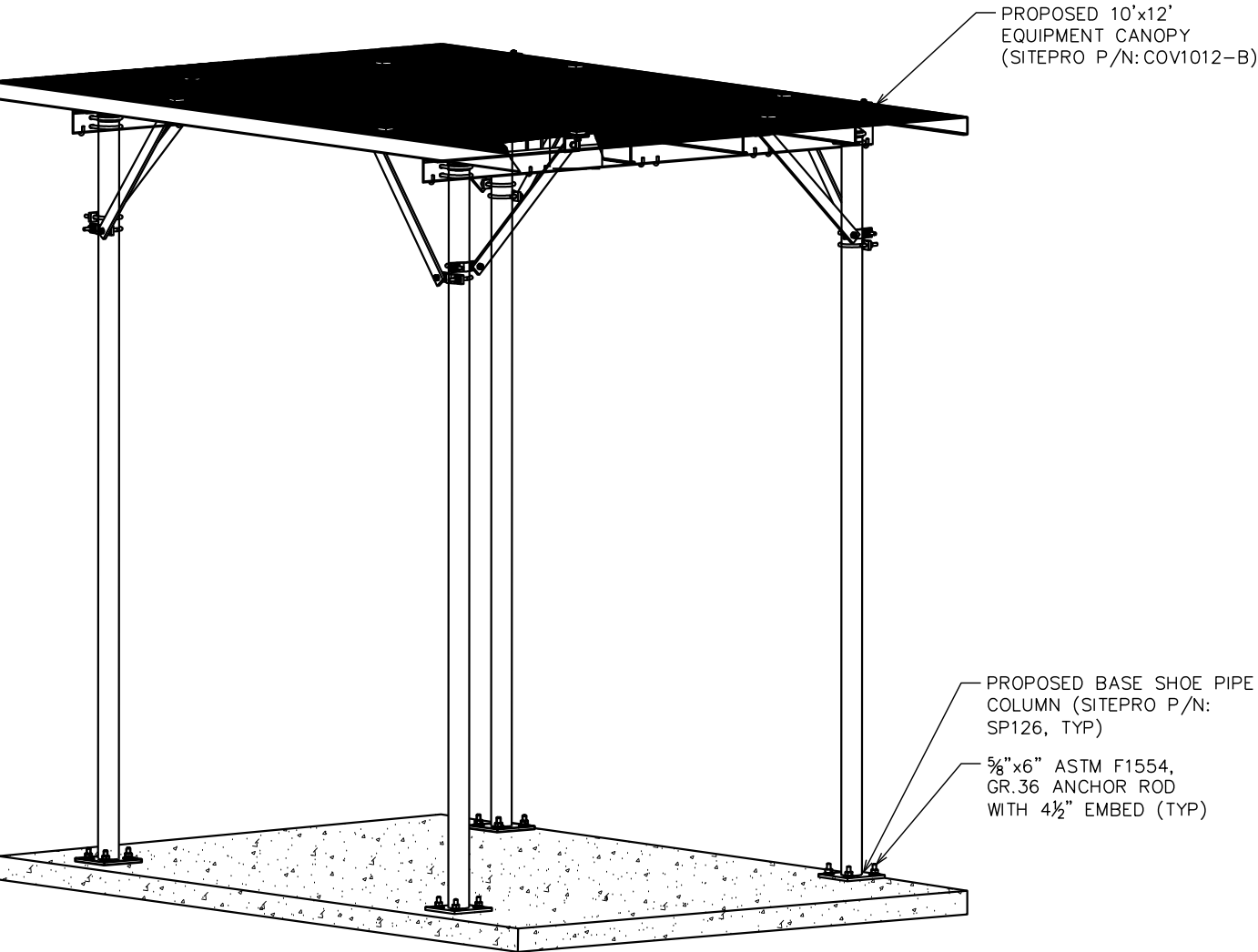
SHEET NUMBER:	REVISION:
C-13B	2
TEP#:	257244

RET CABLE BANDING
SCALE: N.T.S.

COAX CABLE BANDING
SCALE: N.T.S.

NOTE:

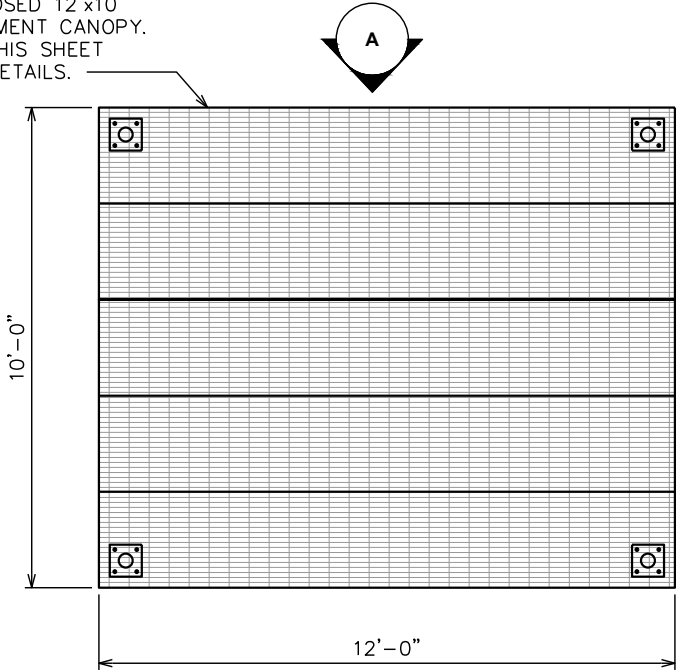
CANOPY DESIGN BASED UPON WIND EXPOSURE CATEGORY C (130 MPH).



CANOPY DETAILS

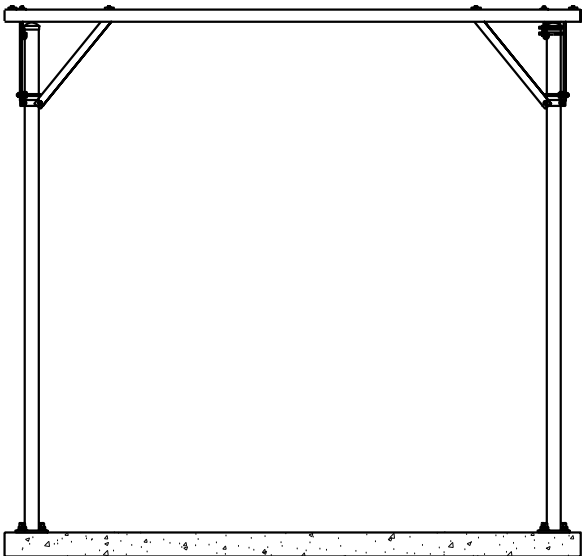
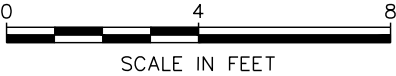
SCALE: N.T.S.

PROPOSED 12'x10' EQUIPMENT CANOPY. SEE THIS SHEET FOR DETAILS.



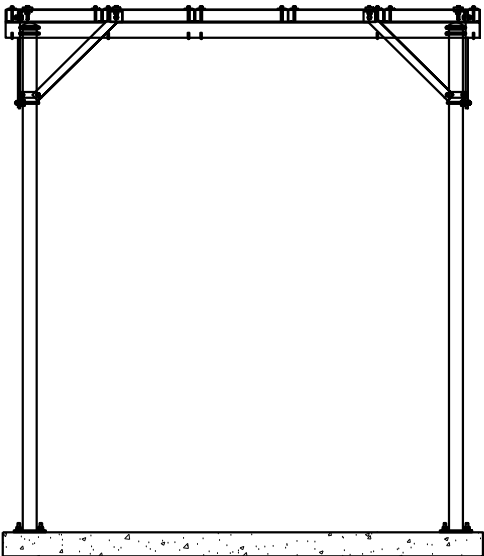
EQUIPMENT LAYOUT

SCALE: 1/4" = 1'-0"



ELEVATION A

SCALE: 1/4" = 1'-0"



ELEVATION B

SCALE: 1/4" = 1'-0"

PLANS PREPARED FOR:



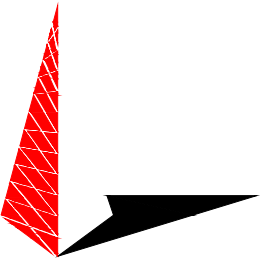
800 CORNERSTONE DRIVE
KNOXVILLE, TN 37932
(865) 777-8054

PROJECT INFORMATION:

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MCNALLY ROAD
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DRAWN BY: GLB CHECKED BY: JKW

SHEET TITLE:
**EQUIPMENT
CANOPY ELEVATION
& DETAILS**

SHEET NUMBER: C-14	REVISION: 2 TEP #: 257244
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SCOPE:

1. PROVIDE LABOR, MATERIALS, INSPECTION, AND TESTING TO PROVIDE CODE COMPLIANCE FOR ELECTRIC, TELEPHONE, AND GROUNDING/LIGHTNING SYSTEMS.

CODES:

1. THE INSTALLATION SHALL COMPLY WITH APPLICABLE LAWS AND CODES. THESE INCLUDE BUT ARE NOT LIMITED TO THE LATEST ADOPTED EDITIONS OF:
- | | |
|---|--------------------------------------|
| A. THE NATIONAL ELECTRICAL SAFETY CODE | D. LOCAL AND STATE AMENDMENTS |
| B. THE NATIONAL ELECTRIC CODE – NFPA–70 | E. THE INTERNATIONAL ELECTRIC CODE – |
| C. REGULATIONS OF THE SERVING UTILITY COMPANY | IEC (WHERE APPLICABLE) |
2. PERMITS REQUIRED SHALL BE OBTAINED BY THE CONTRACTOR.
3. AFTER COMPLETION AND FINAL INSPECTION OF THE WORK, THE OWNER SHALL BE FURNISHED A CERTIFICATE OF COMPLETION AND APPROVAL.

TESTING:

1. UPON COMPLETION OF THE INSTALLATION, OPERATE AND ADJUST THE EQUIPMENT AND SYSTEMS TO MEET SPECIFIED PERFORMANCE REQUIREMENTS. THE TESTING SHALL BE DONE BY QUALIFIED PERSONNEL.

GUARANTEE:

1. IN ADDITION TO THE GUARANTEE OF THE EQUIPMENT BY THE MANUFACTURER, EACH PIECE OF EQUIPMENT SPECIFIED HEREIN SHALL ALSO BE GUARANTEED FOR DEFECTS OF MATERIAL OR WORKMANSHIP OCCURRING DURING A PERIOD OF ONE (1) YEAR FROM FINAL ACCEPTANCE OF THE WORK BY THE OWNER AND WITHOUT EXPENSE TO THE OWNER.
2. THE WARRANTY CERTIFICATES & GUARANTEES FURNISHED BY THE MANUFACTURERS SHALL BE TURNED OVER TO THE OWNER.

UTILITY CO-ORDINATION:

1. CONTRACTOR SHALL COORDINATE WORK WITH THE POWER AND TELEPHONE COMPANIES AND SHALL COMPLY WITH THE SERVICE REQUIREMENTS OF EACH UTILITY COMPANY.

