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City of Pittsburg, Kansas
Planning Commission/Board of Zoning Appeals
Municipal Court Room, Law Enforcement Center
Monday, January 24, 2022 | 5:30 pm

- I. Call to Order
 - a. Flag Salute Led by Chairperson
- II. Election of Chairperson and Vice-Chairperson
 - a. Elect a new Chairperson
 - b. Elect a new Vice-Chairperson
- III. Consider the Following:
 - a. Approval of Minutes
 - i. Consider the approval of the December 20, 2021, Planning Commission/Board of Zoning Appeals meeting minutes.
 1. Motion, Second, and Vote
- IV. Public Hearings
 - a. Case No. 22-01 – City of Pittsburg – Zoning Change – North Industrial Park: The City of Pittsburg advertised for a Public Hearing to be held on January 24, 2022, at the Planning Commission/Board of Zoning Appeals Meeting, commencing at 5:30 pm, to consider a petition submitted by the City of Pittsburg to amend the Zoning Ordinance, changing certain areas from Not Zoned to IP-3: Planned Heavy Industrial.
 - i. Public Hearing
 1. Open Public Hearing
 2. Call applicant to speak about the request
 3. Hear persons in favor of the request
 4. Hear persons opposed to the request
 5. Allow for rebuttal
 6. Close Public Hearing
 - ii. Discussion & Deliberation
 - iii. Motion, Second, & Vote
 - b. Case No. 22-02 – City of Pittsburg – Variance – 910 Memorial Drive: The City of Pittsburg advertised for a Public Hearing to be held on January 24, 2022, at the Planning Commission/Board of Zoning Appeals meeting, commencing at 5:30 pm, to consider a petition submitted by the City of Pittsburg for a variance at 910 Memorial Drive.
 - i. Public hearing

1. Open Public Hearing
2. Call applicant to speak about the request
3. Hear persons in favor of the request
4. Hear persons opposed to the request
5. Allow for rebuttal
6. Close Public Hearing
- ii. Discussion & Deliberation
- iii. Motion, Second, & Vote
- c. Case No. 22-03 – Sullivan – Variance – 1515 E 14th: The City of Pittsburgh advertised for a Public Hearing to be held on January 24, 2022, at the Planning Commission/Board of Zoning Appeals Meeting, commencing at 5:30 pm, to consider a petition submitted by Matthew Sullivan for a variance at 1515 E 14th.
 - i. Public Hearing
 1. Open Public Hearing
 2. Call applicant to speak about the request
 3. Hear persons in favor of the request
 4. Hear persons opposed to the request
 5. Allow for rebuttal
 6. Close Public Hearing
 - ii. Discussion & Deliberation
 - iii. Motion, Second, & Vote
- d. Case No. 22-04 – Ribera – Conditional Use Permit – 205 W 20th: The City of Pittsburgh advertised for Public Hearing to be held on January 24, 2022, at the Planning Commission/Board of Zoning Appeals Meeting, commencing at 5:30 pm, to consider a petition submitted by Jose Ribera for a conditional use permit at 205 W 20th.
 - i. Public Hearing
 1. Open Public Hearing
 2. Call applicant to speak about the request
 3. Hear persons in favor of the request
 4. Hear persons opposed to the request
 5. Allow for rebuttal
 6. Close Public Hearing
 - ii. Discussion & Deliberation
 - iii. Motion, Second, & Vote
- V. Site Plans
 - a. Case No. 21-25 – Horton’s Pizza Plus – Site Plan – 1601 E 4th: Consider the approval of a Site Plan submitted by Horton’s Pizza Plus for property located at 1601 E 4th.
 - i. Discussion & Deliberation
 - ii. Motion, Second, Vote
- VI. Adjournment

City of Pittsburg, Kansas
Planning Commission/Board of Zoning Appeals
Municipal Court Room, Law Enforcement Center
December 20, 2021 | 5:30 pm

Members Present: Martin Dickinson, Mike Hanika, Laura Klusener, Michael Wilber
City Staff: DeAnna Goering, Quentin Holmes,

- I. Call to Order
 - a. Meeting called to order at 5:36 PM
 - b. Vice-Chairperson Dickinson led the flag salute
- II. Consider the Following:
 - a. Approval of Minutes
 - i. Consider the approval of the November Meeting Minutes (November 22, 2021)
 1. Motion: Approve November Minutes (Klusener)
 - a. Motion: Seconded (Wilber)
 - b. Motion: Carried, 4-0-0
- III. Public Hearings
 - a. Case No. 21-23 – Cesar Segovia – Site Plan – 3014 N Broadway
 - i. On the motion of Wilber, seconded by Hanika, the Planning Commission/Board of Zoning Appeals approved the site plan submitted by Cesar Segovia for 3014 N Broadway.
 1. Motion Carried, 3-0-1 (Abstain: Dickinson)
 - b. Case No. 21-24 – City of Pittsburg – Variance – 510 Deill
 - i. Following Public Hearing, on the motion of Wilber, seconded by Hanika, the Planning Commission/Board of Zoning Appeals approved the request submitted by the City of Pittsburg to consider a variance at 510 Deill.
- IV. Adjournment
 - a. Motion: Adjourn the regular meeting of the Planning Commission/Board of Zoning Appeals. (Klusener)
 - i. Motion: Seconded (Wilber)
 - ii. Motion: Carried, 4-0-0
 - b. Meeting adjourned at 05:54 pm

Chairperson

ATTEST:

DeAnna Goering, Secretary



Return Completed Application to:
Zoning Administrator
201 W 4th Street
Pittsburg, KS 66762

Case No.: 22-01
Date Filed: 12/16/2021
Date Paid: No Charge - City
Publication Date: 12/7/2021
PC/BZA Date: 1/23/2022

2021

Zoning Change Application

Applicant's Information

Name: City of Pittsburg
Address: 201 W 4th, PO Box 688, Pittsburg, KS 66762
Phone: 230-5551 Email: deanna.goering@pittks.org

Property Owner's Information

Name: City of Pittsburg
Address: 201 W 4th, PO Box 688, Pittsburg, KS 66762
Phone: 230-5551 Email: deanna.goering@pittks.org

Property Information

Property Address: 4303 N Free King Hwy (019-202-09-0-00-00-010.00-0)
Property's Current Zone: NZ/Ag Property's Proposed Zone: IP-3
Property's Current Use: ☐ Commercial ☐ Residential ☐ Industrial ☒ Vacant
Property's Desired Use: ☐ Commercial ☐ Residential ☒ Industrial ☐ Vacant

Use and Zoning of Adjacent Properties:

	North	South	East	West
Use:	Vacant/Agricultural	Industrial	Vacant/Agricultural	Vacant/Agricultural
Zoning:	NZ/Agricultural	IP-3	NZ/Agricultural	NZ/Agricultural

Reasons for Zoning Change: Industrial parcel addition to City of Pittsburg.

Legal Description of Property: See attached page.

Owner's Certification

I/we acknowledge the receipt of the instruction packet explaining the method of submitting this application. I/we realize that this application cannot be processed unless it is completed in its entirety, is accompanied by all required supporting documentation as required in the instruction packet, and is accompanied by the appropriate, non-refundable fee.

I/we further certify that the foregoing information is true and correct to the best of my/our knowledge. If my/our request is granted, I/we will complete construction in accordance with plans submitted and approved by the Planning Commission/Board of Zoning Appeals (PC/BZA).