EXAMINATION OF SITE:

1. PRIOR TO BEGINNING WORK, THE CONTRACTOR SHALL VISIT THE SITE OF THE JOB AND SHALL FAMILIARIZE HIMSELF WITH THE CONDITIONS AFFECTING THE PROPOSED ELECTRICAL INSTALLATION AND SHALL MAKE PROVISIONS AS TO THE COST THEREOF. FAILURE TO COMPLY WITH THE INTENT OF THIS SECTION WILL IN NO WAY RELIEVE THE CONTRACTOR OF PERFORMING THE WORK NECESSARY FOR A COMPLETE AND WORKING SYSTEM OR SYSTEMS.

CUTTING, PATCHING AND EXCAVATION:

1. COORDINATION OF SLEEVES, CHASES, ETC., BETWEEN SUBCONTRACTORS WILL BE REQUIRED PRIOR TO THE CONSTRUCTION OF ANY PORTION OF THE WORK. CUTTING AND PATCHING OF WALLS, PARTITIONS, FLOORS, AND CHASES IN CONCRETE, WOOD, STEEL OR MASONRY SHALL BE DONE AS PROVIDED ON THE DRAWINGS.
2. NECESSARY EXCAVATIONS AND BACKFILLING INCIDENTAL TO THE ELECTRICAL WORK SHALL BE PROVIDED BY THE ELECTRICAL CONTRACTOR UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWING.
3. SEAL PENETRATIONS THROUGH RATED WALLS, FLOORS, ETC., WITH APPROVED METHOD AS LISTED BY UL.

RACEWAYS / CONDUITS GENERAL:

1. CONDUCTORS SHALL BE INSTALLED IN LISTED RACEWAYS. CONDUIT SHALL BE RIGID STEEL, EMT, SCH40 PVC, OR SCH80PVC AS INDICATED ON THE DRAWINGS. THE RACEWAY SYSTEM SHALL BE COMPLETE COMPLETE BEFORE INSTALLING CONDUCTORS.
2. EXTERIOR RACEWAYS AND GROUNDING SLEEVES SHALL BE SEALED AT POINTS OF ENTRANCE AND EXIT. THE RACEWAY SYSTEM SHALL BE BONDED PER NEC.

EXTERIOR CONDUIT:

1. EXPOSED CONDUIT SHALL BE NEATLY INSTALLED AND RUN PARALLEL OR PERPENDICULAR TO STRUCTURAL ELEMENTS. SUPPORTS AND MOUNTING HARDWARE SHALL BE HOT DIPPED GALVANIZED STEEL.
2. THE CONDUIT SHALL BE RIGID STEEL AT GRADE TRANSITIONS OR WHERE EXPOSED TO DAMAGE.
3. UNDERGROUND CONDUITS SHALL BE RIGID STEEL, SCH40 PVC, OR SCH80 PVC AS INDICATED ON THE DRAWINGS.
4. BURIAL DEPTH OF CONDUITS SHALL BE AS REQUIRED BY CODE FOR EACH SPECIFIC CONDUIT TYPE AND APPLICATION, BUT SHALL NOT BE LESS THAN THE FROST DEPTH AT THE SITE.
5. CONDUIT ROUTES ARE SCHEMATIC. CONTRACTOR SHALL FIELD VERIFY ROUTES BEFORE BID. COORDINATE ROUTE WITH WIRELESS CARRIER AND/OR BUILDING OWNER.

INTERIOR CONDUIT:

1. CONCEALED CONDUIT IN WALLS OR INTERIOR SPACES ABOVE GRADE MAY BE EMT OR PVC.
2. CONDUIT RUNS SHALL USE APPROVED COUPLINGS AND CONNECTORS. PROVIDE INSULATED BUSHING FOR ALL CONDUIT TERMINATIONS. CONDUIT RUNS IN A WET LOCATION SHALL HAVE WATERPROOF FITTINGS.
3. PROVIDE SUPPORTS FOR CONDUITS IN ACCORDANCE WITH NEC REQUIREMENTS. CONDUITS SHALL BE SIZED AS REQUIRED BY NEC.

EQUIPMENT:

1. DISCONNECT SWITCHES SHALL BE SERVICE ENTRANCE RATED, HEAVY DUTY TYPE.
2. CONTRACTOR SHALL VERIFY MAXIMUM AVAILABLE FAULT CURRENT AND COORDINATE INSTALLATION WITH THE LOCAL UTILITY BEFORE STARTING WORK. CONTRACTOR WILL VERIFY THAT EXISTING CIRCUIT BREAKERS ARE RATED FOR MORE THAN AVAILABLE FAULT CURRENT AND REPLACE AS NECESSARY.
3. NEW CIRCUIT BREAKERS SHALL BE RATED TO WITHSTAND THE MAXIMUM AVAILABLE FAULT CURRENT AS DETERMINED BY THE LOCAL UTILITY.

CONDUCTORS:

1. FURNISH AND INSTALL CONDUCTORS SPECIFIED IN THE DRAWINGS. CONDUCTORS SHALL BE COPPER AND SHALL HAVE TYPE THWN (MIN) (75° C) INSULATION, RATED FOR 600 VOLTS.
2. THE USE OF ALUMINUM CONDUCTORS SHALL BE LIMITED TO THE SERVICE FEEDERS INSTALLED BY THE UTILITY.
3. CONDUCTORS SHALL BE PROVIDED AND INSTALLED AS FOLLOWS:
- A. MINIMUM WIRE SIZE SHALL BE #12 AWG.
- B. CONDUCTORS SIZE #8 AND LARGER SHALL BE STRANDED. CONDUCTORS SIZED #10 AND #12 MAY BE SOLID OR STRANDED.
- C. CONNECTION FOR #10 AWG #12 AWG SHALL BE BY TWISTING TIGHT AND INSTALLING INSULATED PRESSURE OR WIRE NUT CONNECTIONS.
- D. CONNECTION FOR #8 AWG AND LARGER SHALL BE BY USE OF STEEL CRIMP–ON SLEEVES WITH NYLON INSULATOR.
3. CONDUCTORS SHALL BE COLOR CODED IN ACCORDANCE WITH NEC STANDARDS.

UL COMPLIANCE:





1. ELECTRICAL MATERIALS, DEVICES, CONDUCTORS, APPLIANCES, AND EQUIPMENT SHALL BE LABELED/LISTED BY UL OR ACCEPTED BY JURISDICTION (I.E., LOCAL COUNTY OR STATE) APPROVED THIRD PARTY TESTING AGENCY.

GROUNDING:

1. ELECTRICAL NEUTRALS, RACEWAYS AND NON–CURRENT CARRYING PARTS OF ELECTRICAL EQUIPMENT AND ASSOCIATED ENCLOSURES SHALL BE GROUNDED IN ACCORDANCE WITH NEC ARTICLE 250. THIS SHALL INCLUDE NEUTRAL CONDUCTORS, CONDUITS, SUPPORTS, CABINETS, BOXES, GROUND BUSSES, ETC. THE NEUTRAL CONDUCTOR FOR EACH SYSTEM SHALL BE GROUNDED AT A SINGLE POINT.
2. PROVIDE GROUND CONDUCTOR IN RACEWAYS PER NEC.
3. PROVIDE BONDING AND GROUND TO MEET NFPA 780 – "LIGHTNING PROTECTION" AS A MINIMUM.
4. PROVIDE GROUNDING SYSTEM AS INDICATED ON THE DRAWINGS, AS REQUIRED BY THE NATIONAL ELECTRIC CODE, RADIO EQUIPMENT MANUFACTURERS, AND MOTOROLA R56 (AS APPLICABLE).

ABBREVIATIONS AND LEGEND

A	–	AMPERE	PNLBD	–	PANELBOARD
AFG	–	ABOVE FINISHED GRADE	PVC	–	RIGID NON–METALLIC CONDUIT
ATS	–	AUTOMATIC TRANSFER SWITCH	RGS	–	RIGID GALVANIZED STEEL CONDUIT
AWG	–	AMERICAN WIRE GAUGE	SW	–	SWITCH
BCW	–	BARE COPPER WIRE	TGB	–	TOWER GROUND BAR
BFG	–	BELOW FINISHED GRADE	UL	–	UNDERWRITERS LABORATORIES
BKR	–	BREAKER	V	–	VOLTAGE
C	–	CONDUIT	W	–	WATTS
CKT	–	CIRCUIT	XFMR	–	TRANSFORMER
DISC	–	DISCONNECT	XMTR	–	TRANSMITTER
EGR	–	EXTERNAL GROUND RING			
EMT	–	ELECTRIC METALLIC TUBING			
FSC	–	FLEXIBLE STEEL CONDUIT			
GEN	–	GENERATOR			
GPS	–	GLOBAL POSITIONING SYSTEM			
GRD	–	GROUND			
IGB	–	ISOLATED GROUND BAR			
IGR	–	INTERIOR GROUND RING (HALO)			
KW	–	KILOWATTS			
NEC	–	NATIONAL ELECTRIC CODE			
PCS	–	PERSONAL COMMUNICATION SYSTEM			
PH	–	PHASE			
PNL	–	PANEL			

----	E	----	UNDERGROUND ELECTRICAL CONDUIT
----	T	----	UNDERGROUND TELEPHONE CONDUIT
			KILOWATT–HOUR METER
-----			UNDERGROUND BONDING AND GROUNDING CONDUCTOR.
			GROUND ROD
			CADWELD
			GROUND ROD WITH INSPECTION WELL

PLANS PREPARED FOR:



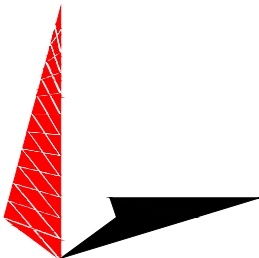
800 CORNERSTONE DRIVE
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(865) 777–8054

PROJECT INFORMATION:

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SITE #: 589403**

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DRAWN BY:	GLB	CHECKED BY:	JKW
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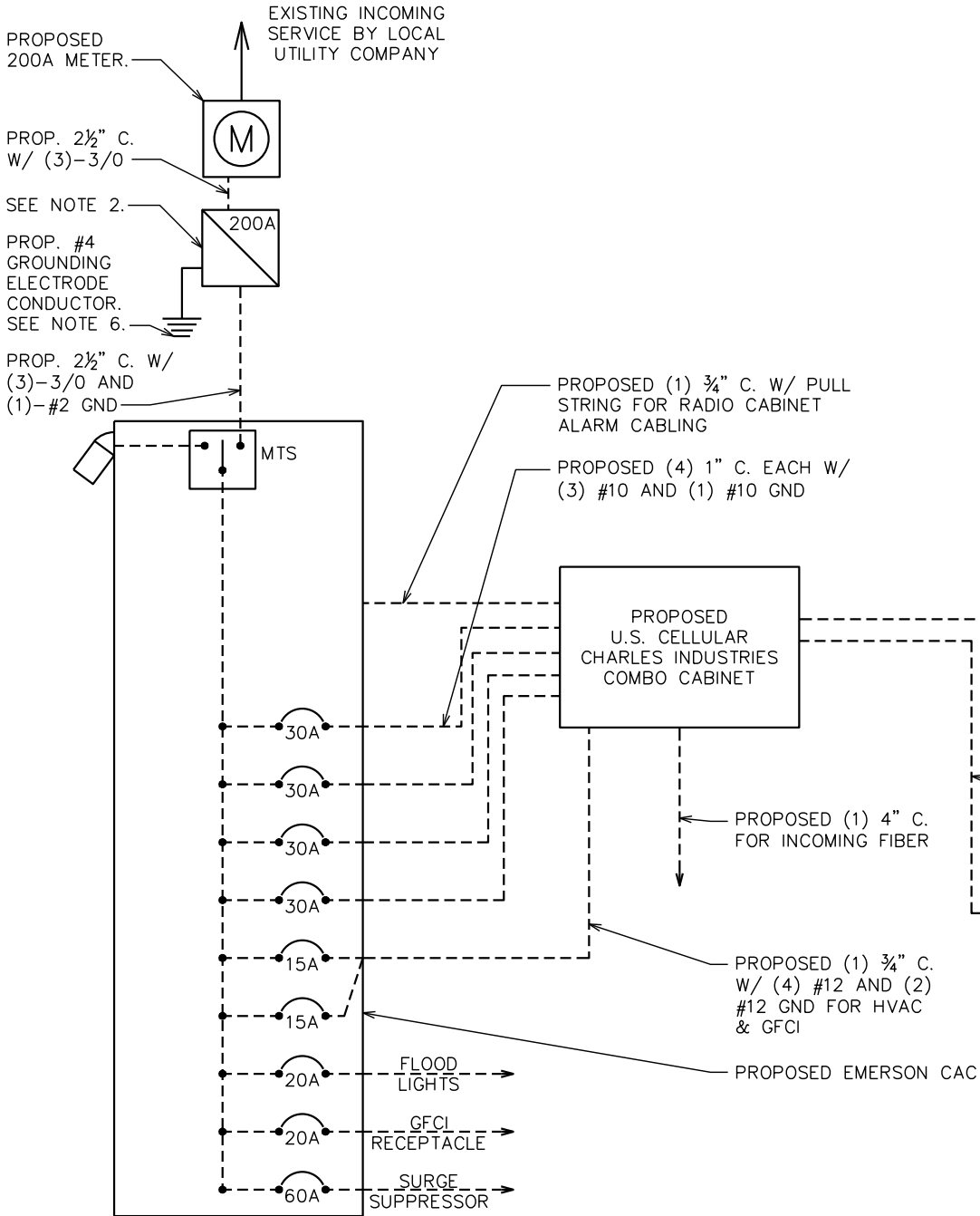
SHEET TITLE:

**ELECTRICAL
NOTES**

SHEET NUMBER:	REVISION:
E-1	2
	TEP #: 257244

NOTES:

1. FOR COMPLETE INTERNAL WIRING AND ARRANGEMENT, REFER TO VENDOR PRINTS PROVIDED BY EQUIPMENT MANUFACTURER.
2. 200A RATED DISCONNECT FUSED AT 200A. IF NOT EXISTING, INSTALL 200A SERVICE ENTRANCE RATED DISCONNECT FUSED AT 200A.
3. SOME BREAKERS NOT SHOWN IN ONE LINE DIAGRAM FOR CLARITY.
4. CONTRACTOR TO VERIFY LOAD CENTER PANEL CAPACITY AND EXISTING LOADING IS WITHIN RATED LIMITS.
5. PROPOSED CONDUCTOR FEEDING PROPOSED CHARLES CABINET IS BASED ON MANUFACTURER SPECIFICATIONS.
6. THE GROUNDING ELECTRODE CONDUCTOR IS SIZED FOR A SINGLE 200A SERVICE. THE CONTRACTOR WILL INSTALL (1) 3/0 COPPER GEC INSTEAD IF THE METER BANK SHARES A COMMON N-G BOND
7. THE WIRING DIAGRAM PROVIDED BY THE MANUFACTURER DOES NOT SHOW A NEUTRAL BEING USED. THE CONTRACTOR WILL NEED TO VERIFY WITH THE INSTALLATION SPECS.



ONE LINE DIAGRAM

SCALE: N.T.S.

NOTE:

CONTRACTOR TO VERIFY THE SIZE OF ALL BREAKERS SHOWN AND WITH MANUFACTURER SPECIFICATIONS.

200A 120/240VAC POWER PANEL SCHEDULE											
LOAD SERVED	VOLT AMPERES (WATTS)		TRIP	CKT #	PHASE		CKT #	TRIP	VOLT AMPERES (WATTS)		LOAD SERVED
	L1	L2			A	B			L1	L2	
SURGE SUPPRESSOR	0		60A	1	A		2	30A	2880		RECTIFIER 5/6
		0		3	B		4			2880	
GFCI RECEPTACLE	180		20A	5	A		6	30A	2880		RECTIFIER 7/8
FLOOD LIGHTS		300	20A	7	B		8			2880	
RECTIFIER 1/2	2880		30A	9	A		10	15A	1440		HVAC (COMBO CABINET)
		2880		11	B		12			1440	
RECTIFIER 3/4	2880		30A	13	A		14	15A	200		GFCI (COMBO CABINET)
		2880		15	B		16	-	-	-	-
-	-	-	-	17	A		18	-	-	-	-
		-		19	B		20	-	-	-	-
-	-	-	-	21	A		22	-	-	-	-
		-		23	B		24	-	-	-	-
VOLT AMPS	5,940	6,060							7,400	7,200	VOLT AMPS
				L1 VOLT AMPERES		13,340	13,260	L2 VOLT AMPERES			
						26,600		TOTAL VOLT AMPERES			
						110.8		TOTAL AMPS			
						138.5		AMPS X 125%			

PLANS PREPARED FOR:



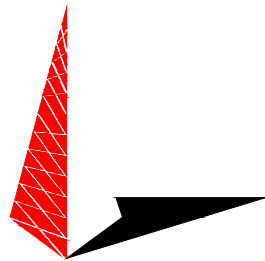
800 CORNERSTONE DRIVE
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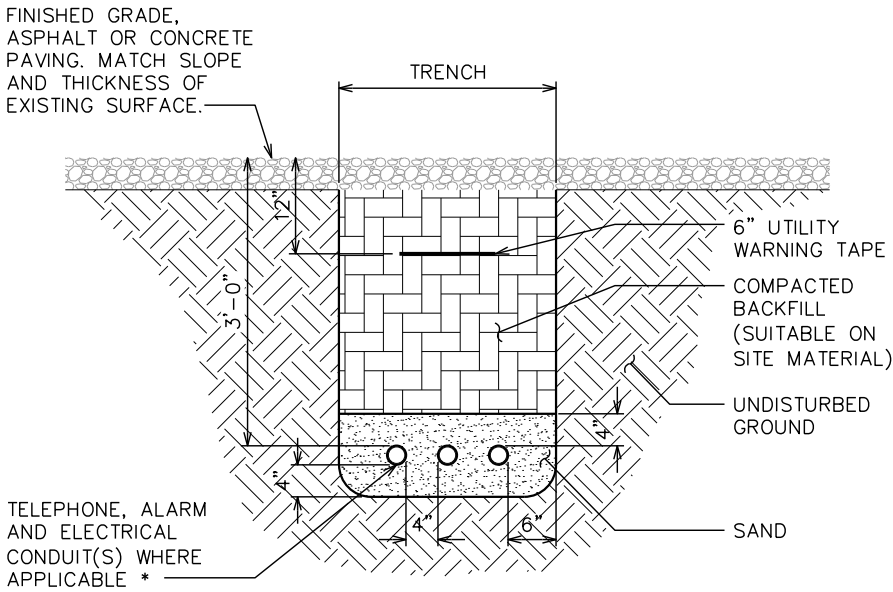
DRAWN BY: GLB CHECKED BY: JKW

SHEET TITLE:
**ONE LINE DIAGRAM &
POWER PANEL
SCHEDULE**

SHEET NUMBER: E-2	REVISION: 2 TEP #: 257244
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NOTES:

- 1. ACTUAL SEPARATION OF CONDUITS TO BE DETERMINED BY SITE SPECIFIC REQUIREMENTS.
- 2. PROVIDE PVC CONDUIT BELOW GRADE EXCEPT AS NOTED BELOW.
- 3. PROVIDE RGS CONDUIT AND ELBOWS AT STUB UP LOCATIONS (I.E. SERVICE POLES, EQUIPMENT, ETC.)
- 4. PROVIDE RGS CONDUIT FOR INSTALLATIONS BELOW PARKING LOTS AND ROADWAYS.



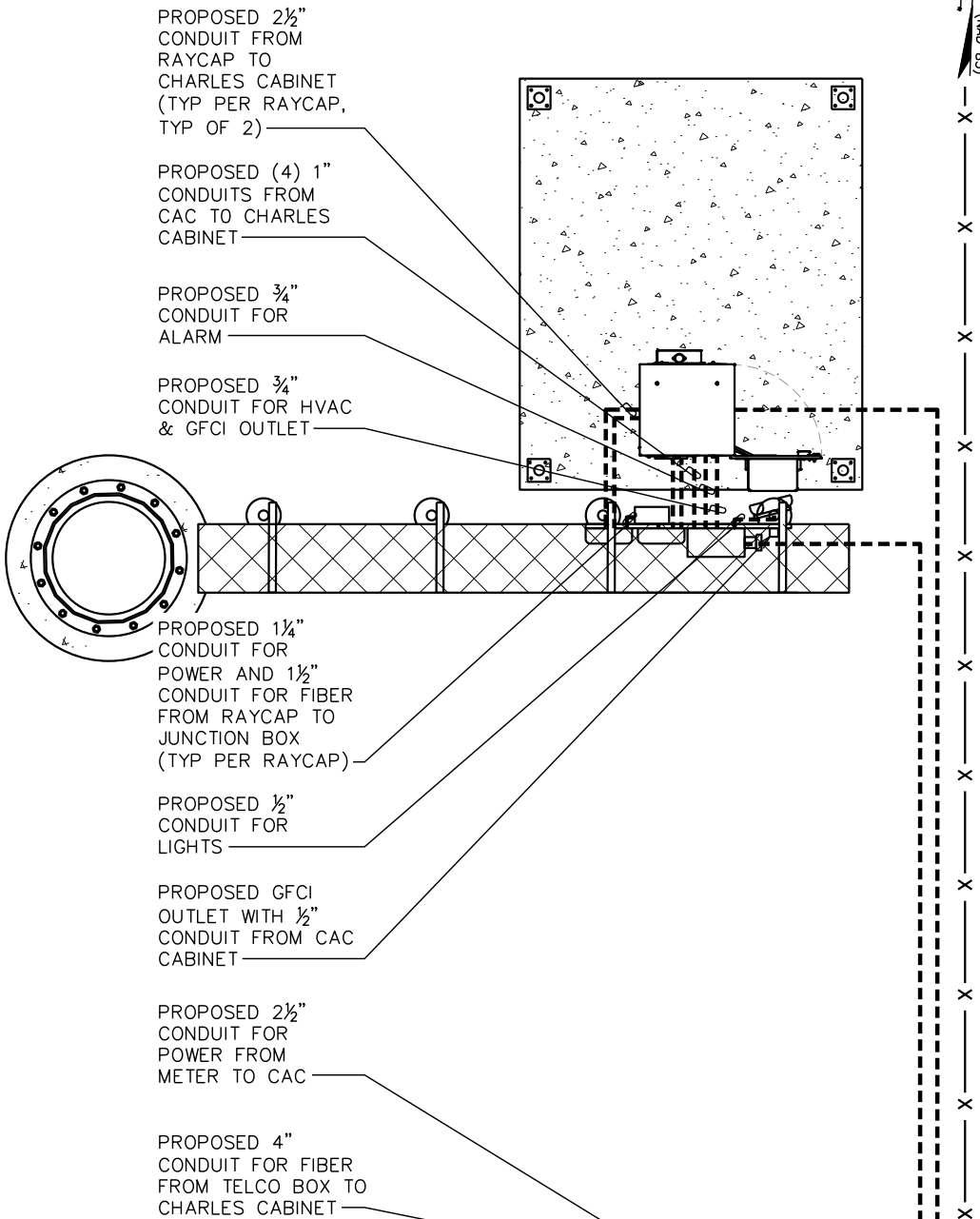
* SEPARATION DIMENSIONS TO BE VERIFIED WITH LOCAL UTILITY COMPANY REQUIREMENTS.