I/we authorize unannounced inspections of the subject property by City staff for the purpose of collecting information to review and analyze this request. I/we acknowledge that the PC/BZA and the Governing Body of the City of Pittsburg, Kansas, shall have authority to impose such conditions as it deems necessary in order to serve the public interest and welfare.

Deanna Greering, for City of Pittsburg 12/01/21
Owner's Signature Date

Owner's Signature

Date

This application must bear the signature(s) of the property owner(s). If an authorized agent signs on the owner's behalf, the agent shall sign his own name and attach the Owner Authorization form to this application.

Office Use Only

Date Received: 12/01/2021

Date Reviewed: 1/23/2022

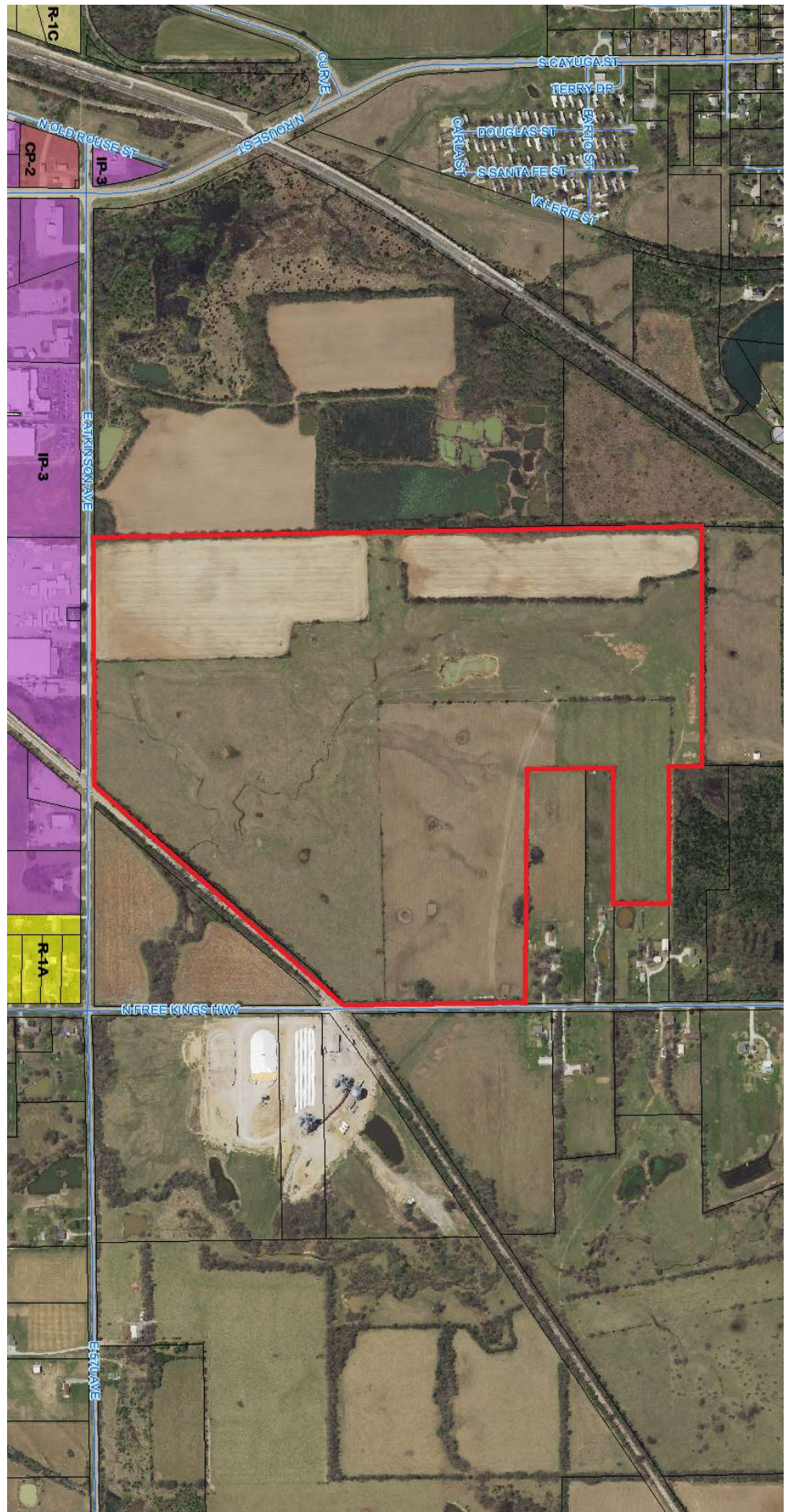
☐ Approved

☐ Denied

Conditions of Approval/Reasons for Denial

Signature of Zoning Administrator

(seal)



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DEC 07 2021

City of Pittsburg
Community Development

Ownership List

PROPERTY TAX ID: 019-202-09-0-00-00-010.00-0

PROPERTY OWNER & ADDRESS:

4303 N. Free King Hwy
Pittsburg, KS 66762

Subject Property:

The Surface only of the South Twenty-five (25) Acres of the Southwest Quarter (SW1/4) of the Northeast Quarter (NE/4) of Section Nine (9), Township Thirty (30) South, Range Twenty-five (25) East of the Sixth Principal Meridian, Crawford County, Kansas, according to the United States Government Survey thereof.
AND

The North Half of the South Half of the Southeast Quarter (SE/4) of the Northeast Quarter (NE/4) of Section Nine (9), Township Thirty (30) South, Range Twenty-Five (25) East of the Sixth Principal Meridian, Crawford County, Kansas, according to the United States Government Survey thereof.
AND

The surface only of the Southeast Quarter (SE/4) of Section Nine (9), Township Thirty (30) South, Range Twenty-Five (25) East of the Sixth Principal Meridian, Crawford County, Kansas, according to the United States Government Survey thereof,

EXCEPT

the North Five (5) Acres of the Northeast Quarter of the said Southeast Quarter of Section Nine (9)

ALSO EXCEPT

the Right-of-Way of the Missouri Pacific Railroad Company, formerly the Nevada and Minden Railway Company, over and across said Real Estate.

ALSO EXCEPT

that part of the Southeast Quarter of the Southeast Quarter (SE/4 of SE/4) lying Southeast of the Missouri Pacific Railroad Company right-of-way (formerly known as the Southeast Kansas Railroad Company & the Nevada and Minden Railway Company), as now established, in Section Nine (9), Township Thirty (30) South, Range Twenty-Five (25) East, Crawford County, Kansas, being more particularly described as follows:

Commencing at a found aluminum monument marking the Southeast corner of the Southeast Quarter of said Section Nine (9); thence South 88 degrees 18 minutes 24 seconds West along the South line of said Southeast Quarter, a distance of 38.00 feet, to the point of intersection with the West right-of-way line of North Free King Highway as now established, said point also being the POINT OF BEGINNING; thence continuing South 88 degrees 18 minutes 24 seconds West, along said South line, a distance of 1,152.37 feet, to the point of intersection with the Southeast right-of-way line of Missouri Pacific Railroad Company right-of-way (formerly known as Southeast Kansas Railroad Company & the Nevada and Minden Railway Company), as now established; thence departing said South line, North 38 degrees 55 minutes 29 seconds East, along said Southeast right-of-way line, a distance of 1,441.87 feet to a point of curvature; thence in a Northeasterly direction, continuing along said Southeast right-of-way line, along a tangent curve to right, having a radius of 2,814.79 feet, through a central angle of 06 degrees 05 minutes 06 seconds East, an arc length of 298.94 feet to a point of non-tangency, said point also being on the West right-of-way line of said North Free King Highway; thence departing said Southeast right-of-way line, South 02 degrees 01 minutes 03 seconds East, along said West right-of-way line, a distance of 1,310.66 feet to the point of beginning.