UNDERGROUND CONDUIT(S) TRENCH DETAIL

SCALE: N.T.S.

NOTE:

CONTRACTOR TO COORDINATE WITH LOCAL UTILITY COMPANY FOR ROUTING



CONTRACTOR TO COORDINATE WITH LOCAL UTILITY

POWER AND TELCO PLAN

SCALE: 3/16" = 1'-0"



PLANS PREPARED FOR:



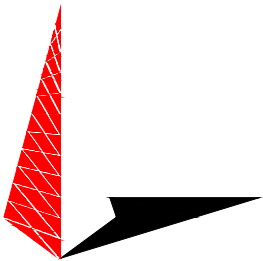
800 CORNERSTONE DRIVE
KNOXVILLE, TN 37932
(865) 777-8054

PROJECT INFORMATION:

**LINCOLN PARK
SITE #: 589403**

MCNALLY ROAD
(E911 ADDRESS T.B.D.)
PITTSBURG, KS 66762
(CRAWFORD COUNTY)

PLANS PREPARED BY:



TOWER ENGINEERING PROFESSIONALS

326 TRYON ROAD
RALEIGH, NC 27603-3530
OFFICE: (919) 661-6351
www.tepgroup.net

SEAL:



October 15, 2021

2	10-15-21	CONSTRUCTION
1	08-10-21	PRELIMINARY
0	05-17-21	PRELIMINARY
REV	DATE	ISSUED FOR:

DRAWN BY: GLB CHECKED BY: JKW

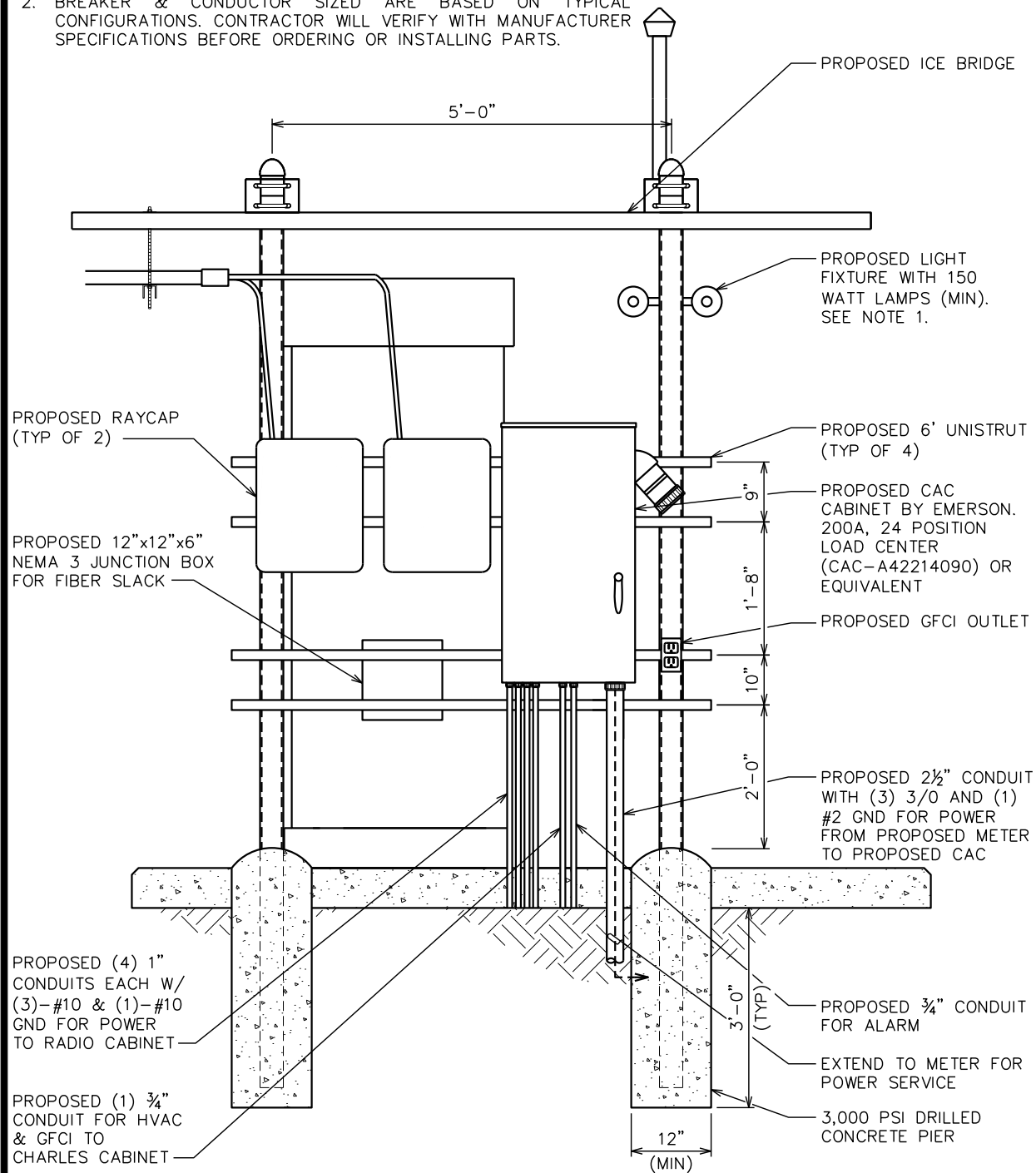
SHEET TITLE:

**POWER/TELCO
PLAN**

SHEET NUMBER:	REVISION:
E-3	2
	TEP #: 257244

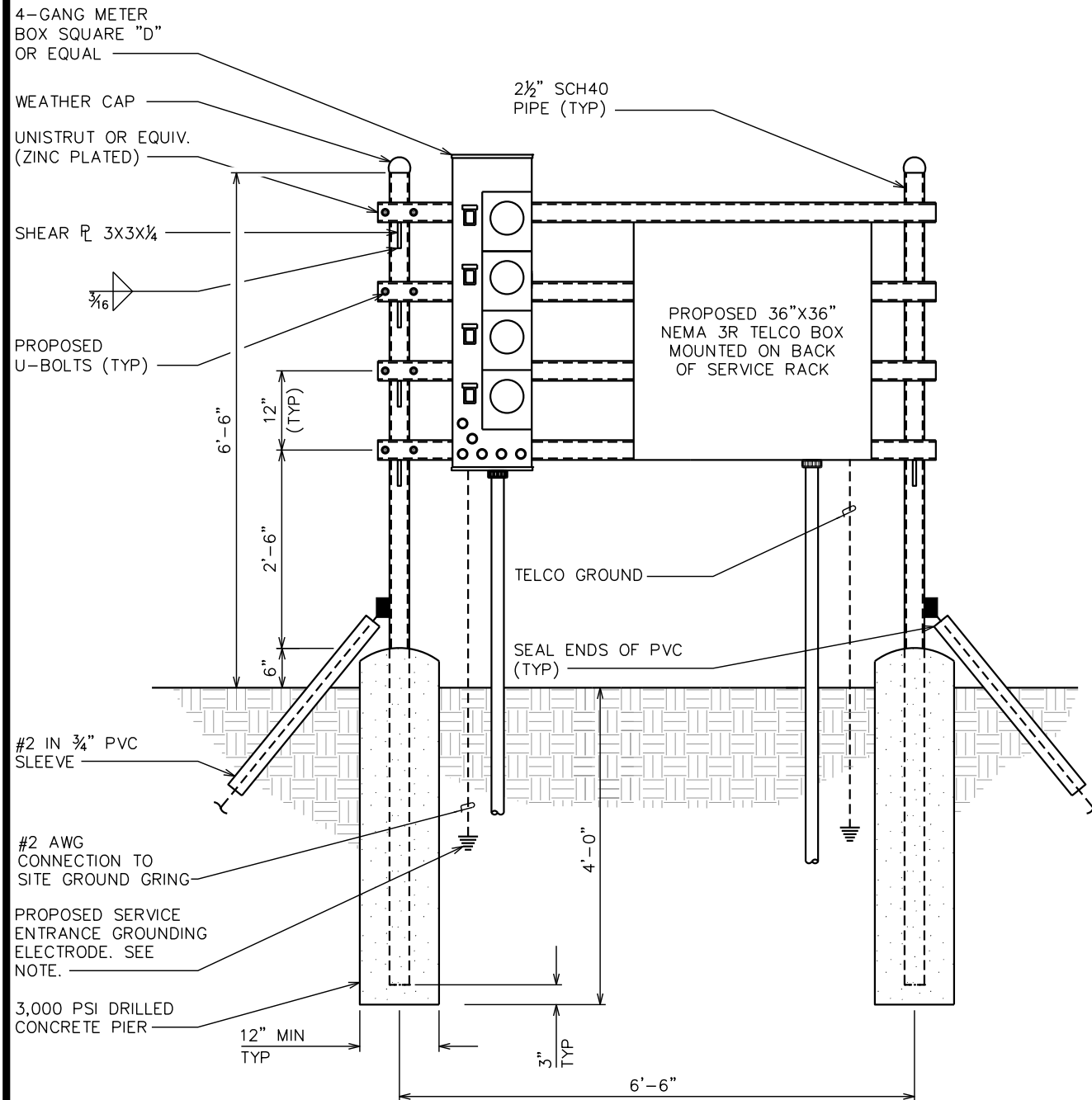
NOTES:

- 1. CONTRACTOR TO FIELD LOCATE LIGHT FIXTURE FOR OPTIMUM COVERAGE OF WORK AREA.
- 2. BREAKER & CONDUCTOR SIZED ARE BASED ON TYPICAL CONFIGURATIONS. CONTRACTOR WILL VERIFY WITH MANUFACTURER SPECIFICATIONS BEFORE ORDERING OR INSTALLING PARTS.