2020900000002010
2020902012001000
Nicholas Drew & Katelyn Ann Standlee
540 E. McKay St.
Frontenac, KS 66763

2020900000007000
City of Frontenac
PO Box 1012
Frontenac, KS 66763-1012

2020900000008000
Bill Muse Trust
4107 N. Free King Hwy
Pittsburg, KS 66762-8415

2020900000009000
John Wayne Bough
4203 Free King Hwy
Pittsburg, KS 66762-8414

2020900000010010
2021000000014000
2021000000017010
The Scoular Company
2027 Dodge St.
Omaha NE 68102-1240

2020900000011000
2020900000012000
2051601002001000
City of Pittsburg Kansas
PO Box 688
Pittsburg, KS 66762-0688

2021000000012000
Stanley L. Forrest
4306 N. Free King Hwy
Pittsburg, KS 66762-8413

2021000000012020

Michael R. & Nancy S. Natalini Rev. Living Trust
4404 N. Free King Hwy
Pittsburg, KS 66762-8561

2021000000012030

Daniel A. & Christina L. Smith
4112 N. Free King Hwy
Pittsburg, KS 66762-8415

2021000000014010

Vanbecelaere Family Trust
4108 N. Free King Hwy
Pittsburg, KS 66762-8415

2051601001003010

Kin Network Inc.
C/O Duff & Phelps LLC
PO Box 2629
Addison, TX 75001-2629

2051601001003020

Michael G. & Teri L. Blancho
707 N. Free King Hwy
Pittsburg, KS 66762-8482

2051601002002000

Sanderson Pipe Corporation
875 International Blvd.
Clarksville, TN 37040

2051602001001000

Pitt Plastics Inc.
PO Box 405
Lolita, TX 77971-0405

We hereby certify the following to be a true and correct list of property owners within a 200 foot radius of:

The Surface only of the South Twenty-five (25) Acres of the Southwest Quarter (SW1/4) of the Northeast Quarter (NE/4) of Section Nine (9), Township Thirty (30) South, Range Twenty-five (25) East of the Sixth Principal Meridian, Crawford County, Kansas, according to the United States Government Survey thereof.

AND

The North Half of the South Half of the Southeast Quarter (SE/4) of the Northeast Quarter (NE/4) of Section Nine (9), Township Thirty (30) South, Range Twenty-Five (25) East of the Sixth Principal Meridian, Crawford County, Kansas, according to the United States Government Survey thereof.

AND

The surface only of the Southeast Quarter (SE/4) of Section Nine (9), Township Thirty (30) South, Range Twenty-Five (25) East of the Sixth Principal Meridian, Crawford County, Kansas, according to the United States Government Survey thereof,

EXCEPT

the North Five (5) Acres of the Northeast Quarter of the said Southeast Quarter of Section Nine (9)

ALSO EXCEPT

the Right-of-Way of the Missouri Pacific Railroad Company, formerly the Nevada and Minden Railway Company, over and across said Real Estate.

ALSO EXCEPT

that part of the Southeast Quarter of the Southeast Quarter (SE/4 of SE/4) lying Southeast of the Missouri Pacific Railroad Company right-of-way (formerly known as the Southeast Kansas Railroad Company & the Nevada and Minden Railway Company), as now established, in Section Nine (9), Township Thirty (30) South, Range Twenty-Five (25) East, Crawford County, Kansas, being more particularly described as follows:

Commencing at a found aluminum monument marking the Southeast corner of the Southeast Quarter of said Section Nine (9); thence South 88 degrees 18 minutes 24 seconds West along the South line of said Southeast Quarter, a distance of 38.00 feet, to the point of intersection with the West right-of-way line of North Free King Highway as now established, said point also being the POINT OF BEGINNING; thence continuing South 88 degrees 18 minutes 24 seconds West, along said South line, a distance of 1,152.37 feet, to the point of intersection with the Southeast right-of-way line of Missouri Pacific Railroad Company right-of-way (formerly known as Southeast Kansas Railroad Company & the Nevada and Minden Railway Company), as now established; thence departing said South line, North 38 degrees 55 minutes 29 seconds East, along said Southeast right-of-way line, a distance of 1,441.87 feet to a point of curvature; thence in a Northeasterly direction, continuing along said Southeast right-of-way line, along a tangent curve to right, having a radius of 2,814.79 feet, through a central angle of 06 degrees 05 minutes 06 seconds East, an arc length of 298.94 feet to a point of non-tangency, said point also being on the West right-of-way line of said North free King Highway; thence departing said Southeast right-of-way line, South 02 degrees 01 minutes 03 seconds East, along said West right-of-way line, a distance of 1,310.66 feet to the point of beginning.

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**City of Pittsburg
Community Development**

Security 1st Title LLC

By: Debra L. Engstrom
Debra L. Engstrom, Licensed Abstractor

File No. 2492031

22-01: Zoning change- North Industrial Park

AFFIDAVIT OF PUBLICATION

STATE OF KANSAS, COUNTY OF CRAWFORD,
SS:

Larry Hiatt, of lawful age, being first duly sworn,
depose and saith, he/she is Legal Representative
of the Pittsburg Morning Sun.

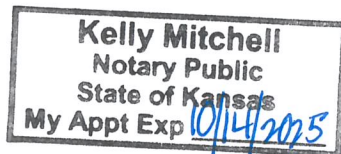
A daily newspaper published in the City of
Pittsburg, Crawford County, Kansas, and not
a trade, religious, or fraternal publication,
and which newspaper has been entered as
second-class mail matter in the United States
Post Office, Pittsburg, Kansas. The Pittsburg
Morning Sun has been continuously and
uninterruptedly published daily for more
than fifty weeks a year and has been so
published for more than one year prior to
the first publication of the notice hereinafter
mentioned. A copy of that notice, is hereto
attached, and was published in the regular
and entire edition December 7, 2021 issue of said
Pittsburg Morning Sun. Affiant further says that
he has personal knowledge of the statements above
set forth, and that they are true.


December 13, 2021


Notary Public

My Commission Expires:

Printer's Fee:



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DEC 20 2021

City of Pittsburg
Community Development

(Published in The Pittsburg Morning Sun
on Tuesday, December 7, 2021)

PUBLIC NOTICE

Planning Commission/Board of Zoning Appeals

Notice of Public Hearing

The Planning Commission/Board of Zoning Appeals of
the City of Pittsburg, KS, will hold a Public Hearing on
December 20, 2021 at 5:30 pm, in the Municipal Court
Room of the Law Enforcement Center, 201 N Pine, to
consider amending the Zoning Ordinance, changing certain
areas from Not Zoned to IP-3: Planned Heavy Industrial.
The property is described as:

A parcel of land located in the East half of Section 9,
Township 30 South, Range 25 East of the 6th Principal
Meridian, Crawford County, Kansas, more particularly
described as follows:

Beginning at the Southwest corner of the Southeast
Quarter of said Section, thence N03°12'44"W along the
West line of said Quarter a distance of 2669.15 feet to the
Northwest corner of said Quarter; thence N01°35'42"W
along the West line of the Northeast Quarter of said
Section a distance of 855.19 feet to the Southwest
corner of a parcel described in Deed Book 641, Page
126 recorded in the Crawford County, Register of Deeds
Office; thence N88°35'16"E along the South line of said
parcel a distance of 1358.82 feet to the Southeast corner
of said parcel, point also being on the West line of the
Southeast Quarter of the Northeast Quarter; thence
S02°01'21"E along said West line a distance of 183.31 feet
to the Northwest corner of the South Half of the Southeast
Quarter of the Northeast Quarter; thence N88°30'08"E
along the North line of the South Half of the Southeast
Quarter of the Northeast Quarter a distance of 768.06
feet; thence S00°51'46"E a distance of 333.09 feet; thence
S88°27'30"W a distance of 760.91 feet to the West line of
the Southeast Quarter of the Northeast Quarter; thence
S02°05'27"E along said West line a distance of 333.67
feet to the Southwest corner of the Southeast Quarter
of the Northeast Quarter; thence S02°36'49"E along
the West line of the Northeast Quarter of the Southeast
Quarter a distance of 166.66 feet; thence N88°24'26"E a
distance of 1364.07 feet to the East line of the Southeast
Quarter; thence S02°01'02"E along said East line a
distance of 1018.83 feet to the Northwest Right-of-Way
line of the Missouri Pacific Railroad Company; thence
along said Right-of-Way line on a non-tangent curve to
the left having a radius of 2914.79 feet, an arc length of
451.50 feet, a chord length of 451.05 feet and a chord
bearing of S43°21'44"W; thence continuing along said
Right-of-Way line S38°55'29"W a distance of 1527.65 feet
to the South line of said Quarter; thence S88°18'18"W
along said South line a distance of 1353.93 feet to the
Point of Beginning. Said parcel contains 169.68 acres,
more or less, and is subject to easements, reservations
and restrictions of record. Legal Description prepared by
Thad C. Reynolds, L.S.#1354, on November 16, 2021.
Dated this December 2, 2021.

Planning Commission/Board of Zoning Appeals

ATTEST:

Dexter Neisler

Zoning Administrator

Citizens with disabilities needing accommodations in
order to attend this Public Hearing should contact the
City Zoning Administrator's Office at 620-280-5517 no
later than 48 hours prior to the scheduled public hearing.

Tasks Report

22-01: Zoning Change - North Industrial Park — City of Pittsburgh

Generated: 20 Jan 2022 09:11



P&Z Administrative Tasks

Active Tasks

Task	Start Date	Due Date	Responsible	Created By	Priority	Progress	Status
Prepare City Commission Agenda Item			DeAnna G.	DeAnna G.		0%	(Not started)
Send Applicant Letter			DeAnna G.	DeAnna G.		0%	(Not started)
Upload Approved Minutes			DeAnna G.	DeAnna G.		0%	(Not started)

Completed Tasks

Task	Start Date	Due Date	Responsible	Created By	Priority	Progress	Status
Completed Application Received			DeAnna G.	DeAnna G.		100%	Completed 12/02/2021 by DeAnna G.
Newspaper Publication			DeAnna G.	DeAnna G.		100%	Completed 12/02/2021 by DeAnna G.
Notice to Property Owners			DeAnna G.	DeAnna G.		100%	Completed 12/07/2021 by DeAnna G.
Notice to Utility Companies			DeAnna G.	DeAnna G.		100%	Completed 12/07/2021 by DeAnna G.
Assigned Meeting Date			DeAnna G.	DeAnna G.		100%	Completed 12/02/2021 by DeAnna G.
Distribute Packets			DeAnna G.	DeAnna G.		100%	Completed 01/20/2022 by DeAnna G.



Return Completed Application to:
Zoning Administrator
201 W 4th Street
Pittsburg, KS 66762

Case No.: 22-02
Date Filed: 12/15/21
Date Paid: No charge
Publication Date: 12/22/21
PC/BZA Date: 1/24/2022

Rdy

Variance Application

Applicant's Information

Name: City of Pittsburg
Address: 201 W 4th, PO Box 688, Pittsburg, KS 66762
Phone: 620-231-4100 Email: jay.bylers@pittks.org

Property Information

Address of Affected Property: 910 Memorial Drive
Applicant's Interest in Property: Owner
Nature of Requested Variance: Lincoln Park Communications Tower

Legal Description of Property: S19, T30, R25, Acres: 139.7, N 1/2 1/2 E Hwy 69, W of Olive Str, S of 20th Str, N of 12th Str 3/4 NW of Memorial Drive, also PT VAC 15th Str, PT VAC Olive Str; ALSO PT Lots 6-8, Block 12, K&T Coal Co's 4th Add.

Attach a sketch of the proposed variance.

See attached.

Owner's Certification

I/we acknowledge the receipt of the instruction packet explaining the method of submitting this application. I/we realize that this application cannot be processed unless it is completed in its entirety, is accompanied by all required supporting documentation as required in the instruction packet, and is accompanied by the appropriate, non-refundable fee.

I/we further certify that the foregoing information is true and correct to the best of my/our knowledge. If my/our request is granted, I/we will complete construction in accordance with plans submitted and approved by the Planning Commission/Board of Zoning Appeals (PC/BZA).

I/we authorize unannounced inspections of the subject property by City staff for the purpose of collecting information to review and analyze this request. I/we acknowledge that the PC/BZA and the Governing Body of the City of Pittsburg, Kansas, shall have authority to impose such conditions as it deems necessary in order to serve the public interest and welfare.

Deanna Gearing for Jay Byers
Owner's Signature

12/15/2021
Date

Owner's Signature

Date

This application must bear the signature(s) of the property owner(s). If an authorized agent signs on the owner's behalf, the agent shall sign his own name and attach the Owner Authorization form to this application.

Office Use Only

Date Received: 12/15/21

Date Reviewed: 1/24/2022

☐ Approved

☐ Denied

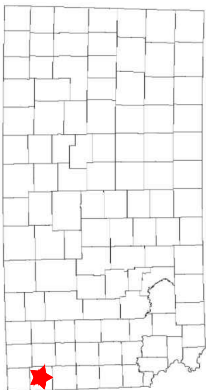
Conditions of Approval/Reasons for Denial

Signature of Zoning Administrator

(seal)



STATE LOCATION



SITE LOCATION



DRIVING DIRECTIONS

FROM SPRINGFIELD-BRANSON NATIONAL AIRPORT: TAKE PREFERRED ROUTE TO MO-266 W. TURN LEFT ONTO N STATE HWY B. TURN RIGHT ONTO I-44 W TOWARDS JOPLIN. MERGE ONTO I-44. TAKE EXIT 57 FOR MO-96. TURN RIGHT ONTO CO RD 80. TURN LEFT ONTO BASE LINE BLVD. TURN RIGHT ONTO MO-171 N. CONTINUE ONTO KS-171 W. TURN RIGHT ONTO US-160 E/US-69 N. TURN RIGHT ONTO 12TH ST. TURN LEFT ONTO MCNALLY RD. TURN LEFT. SITE WILL BE DIRECTLY AHEAD.