NOTE:

THE GROUNDING ELECTRODE CONDUCTOR IS SIZED FOR A SINGLE 200A SERVICE. THE CONTRACTOR WILL INSTALL (1) 3/0 COPPER GEC INSTEAD IF THE METER BANK SHARES A COMMON N-G BOND



PLANS PREPARED FOR:



800 CORNERSTONE DRIVE
KNOXVILLE, TN 37932
(865) 777-8054

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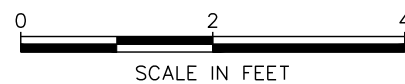
SHEET TITLE:

EQUIPMENT
H-FRAME & SERVICE
RACK DETAILS

SHEET NUMBER:	REVISION:
E-3A	2
	TEP #: 257244

EQUIPMENT H-FRAME DETAILS

SCALE: 1/2" = 1'-0"



SERVICE RACK DETAILS

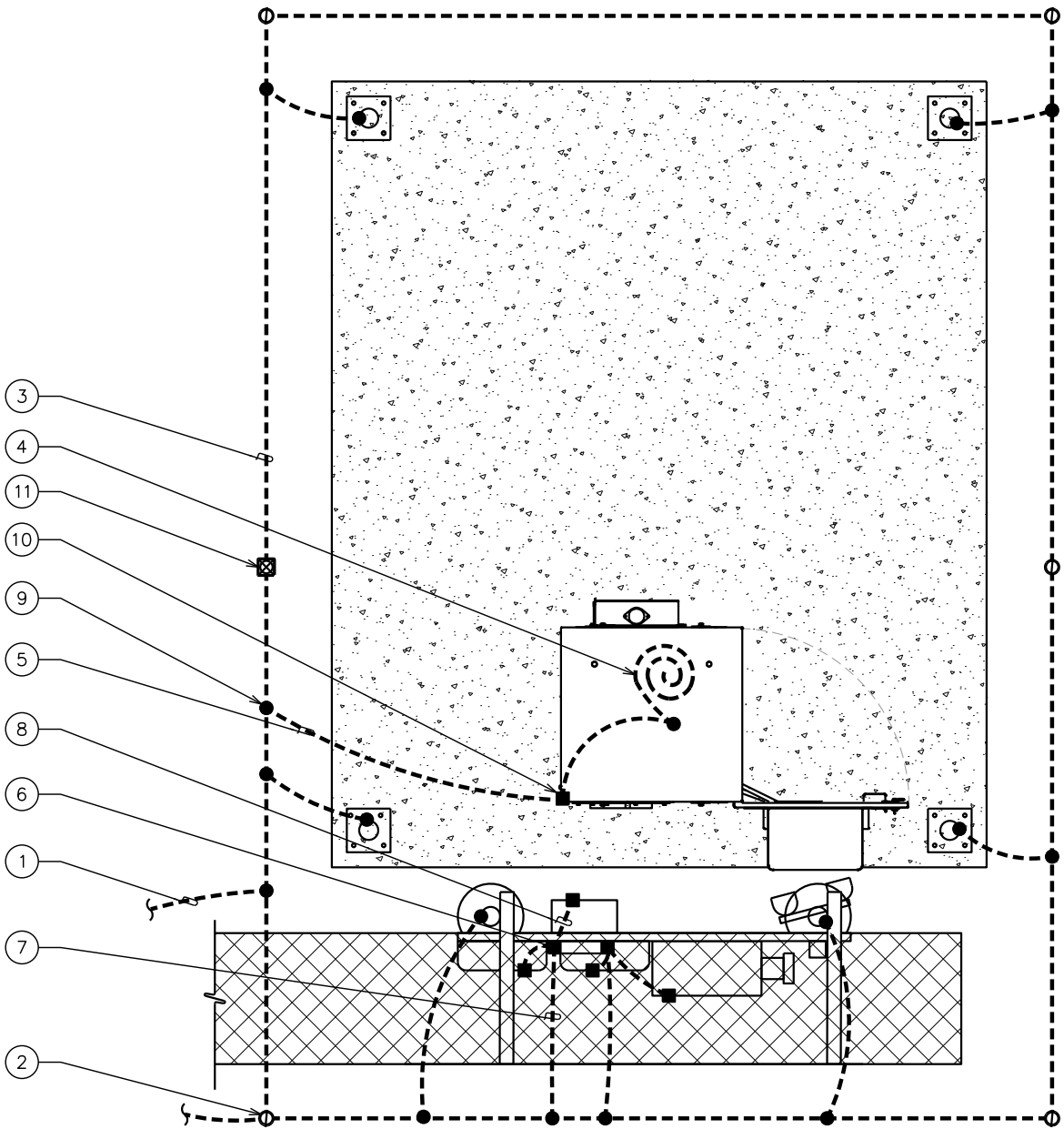
SCALE: N.T.S.

DRAWING NOTES

- 1 EXTEND EQUIPMENT GROUND RING TO PROPOSED TOWER GROUND RING
- 2 PROPOSED 5/8"Øx10' COPPER GROUND ROD (TYP)
- 3 PROPOSED EQUIPMENT GROUND RING (BURIED 30" BFG OR 6" BELOW FROST DEPTH, WHICHEVER IS DEEPER)
- 4 GROUND PROPOSED CABINET PER MFG'S SPECIFICATIONS
- 5 CABINET GROUND TO PROPOSED GROUND RING
- 6 GROUND BAR MOUNTED ON H-FRAME
- 7 GROUND LEAD FROM PROPOSED GROUND BAR TO PROPOSED GROUND RING (TYP OF 2)
- 8 PROPOSED EQUIPMENT GROUND (TYP)
- 9 PROPOSED CADWELD (TYP)
- 10 PROPOSED 2-HOLE MECHANICAL LUG (TYP)
- 11 PROPOSED GROUND ROD WITH INSPECTION WELL

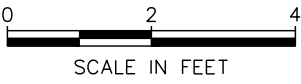
GROUNDING NOTES:

- 1. CONTRACTOR SHALL VERIFY THAT GROUNDING ELECTRODES SHALL BE CONNECTED IN A RING USING #2 AWG BARE TINNED COPPER WIRE. THE TOP OF THE GROUND RODS AND THE RING CONDUCTOR SHALL BE 30 INCHES BELOW FINISHED GRADE. GROUNDING ELECTRODES SHALL BE DRIVEN ON 10'-0" CENTERS (9'-0" MINIMUM, 16'-0" MAXIMUM; PROVIDE AND INSTALL AS REQUIRED PER TYPICAL GROUNDING PLAN SHOWN).
- 2. BONDING OF THE GROUNDED CONDUCTOR (NEUTRAL) AND THE GROUNDING CONDUCTOR SHALL BE AT THE SERVICE DISCONNECTING MEANS. BONDING JUMPER SHALL BE INSTALLED PER N.E.C. ARTICLE 250.30.
- 3. GROUND RING CONNECTION CONDUCTORS SHALL BE OF EQUAL LENGTH, MATERIAL, AND BONDING TECHNIQUE.
- 4. CONTRACTOR SHALL ENSURE GROUND RING IS WITHIN 12 TO 36 INCHES OF THE EQUIPMENT PAD. PROVIDE/INSTALL GROUNDING CONNECTIONS SHOWN ABOVE AS NEEDED PER EXISTING SITE GROUNDING SYSTEM. CONTRACTOR SHALL VERIFY ALL EXISTING SITE GROUNDING CONDITIONS BEFORE STARTING WORK OR PURCHASING EQUIPMENT.
- 5. BOND CIGBE TO EXTERNAL GROUND RING WITH 2 RUNS OF #2 BARE TINNED SOLID COPPER CONDUCTOR IN PVC. CONNECT BAR END WITH 2 HOLE LUG, AND "CADWELD" THE OTHER END TO THE EXTERNAL GROUND ROD.
- 6. THE PREFERRED LOCATION FOR COAX GROUNDING IS AT THE BASE OF THE TOWER PRIOR TO THE COAX BEND. BONDING IS SHOWN ON THE ICE BRIDGE DUE TO DIFFICULTY WITH WELDING OR ATTACHING TO TOWER LEGS. CONTRACTOR SHALL ADVISE CONSTRUCTION MANAGER PRIOR TO PLACING CIGBE ON ICE BRIDGE IF MOUNTING TO TOWER LEG IS POSSIBLE.



TYPICAL EQUIPMENT GROUNDING PLAN

SCALE: 3/8" = 1'-0"



PLANS PREPARED FOR:



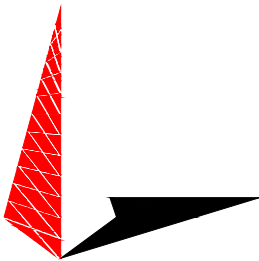
800 CORNERSTONE DRIVE
KNOXVILLE, TN 37932
(865) 777-8054

PROJECT INFORMATION:

**LINCOLN PARK
SITE #: 589403**

MCNALLY ROAD
(E911 ADDRESS T.B.D.)
PITTSBURG, KS 66762
(CRAWFORD COUNTY)

PLANS PREPARED BY:



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SEAL:



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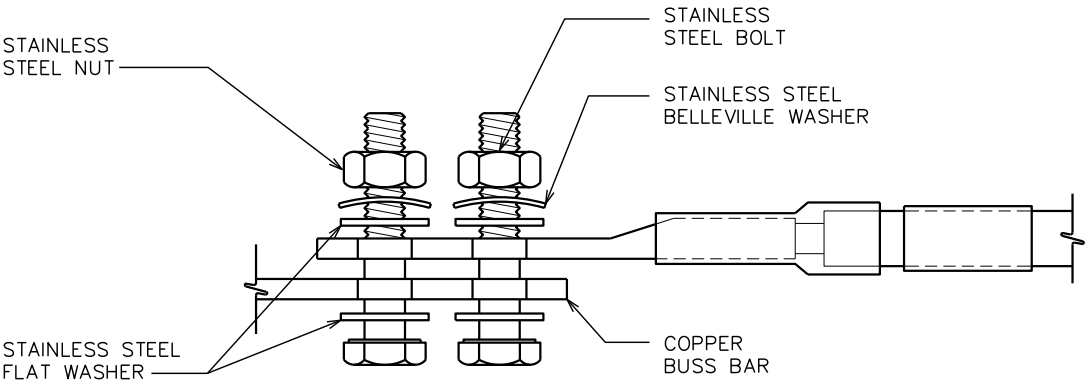
SHEET TITLE:

**EQUIPMENT
GROUNDING PLAN**

SHEET NUMBER: E-5	REVISION: 2 TEP #: 257244
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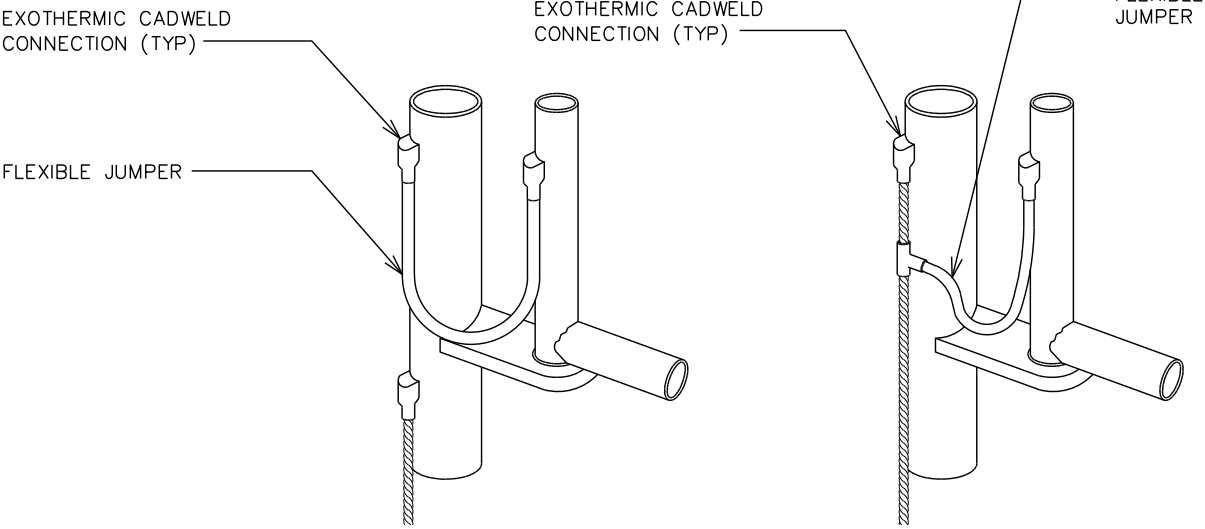
NOTES:

- 1. ALL HARDWARE SHALL BE 18-8 STAINLESS STEEL, INCLUDING THE BELLEVILLE WASHERS. COAT ALL SURFACES WITH KOPR-SHIELD BEFORE MATING.
- 2. FOR GROUND BOND TO STEEL ONLY: INSERT A DRAGON TOOTH WASHER BETWEEN THE LUG AND STEEL. COAT ALL SURFACES WITH KOPR-SHIELD.