PROJECT TEAM

PROJECT CONTACT:

NAME US CELLULAR CORPORATION
ADDRESS 800 CORNERSTONE DRIVE
CITY, STATE, ZIP KNOXVILLE, TN 37932
CONTACT KEN HARDIN
PHONE (865) 777-8054

TOWER OWNER:

NAME US CELLULAR CORPORATION
ADDRESS 800 CORNERSTONE DRIVE
CITY, STATE, ZIP KNOXVILLE, TN 37932
CONTACT KEN HARDIN
PHONE (865) 777-8054

CIVIL ENGINEER:

NAME TOWER ENGINEERING PROFESSIONALS, INC.
ADDRESS 326 TRYON ROAD
CITY, STATE, ZIP RALEIGH, NC 27603-3530
CONTACT JEREMY K. WOOSTER, P.E.
PHONE (919) 661-6351

ELECTRICAL ENGINEER:

NAME TOWER ENGINEERING PROFESSIONALS, INC.
ADDRESS 326 TRYON ROAD
CITY, STATE, ZIP RALEIGH, NC 27603-3530
CONTACT JEREMY K. WOOSTER, P.E.
PHONE (919) 661-6351

PROPOSED 120-FT MONOPOLE
(124-FT OVERALL HEIGHT)

SITE NAME:
LINCOLN PARK

SITE NUMBER:
589403

SITE ADDRESS (E911 ADDRESS TBD):

MCNALLY ROAD
PITTSBURG, KS 66762
(CRAWFORD COUNTY)

INDEX OF SHEETS

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E-2	ONE-LINE DIAGRAM & POWER PANEL SCHEDULE	2
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PROJECT INFORMATION

LATITUDE: N 37° 25' 12.22" * (NAD '83)
LONGITUDE: W 94° 42' 46.51" * (NAD '83)
EXISTING GROUND ELEVATION: 912.7' ± * (NAVD '88)
PROPOSED GROUND ELEVATION: 913.0' ± (NAVD '88)
* INFORMATION PER SURVEY PROVIDED BY HUSKER SURVEYING, DATED 05/04/21.

TOWER TYPE: 120' MONOPOLE (124' OVERALL)
LOADING TYPE: 4T4R/2T2R
ACCESS ISSUES: N/A
GATE COMBO: 8722

STRUCTURAL NOTE

STRUCTURAL STATUS:
• MOUNT SA - N/A
• TOWER SA - N/A

SCOPE OF WORK

TOWER SCOPE:

- PROPOSED EQUIPMENT:
- (5) DENGYO OC18-2LX2H-BW65 ANTENNAS
 - (3) SECTOR FRAMES (SABRE P/N: C1085777CDP OR APPROVED EQ.)
 - (2) COLLAR MOUNTS (SABRE P/N: C10857801DP OR APPROVED EQ.)
 - (2) QUAD BRACKET MOUNTS (SITE PRO P/N: UGLMA OR APPROVED EQ.)
 - (6) DUAL MOUNTS (SITE PRO P/N: CM18 OR APPROVED EQ.)
 - (2) 1½" HYBRID CABLE
 - (2) RAYCAP RUSDC-6267-PF-48
 - (3) NOKIA AHLOA RRHS
 - (2) NOKIA AHCA RRHS
 - (3) NOKIA AHFB RRHS
 - (3) GROUND BARS (TOWER TOP, TOWER MIDDLE, AND BASE OF TOWER)

- LTE JUMPERS:
- (3) POWER JUMPERS FROM RAYCAP TO BAND 71/12 RRHS
 - (3) POWER JUMPERS FROM RAYCAP TO BAND 2/4 RRHS
 - (2) POWER JUMPERS FROM RAYCAP TO BAND 5 RRHS
 - (6) FIBER JUMPERS FROM RAYCAP TO BAND 71/12 RRHS
 - (6) FIBER POWER JUMPERS FROM RAYCAP TO BAND 2/4 RRHS
 - (4) FIBER JUMPERS FROM RAYCAP TO BAND 5 RRHS
 - (12) PROPOSED ½" JUMPERS FROM BAND 71/12 RRHS TO ANTENNA
 - (12) PROPOSED ½" JUMPERS FROM BAND 2/4 RRHS TO ANTENNA
 - (8) PROPOSED ½" JUMPERS FROM BAND 5 RRHS TO ANTENNA
 - (3) RET JUMPERS FROM BAND 71/12 RRHS TO ANTENNA
 - (2) RET JUMPERS FROM BAND 5 RRHS TO ANTENNA

GROUND EQUIPMENT SCOPE:

- PROPOSED EQUIPMENT:
- (1) CHARLES EQUIPMENT CABINETS
 - (1) 10'x12' CONCRETE PAD
 - (1) ICE BRIDGE (19'-0" IN LENGTH REQUIRED)
 - (1) 10'x12' EQUIPMENT CANOPY (SITEPRO P/N:COV012-B)
 - (2) RAYCAP RUSDC-6267-PF-48 (MOUNTED ON H-FRAME)
 - (1) JUNCTION BOX
 - (2) GROUND BARS
 - (1) CAC EQUIPMENT CABINET
 - (1) TELCO BOX
 - (1) 200A POWER METER
 - (1) MULTI-GANG METER SERVICE RACK WITH TELCO BOX (COORDINATE WITH LOCAL UTILITY COMPANY)
 - (4) 6" UNISTRUTS FOR H-FRAME AND U-BOLTS FOR MOUNTING

SPECIAL REQUIREMENTS:

ANTENNA AZIMUTHS:
CONTRACTOR SHALL VERIFY AZIMUTHS PRIOR TO CONSTRUCTION.
CONTRACTOR TO REQUEST RF SHEET FROM CM, DO NOT GO ONLY OFF DRAWINGS.

UTILITIES:

POWER COMPANY: CDL ELECTRIC
CONTACT: CUSTOMER SERVICE
PHONE: (800) 392-4942
METER # ON SITE: 40 470 965
FIBER COMPANY: AT&T
CONTACT: CUSTOMER SERVICE
PHONE: (800) 288-2020
PEDESTAL # NEAR SITE: UNKNOWN



Know what's Below.
Call before you dig.

PLANS PREPARED FOR:

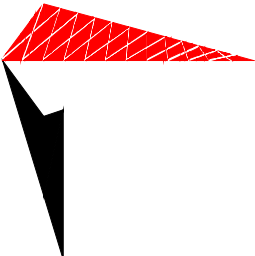
uscellular
800 CORNERSTONE DRIVE
KNOXVILLE, TN 37932
(865) 777-8054

PROJECT INFORMATION:

LINCOLN PARK
SITE #: 589403

MCNALLY ROAD
(E911 ADDRESS T.B.D.)
PITTSBURG, KS 66762
(CRAWFORD COUNTY)

PLANS PREPARED BY:



TOWER ENGINEERING PROFESSIONALS
326 TRYON ROAD
RALEIGH, NC 27603-3530
OFFICE: (919) 661-6351
www.tepgroup.net

SEAL:



October 15, 2021

2	10-15-21	CONSTRUCTION
1	08-10-21	PRELIMINARY
0	05-17-21	PRELIMINARY
REV	DATE	ISSUED FOR:

DRAWN BY: GLB CHECKED BY: JKW

SHEET TITLE:

TITLE SHEET

SHEET NUMBER: REVISION:

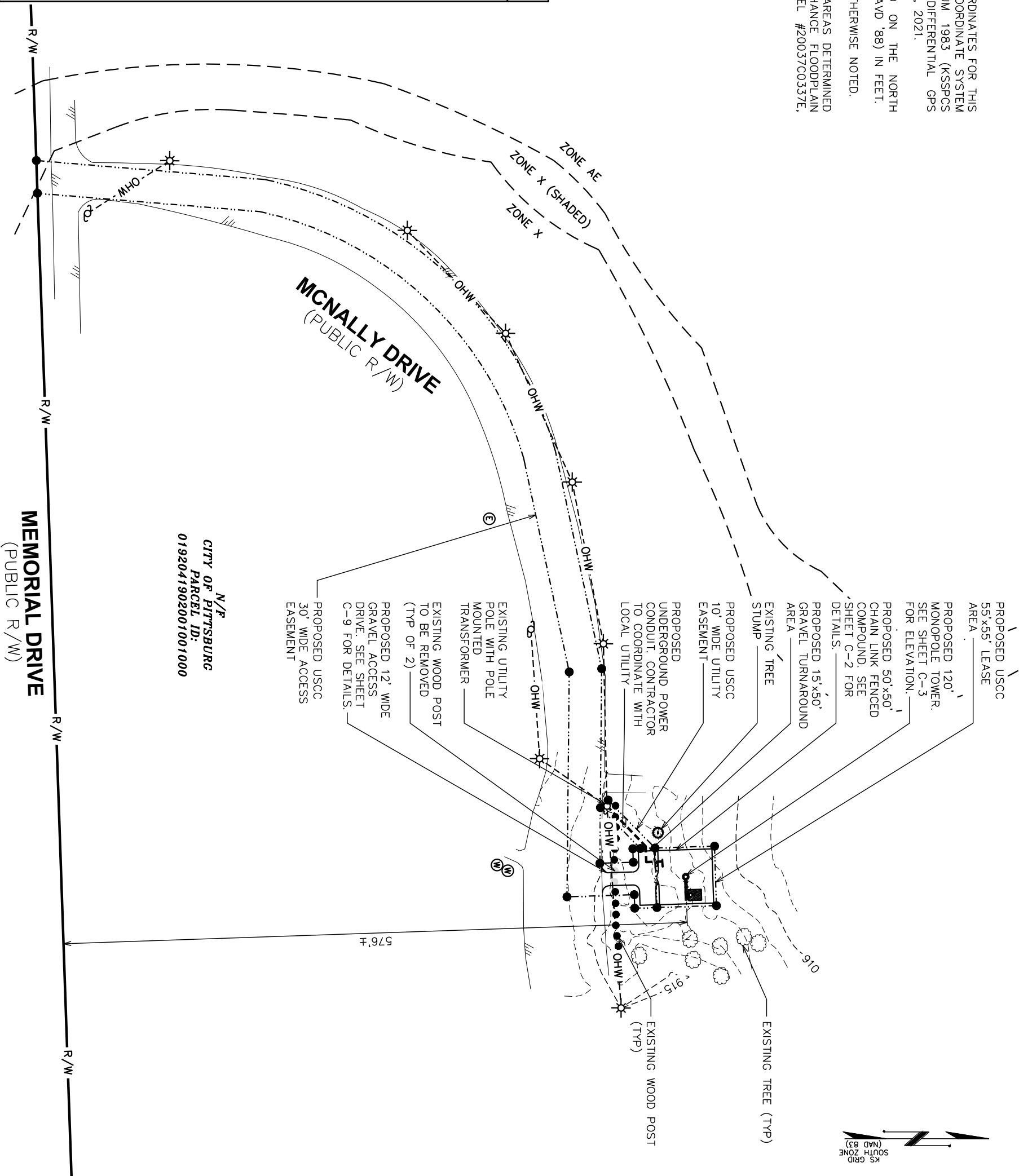
T-1 **2**

TEP #: 257244

NOTES:

1. THE BASIS OF THE MERIDIANS AND COORDINATES FOR THIS PLAT IS THE KANSAS STATE PLANE COORDINATE SYSTEM SOUTH ZONE, NORTH AMERICAN DATUM 1983 (KSSPCS SOUTH ZONE, NAD 83). BASED ON DIFFERENTIAL GPS OBSERVATIONS PERFORMED ON APRIL 21, 2021.
2. VERTICAL INFORMATION SHOWN, BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD '88) IN FEET.
3. ALL DISTANCES ARE GROUND UNLESS OTHERWISE NOTED.
4. THE TOWER IS LOCATED IN ZONE "X." AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN ACCORDING TO FEMA COMMUNITY PANEL #20037C0337E, DATED APRIL 16, 2009.

LEGEND	
	EXIST. PROPERTY LINE
	ADJ. PROPERTY LINE
	EXIST. UTILITY POLE
	EXIST. LIGHT POLE
	EXIST. HYDRANT
	EXIST. TELCO PEDESTAL
	EXIST. WATER METER
	EXIST. ELEC. METER
	PROPERTY CORNER
	LEASE/EASE. CORNER
	EXIST. CONTOUR LINE
	EDGE OF PAVEMENT
	OVERHEAD WIRE
	RIGHT-OF-WAY
	WOOD FENCE
	EXISTING CROP LINE



PLANS PREPARED FOR:



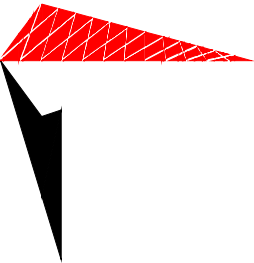
800 CORNERSTONE DRIVE
KNOXVILLE, TN 37932
(865) 777-8054

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DRAWN BY: GLB CHECKED BY: JKW

SHEET TITLE:

SITE PLAN

SHEET NUMBER: REVISION:

C-1

2

TEP #: 257244

SITE PLAN

SCALE: 1" = 100'



SCALE IN FEET

PLANS PREPARED FOR:



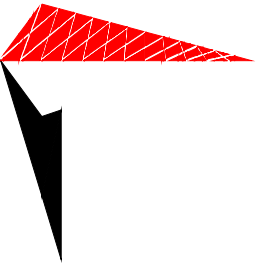
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KNOXVILLE, IN 37932
(865) 777-8054

PROJECT INFORMATION:

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SITE #: 589403

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DRAWN BY: GLB CHECKED BY: JKW

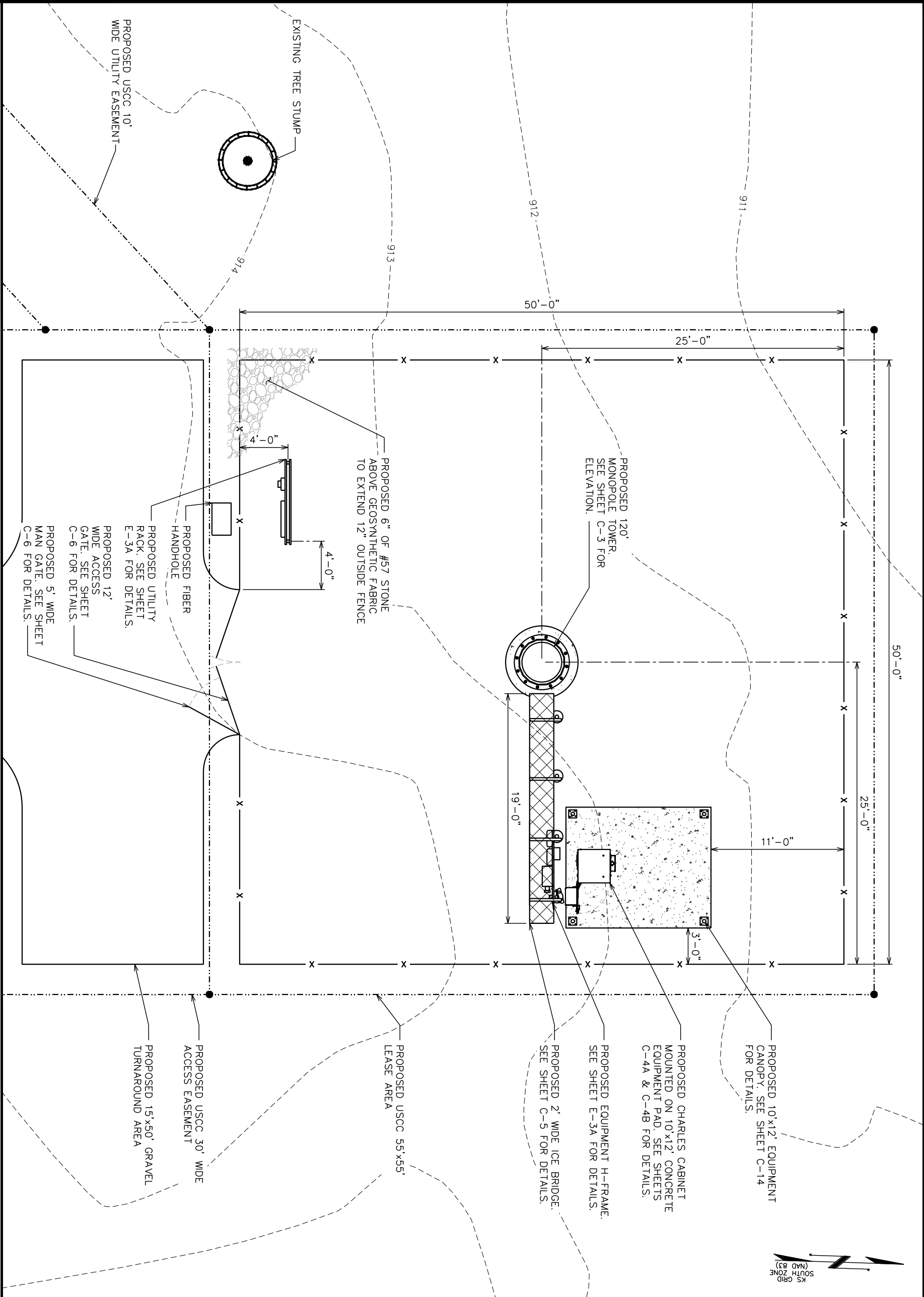
SHEET TITLE:

COMPOUND
DETAIL

SHEET NUMBER: REVISION:

C-2

TEP #: 257244



COMPOUND DETAIL

SCALE: 1/8" = 1'-0"

NOTES:

- 1. PROPOSED CABLE TO BE RUN PER SPECIFICATIONS OF PASSING STRUCTURAL ANALYSIS.
- 2. TOWER SHALL BE CONSTRUCTED OF GALVANIZED STEEL OR PAINTED PER APPLICABLE STANDARDS OF THE FAA OR OTHER APPLICABLE FEDERAL OR STATE AGENCY
- 3. TOWER ELEVATION SHOWN FOR REFERENCE ONLY. VERIFY ACTUAL TOWER DESIGN & LOADING WITH TOWER DRAWINGS FROM MANUFACTURER AND/OR PASSING STRUCTURAL ANALYSIS PRIOR TO CONSTRUCTION.

EUPEN HYBRID CABLE LENGTH

PROPOSED RAYCAP QUANTITY AT GROUND LEVEL:	2
ICE BRIDGE LENGTH:	19-FT
RAYCAP CENTERLINE + 20-FT BUFFER:	130-FT
TOTAL ESTIMATED LENGTH OF HYBRID CABLE:	149-FT
TOTAL EST. LENGTH OF HYBRID CABLE (ROUNDED UP):	150-FT

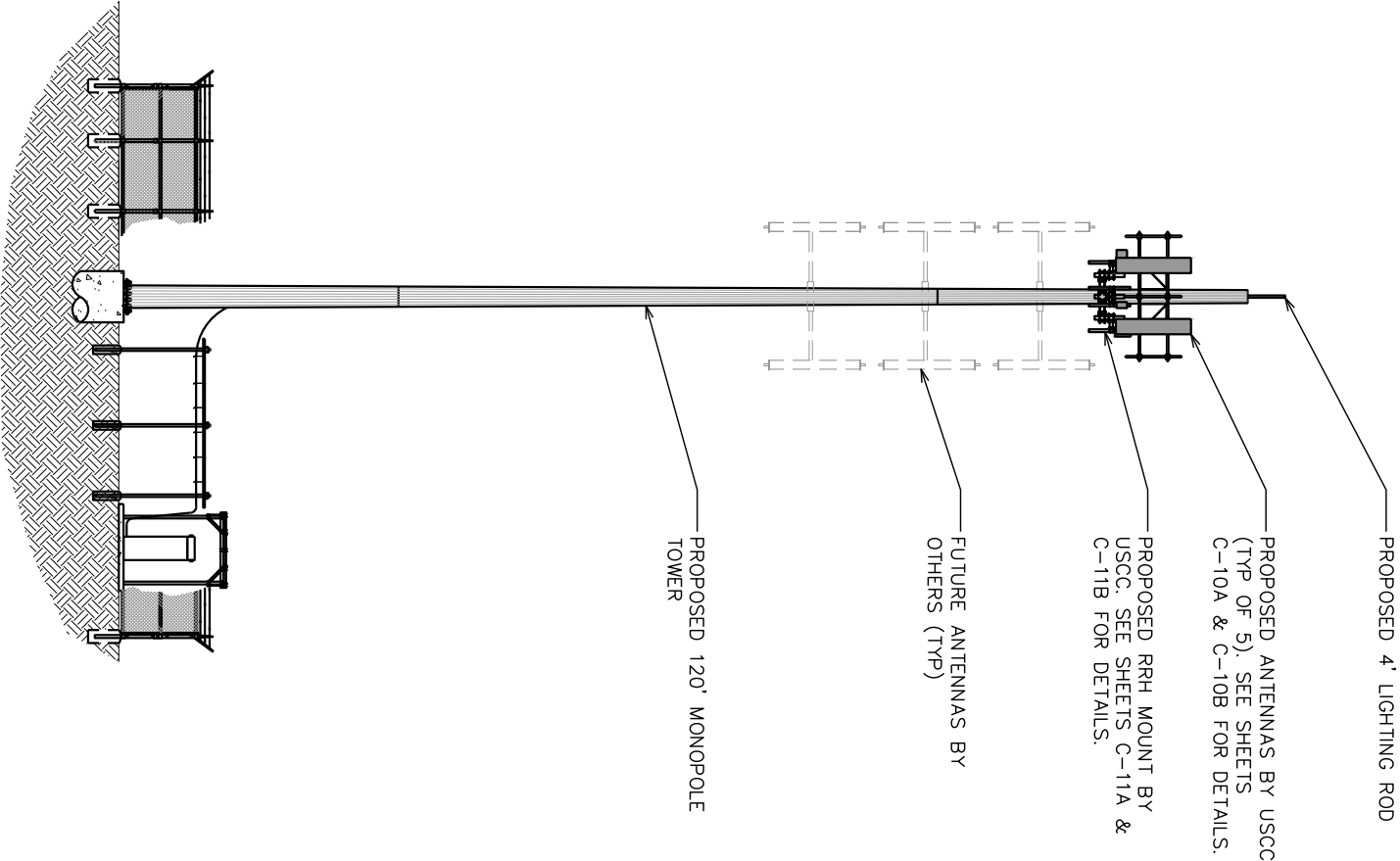
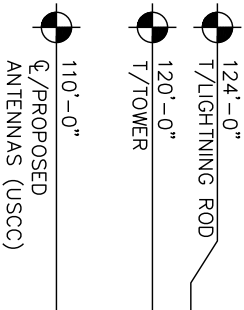
JUMPER INFO