TYPICAL LUG DETAIL

SCALE: N.T.S.

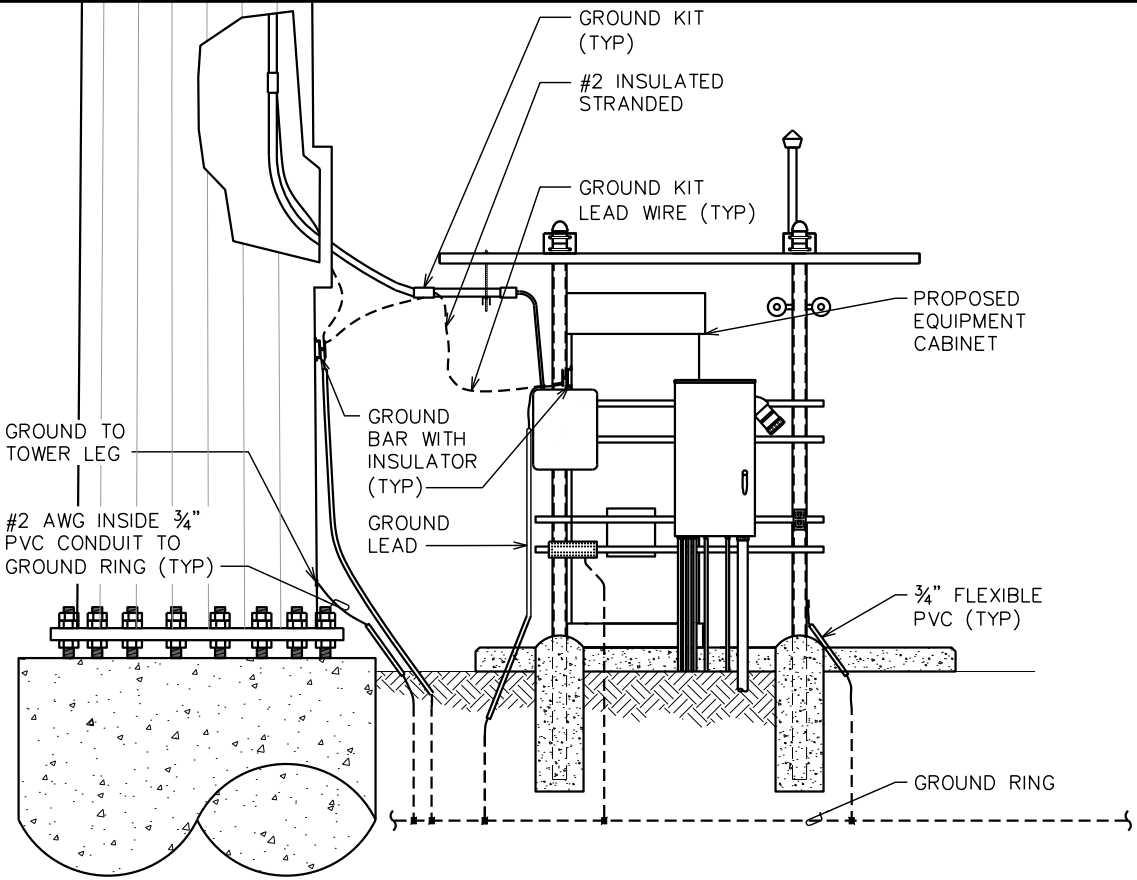


TYPICAL FENCE AND GATE BONDING DETAIL

SCALE: N.T.S.

NOTE:

ALL PVC CONDUITS USED FOR GROUNDING SHALL BE SEALED WITH SILICONE SEALANT AT BOTH ENDS



ICE BRIDGE/COAX/GROUNDING BAR ELEVATION

SCALE: N.T.S.

PLANS PREPARED FOR:



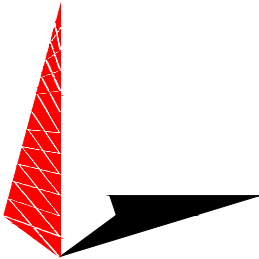
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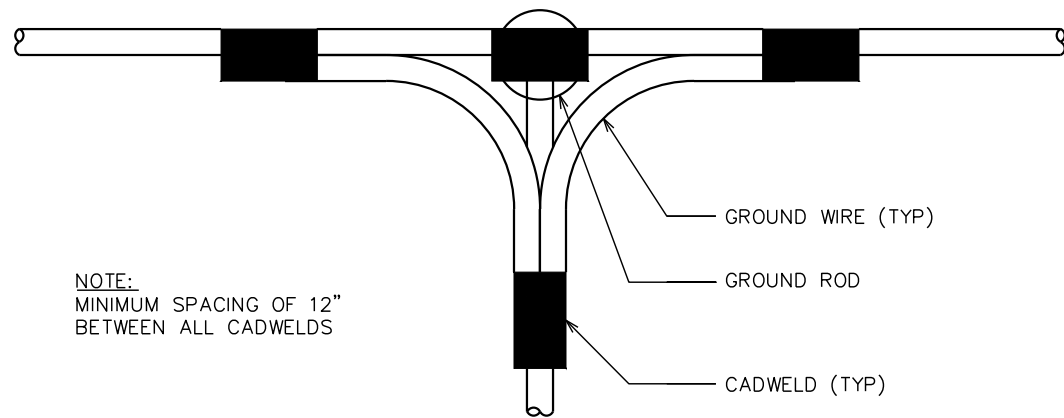
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DRAWN BY: GLB CHECKED BY: JKW

SHEET TITLE:

GROUNDING
DETAILS I

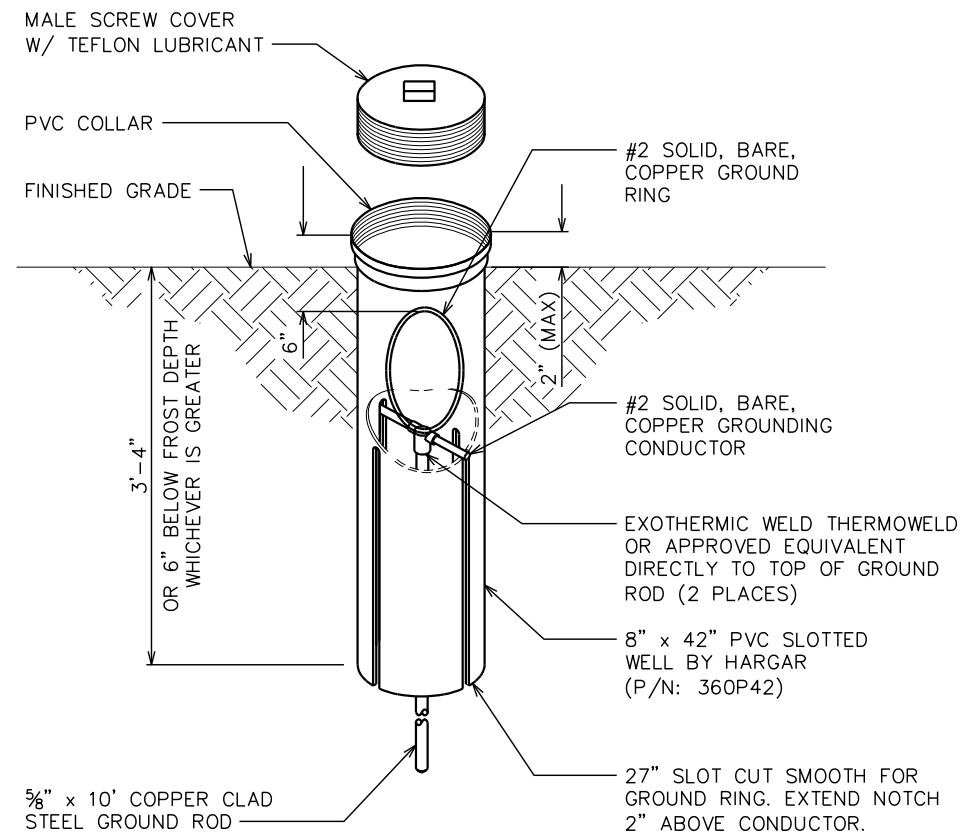
SHEET NUMBER:	REVISION:
E-6	2
	TEP #: 257244



NOTE:
MINIMUM SPACING OF 12"
BETWEEN ALL CADWELDS

TOP VIEW

SIDE VIEW

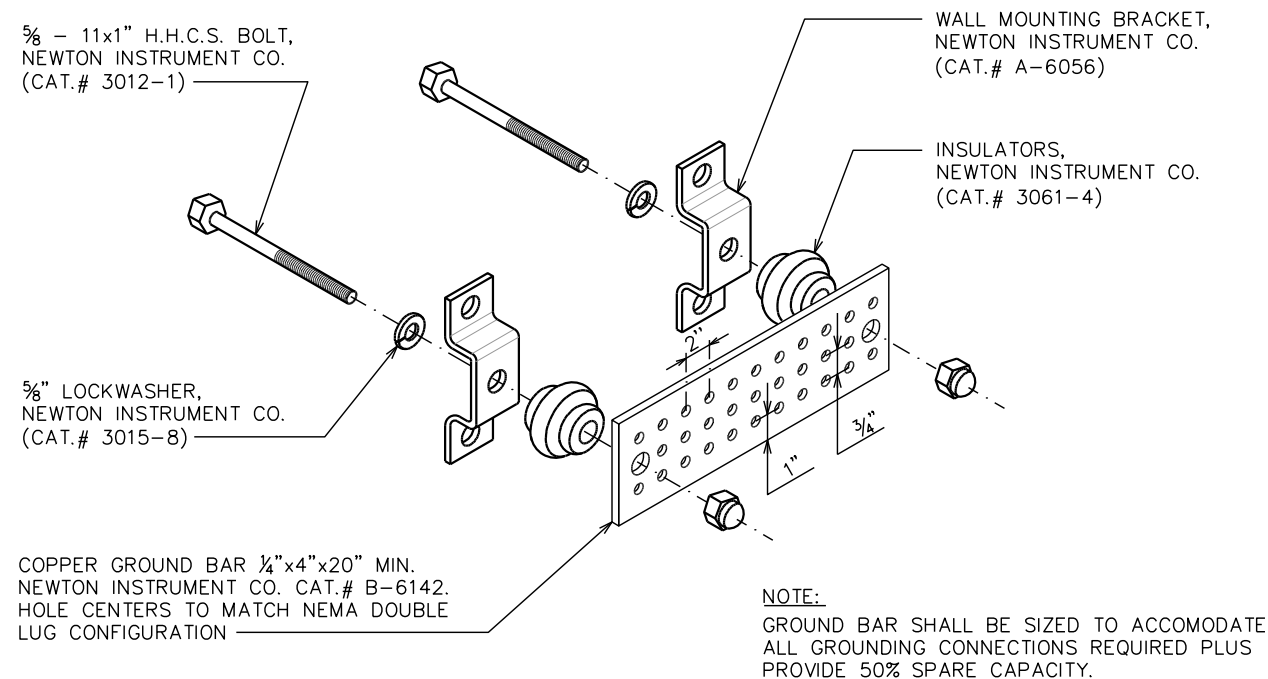


GROUND ROD WITH INSPECTION WELL

SCALE: N.T.S.

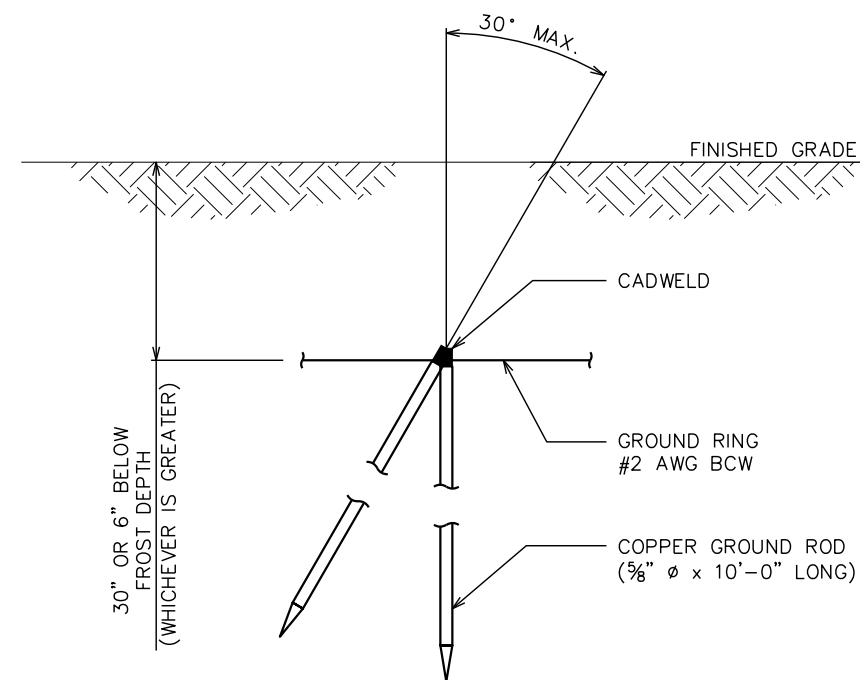
CADWELD GROUNDING DETAIL

SCALE: N.T.S.



STANDARD GROUND BAR DETAIL

SCALE: N.T.S.



COPPER-CLAD STEEL GROUND ROD

SCALE: N.T.S.

PLANS PREPARED FOR:



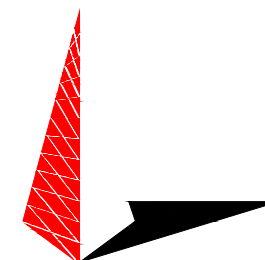
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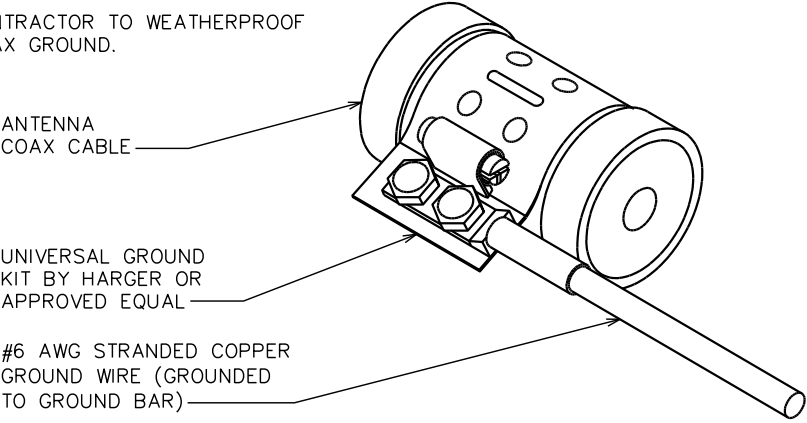
SHEET TITLE:

**GROUNDING
DETAILS II**

SHEET NUMBER:	REVISION:
E-7	2
	TEP #: 257244

NOTES:

1. DO NOT INSTALL COAX GROUND KIT AT A BEND.
2. CONTRACTOR TO WEATHERPROOF COAX GROUND.

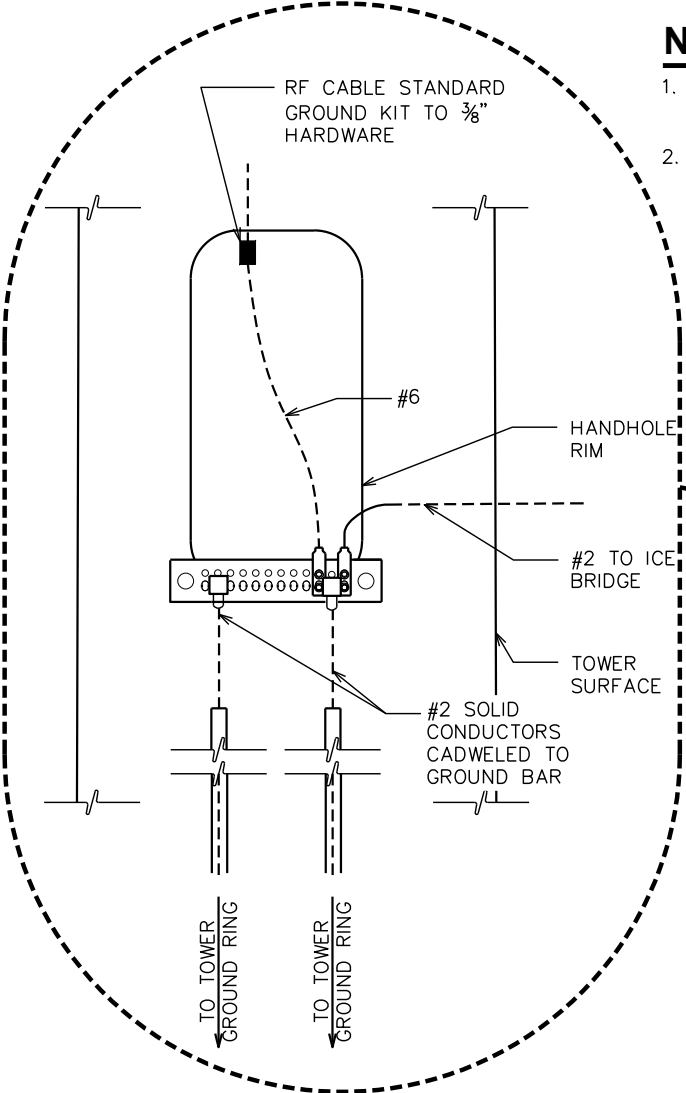


CABLE GROUNDING DETAIL

SCALE: N.T.S.

NOTES:

1. MINIMUM BEND RADIUS OF #2 SOLID CONDUCTOR IS 12"
2. ALL GROUND BARS SHALL BE INSTALLED WITH TAMPER RESISTANT MOUNTING HARDWARE.



RF CABLE STANDARD GROUND KIT

CIGBE GROUND BAR

#2 SOLID CONDUCTOR

STANDARD GROUND BAR. SEE DETAIL ON SHEET E-7.

RF CABLE STANDARD GROUND KIT TO 3/8" HARDWARE

STANDARD GROUND BAR, SEE DETAIL ON SHEET E-7. ATTACHED TO ANTENNA MOUNT OR EXTRA STEP PEG GUSSETS. BOND TO COAX ENTRY PORT.

ICE BRIDGE

SPLICE

WEATHERPROOFING SEALANT TO BE APPLIED AT TOP OF PVC (TYP)

3/4" PVC MIN. 24" INTO GROUND AND EXTENDED ALL THE WAY UP TO THE EXOTHERMIC CONNECTION (TYP)

ALL EXOTHERMIC WELDS ON SUPPORT/FENCE POSTS SHALL BE ABOVE GRADE FOR INSPECTION (TYP)

GROUND RING

ICE BRIDGE, COAX, STANCHION, AND TOWER GROUNDING DETAIL

SCALE: N.T.S.

PLANS PREPARED FOR:



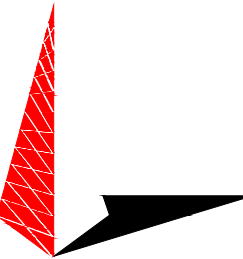
800 CORNERSTONE DRIVE
KNOXVILLE, TN 37932
(865) 777-8054

PROJECT INFORMATION:

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SITE #: 589403**

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PITTSBURG, KS 66762
(CRAWFORD COUNTY)

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DRAWN BY: GLB CHECKED BY: JKW

SHEET TITLE:

**GROUNDING
DETAILS III**

SHEET NUMBER:

E-8

REVISION:

2

TEP #: 257244

GENERAL NOTES:

1. ALL REFERENCES TO OWNER IN THESE DOCUMENTS SHALL BE CONSIDERED U.S. CELLULAR OR ITS DESIGNATED REPRESENTATIVE.
2. ALL WORK PRESENTED ON THESE DRAWINGS MUST BE COMPLETED BY THE CONTRACTOR UNLESS NOTED OTHERWISE. THE CONTRACTOR MUST HAVE CONSIDERABLE EXPERIENCE IN PERFORMANCE OF WORK SIMILAR TO THAT DESCRIBED HEREIN. BY ACCEPTANCE OF THIS ASSIGNMENT, THE CONTRACTOR IS ATTESTING THAT HE DOES HAVE SUFFICIENT EXPERIENCE AND ABILITY, THAT HE IS KNOWLEDGABLE OF THE WORK TO BE PERFORMED AND THAT HE IS PROPERLY LICENSED AND PROPERLY REGISTERED TO DO THIS WORK IN THE STATE OF KANSAS.
3. STRUCTURE IS DESIGNED IN ACCORDANCE WITH ANSI/TIA/EIA-222-H, 2009, AND CONFORMS TO THE REQUIREMENTS OF THE KANSAS BUILDING CODE, 2018 EDITION.
4. WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE KANSAS BUILDING CODE, 2018 EDITION.
5. UNLESS SHOWN OR NOTED OTHERWISE ON THE CONTRACT DRAWINGS, OR IN THE SPECIFICATIONS, THE FOLLOWING NOTES SHALL APPLY TO THE MATERIALS LISTED HEREIN, AND TO THE PROCEDURES TO BE USED ON THIS PROJECT.
6. ALL HARDWARE ASSEMBLY MANUFACTURER’S INSTRUCTIONS SHALL BE FOLLOWED EXACTLY AND SHALL SUPERSEDE ANY CONFLICTING NOTES ENCLOSED HEREIN.
7. IT IS THE CONTRACTOR’S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE, TO INSURE THE SAFETY OF THE STRUCTURE AND ITS COMPONENT PARTS DURING ERECTION AND/OR FIELD MODIFICATIONS. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF TEMPORARY BRACING, GUYS OR TIE DOWNS THAT MAY BE NECESSARY. SUCH MATERIAL SHALL BE REMOVED AND SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER THE COMPLETION OF THE PROJECT.
8. ALL DIMENSIONS, ELEVATIONS, AND EXISTING CONDITIONS SHOWN ON THE DRAWINGS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO BEGINNING ANY MATERIALS ORDERING, FABRICATION OR CONSTRUCTION WORK ON THIS PROJECT. CONTRACTOR SHALL NOT SCALE CONTRACT DRAWINGS IN LIEU OF FIELD VERIFICATIONS. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND THE OWNER’S ENGINEER. THE DISCREPANCIES MUST BE RESOLVED BEFORE THE CONTRACTOR IS TO PROCEED WITH THE WORK. THE CONTRACT DOCUMENTS DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY THE OWNER AND/OR THE ENGINEER SHALL NOT INCLUDE INSPECTION OF THE PROTECTIVE MEASURES OR THE PROCEDURES.
9. ALL MATERIALS AND EQUIPMENT FURNISHED SHALL BE NEW AND OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS AND IN CONFORMANCE WITH THE CONTRACT DOCUMENTS. ANY AND ALL SUBSTITUTIONS MUST BE PROPERLY APPROVED AND AUTHORIZED IN WRITING BY THE OWNER AND ENGINEER PRIOR TO INSTALLATION. THE CONTRACTOR SHALL FURNISH SATISFACTORY EVIDENCE AS TO THE KIND AND QUALITY OF THE MATERIALS AND EQUIPMENT BEING SUBSTITUTED.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR INSURING THAT THIS PROJECT AND RELATED WORK COMPLIES WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL SAFETY CODES AND REGULATIONS GOVERNING THIS WORK.
11. ACCESS TO THE PROPOSED WORK SITE MAY BE RESTRICTED. THE CONTRACTOR SHALL COORDINATE INTENDED CONSTRUCTION ACTIVITY, INCLUDING WORK SCHEDULE AND MATERIALS ACCESS, WITH THE RESIDENT LEASING AGENT FOR APPROVAL.
12. BILL OF MATERIALS AND PART NUMBERS LISTED ON CONSTRUCTION DRAWINGS ARE INTENDED TO AID CONTRACTOR. CONTRACTOR SHALL VERIFY PARTS AND QUANTITIES WITH MANUFACTURER PRIOR TO BIDDING AND/OR ORDERING MATERIALS.
13. ALL PERMITS THAT MUST BE OBTAINED ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR WILL BE RESPONSIBLE FOR ABIDING BY ALL CONDITIONS AND REQUIREMENTS OF THE PERMITS.
14. 24 HOURS PRIOR TO THE BEGINNING OF ANY CONSTRUCTION, THE CONTRACTOR MUST NOTIFY THE APPLICABLE JURISDICTIONAL (STATE, COUNTY OR CITY) ENGINEER.
15. THE CONTRACTOR SHALL REWORK (DRY, SCARIFY, ETC.) ALL MATERIAL NOT SUITABLE FOR SUBGRADE IN ITS PRESENT STATE. AFTER REWORKING, IF THE MATERIAL REMAINS UNSUITABLE, THE CONTRACTOR SHALL UNDERCUT THIS MATERIAL AND REPLACE WITH APPROVED MATERIAL. ALL SUBGRADES SHALL BE PROOFROLLED WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK PRIOR TO PAVING. ANY SOFTER MATERIAL SHALL BE REWORKED OR REPLACED.
16. THE CONTRACTOR IS REQUIRED TO MAINTAIN ALL PIPES, DITCHES, AND OTHER DRAINAGE STRUCTURES FREE FROM OBSTRUCTION UNTIL WORK IS ACCEPTED BY THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES CAUSED BY FAILURE TO MAINTAIN DRAINAGE STRUCTURE IN OPERABLE CONDITION.
17. ALL MATERIALS AND WORKMANSHIP SHALL BE WARRANTED FOR ONE YEAR FROM ACCEPTANCE DATE.
18. ALL BUILDING DIMENSIONS SHALL BE VERIFIED WITH THE PLANS (LATEST REVISION) PRIOR TO COMMENCING CONSTRUCTION. NOTIFY THE ENGINEER IMMEDIATELY IF ANY DESCREPACEIES ARE DISCOVERED. THE OWNER SHALL HAVE A SET OF APPROVED PLANS AVAILABLE AT THE SITE AT ALL TIMES WHILE WORK IS BEING PERFORMED. A DESIGNATED RESPONSIBLE EMPLOYEE SHALL BE AVAILABLE FOR CONTACT BY GOVERNING AGENCY INSPECTORS.

STRUCTURAL STEEL NOTES:

1. THE FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM TO THE AISC SPECIFICATIONS AND MANUAL OF STEEL CONSTRUCTION, 14TH EDITION.
2. UNLESS OTHERWISE NOTED, ALL STRUCTURAL ELEMENTS SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:

A. STRUCTURAL STEEL, ASTM DESIGNATION A36 OR A992-GR50.

B. ALL BOLTS, ASTM A325 TYPE I GALVANIZED HIGH STRENGTH BOLTS.

C. ALL NUTS, ASTM A563 CARBON AND ALLOY STEEL NUTS.

D. ALL WASHERS, ASTM F436 HARDENED STEEL WASHERS.
3. ALL CONNECTIONS NOT FULLY DETAILED ON THESE PLANS SHALL BE DETAILED BY THE STEEL FABRICATOR IN ACCORDANCE WITH AISC SPECIFICATIONS AND MANUAL OF STEEL CONSTRUCTION, 14TH EDITION.
4. HOLES SHALL NOT BE FLAME CUT THRU STEEL UNLESS APPROVED BY THE ENGINEER.
5. HOT-DIP GALVANIZE ALL ITEMS UNLESS OTHERWISE NOTED, AFTER FABRICATION WHERE PRACTICABLE. GALVANIZING: ASTM A123, ASTM, A153/A153M OR ASTM A653/A653M, G90, AS APPLICABLE.
6. REPAIR DAMAGED SURFACES WITH GALVANIZING REPAIR METHOD AND PAINT CONFORMING TO ASTM A780 OR BY APPLICATION OF STICK OR THICK PASTED MATERIAL SPECIFICALLY DESIGNED FOR REPAIR OF GALVANIZING. CLEAN AREAS TO BE REPAIRED AND REMOVE SLAG FROM WELDS. HEAT SURFACES TO WHICH STICK OR PASTE MATERIAL IS APPLIED, WITH A TORCH TO A TEMPERATURE SUFFICIENT TO MELT THE METALLICS IN STICK OR PASTE; SPREAD MOLTEN MATERIAL UNIFORMLY OVER SURFACES TO BE COATED AND WIPE OFF ANY EXCESS.
7. A NUT LOCKING DEVICE SHALL BE INSTALLED ON ALL PROPOSED AND/OR REPLACED BOLTS.
8. ALL PROPOSED AND/OR REPLACED BOLTS SHALL BE OF SUFFICIENT LENGTH TO EXCLUDE THE THREADS FROM THE SHEAR PLANE.
9. ALL PROPOSED AND/OR REPLACED BOLTS SHALL BE OF SUFFICIENT LENGTH SUCH THAT THE END OF THE BOLT BE AT LEAST FLUSH WITH THE FACE OF THE NUT. IT IS NOT PERMITTED FOR THE BOLT END TO BE BELOW THE FACE OF THE NUT AFTER TIGHTENING IS COMPLETED.
10. ALL ASSEMBLY AND ANCHOR BOLTS ARE TO BE TIGHTENED TO A "SNUG TIGHT" CONDITION AS DEFINED IN SECTION 8.1 OF THE AISC, "SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS", DATED JUNE 30, 2004.
11. FLAT WASHERS ARE TO BE INSTALLED WITH BOLTS OVER SLOTTED HOLES.
12. DO NOT OVER TORQUE ASSEMBLY BOLTS. GALVANIZING ON BOLTS, NUTS, AND STEEL PARTS MAY ACT AS A LUBRICANT, THUS OVER TIGHTENING MAY OCCUR AND MAY CAUSE BOLTS TO CRACK AND SNAP OFF.
13. PAL NUTS ARE TO BE INSTALLED AFTER NUTS ARE TIGHT AND WITH EDGE LIP OUT. PAL NUTS ARE NOT REQUIRED WHEN SELF-LOCKING NUTS ARE PROVIDED.
14. GALVANIZED ASTM A325 BOLTS SHALL NOT BE REUSED.
15. WELDING SHALL BE PERFORMED IN ACCORDANCE WITH AMERICAN WELDING SOCIETY (AWS) D1.1-2010 STRUCTURAL WELDING CODE – STEEL.

PLANS PREPARED FOR:



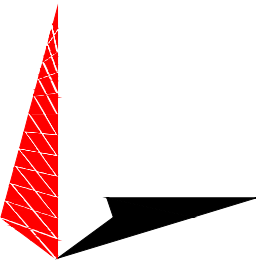
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PROJECT INFORMATION:

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SHEET TITLE:

PROJECT
NOTES

SHEET NUMBER: N-1	REVISION: 2 TEP #: 257244
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City of Pittsburg, Kansas
2022 Budget Recap
As of February 28, 2022
16.16% of Fiscal Year has passed

Budgeted Funds	Un-Encumbered Cash Balance 1/1/2022	Revenues			Expenditures			Y-T-D Net	Un-Encumbered Cash Balance 2/28/2022
		Adopted Budget 2022	Y-T-D Revenues 2/28/2022	Percent Received	Adopted Budget 2022	Y-T-D Expenses 2/28/2022	Percent Used		
General Fund	\$ 8,972,182	\$ 24,906,886	\$ 7,362,343	29.56%	\$ 24,615,262	\$ 4,306,926	17.50%	\$ 3,055,417	\$ 12,027,599
Public Library	355,267	938,983	509,273	54.24%	962,539	135,116	14.04%	374,157	729,424
Public Library Annuity	102,870	100	-	0.00%	127,370	102,870	0.00%	(102,870)	-
Public Library Capital Improvments	90,000	90,000		0.00%		33,551	0.00%	(33,551)	56,449
Special Alcohol & Drug	47,546	110,000	-	0.00%	105,500	4,174	3.96%	(4,174)	43,372
Special Parks & Recreation	-	110,000	-	0.00%	110,000	-	0.00%	-	-
Street & Highway	209,876	1,060,250	239,650	22.60%	1,101,266	128,679	11.68%	110,971	320,847
Street & Highway Sales Tax	1,686,878	2,308,207	468,825	20.31%	2,674,000	81,958	3.06%	386,867	2,073,745
Section 8 Housing	41,979	1,734,025	260,598	15.03%	1,661,205	246,939	14.87%	13,658	55,637
Revolving Loan Fund	2,036,235	1,190,156	542,992	45.62%	572,712	108,811	19.00%	434,181	2,470,416
Debt Service	1,424,800	4,454,568	1,098,652	24.66%	4,100,962	564,143	13.76%	534,509	1,959,309
Public Utilities	5,069,653	8,806,857	1,497,841	17.01%	9,423,860	1,738,107	18.44%	(240,266)	4,829,387
Stormwater	533,276	870,500	138,868	15.95%	935,275	111,711	11.94%	27,157	560,433
Totals	\$ 20,570,562	\$ 46,580,532	\$ 12,119,041	26.02%	\$ 46,389,951	\$ 7,562,984	16.30%	\$ 4,556,057	\$ 25,126,619

*Sales Tax collections are 15.3% compared to same period in 2021