FIBER/POWER JUMPER LENGTH FROM RAYCAP TO RRU			
	BAND 2/4	BAND 5	BAND 71/12
ALPHA SECTOR:	10-M (32.8 FT)	10-M (32.8 FT)	10-M (32.8 FT)
BETA SECTOR:	10-M (32.8 FT)	10-M (32.8 FT)	10-M (32.8 FT)
GAMMA SECTOR:	10-M (32.8 FT)	10-M (32.8 FT)	10-M (32.8 FT)

½" JUMPER FROM RRU TO ANTENNA			
	BAND 2/4	BAND 5	BAND 71/12
ALPHA SECTOR:	25-FT	25-FT	25-FT
BETA SECTOR:	25-FT	25-FT	25-FT
GAMMA SECTOR:	25-FT	25-FT	25-FT

RET JUMPER INFO

RRU TO ANTENNA		
	BAND 5	BAND 71/12
ALPHA SECTOR:	10-M (32.8 FT)	10-M (32.8 FT)
BETA SECTOR:	10-M (32.8 FT)	10-M (32.8 FT)
GAMMA SECTOR:	10-M (32.8 FT)	10-M (32.8 FT)



TOWER ELEVATION

SCALE: 1" = 20'

PLANS PREPARED FOR:



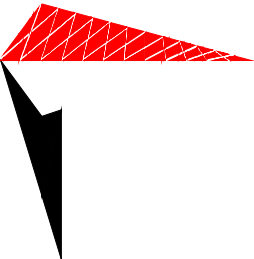
800 CORNERSTONE DRIVE
KNOXVILLE, TN 37932
(865) 777-8054

PROJECT INFORMATION:

LINCOLN PARK
SITE #: 589403

MCNALLY ROAD
(E911 ADDRESS T.B.D.)
PITTSBURG, KS 66762
(CRAWFORD COUNTY)

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DRAWN BY:	GLB	CHECKED BY: JKW

SHEET TITLE:

TOWER ELEVATION

SHEET NUMBER: REVISION:

C-3

2

TEP #: 257244



SCALE IN FEET

PLANS PREPARED FOR:



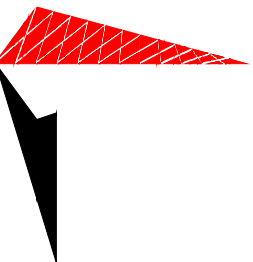
800 CORNERSTONE DRIVE
KNOXVILLE, TN 37932
(865) 777-8054

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SITE #: 589403


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0	05-17-21	PRELIMINARY
REV	DATE	ISSUED FOR:
DRAWN BY:	GLB	CHECKED BY: JKW

SHEET TITLE:

CABINET DETAILS

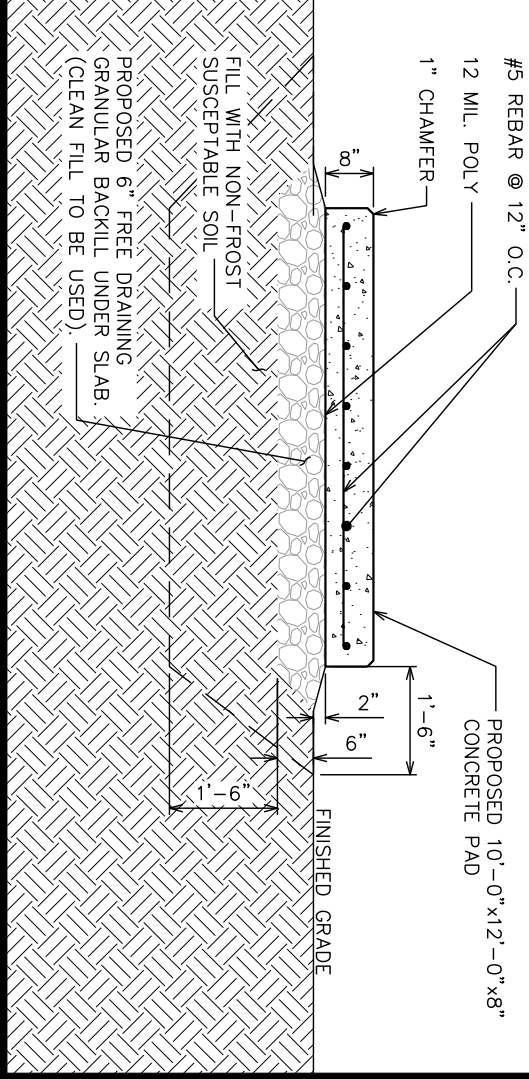
SHEET NUMBER:	REVISION:
C-4A	2
TEP#:	257244

STRUCTURAL NOTES:

- SPECIFICATIONS / CODES:
- CONCRETE WORK SHALL BE PERFORMED IN ACCORDANCE WITH LATEST EDITION OF THE ACI CODE.
 - REINFORCING STEEL SHALL BE PLACED IN ACCORDANCE WITH THE CONCRETE REINFORCING STEEL INSTITUTE (CRSI) "MANUAL OF STANDARD PRACTICE".
 - DESIGN SHALL BE PER INTERNATIONAL BUILDING CODE, 2018 EDITION.
 - FOUNDATION DESIGN BASED ON 2000 PSF SOIL BEARING CAPACITY. IF OTHER CONDITIONS EXIST, FOUNDATION SHALL BE REDESIGNED. CONTRACTOR SHALL HAVE SOIL BEARING CAPACITY VERIFIED BY A LICENSED PROFESSIONAL GEOTECHNICAL ENGINEER PRIOR TO INITIATION OF CONSTRUCTION ACTIVITIES.

FOUNDATION NOTES:

- FOUNDATION DESIGN BASED ON 2000 PSF SOIL BEARING CAPACITY. IF OTHER CONDITIONS EXIST, FOUNDATION SHALL BE REDESIGNED. CONTRACTOR SHALL HAVE SOIL BEARING CAPACITY VERIFIED BY A LICENSED PROFESSIONAL GEOTECHNICAL ENGINEER PRIOR TO INITIATION OF CONSTRUCTION ACTIVITIES.
- CONCRETE SHALL BE 2500 PSI.
- REBAR F_y = 60,000 PSI.
- ALL BACKFILL SHALL BE THOROUGHLY COMPACTED TO A MINIMUM OF 95% DENSITY USING THE MODIFIED PROCTOR METHOD.

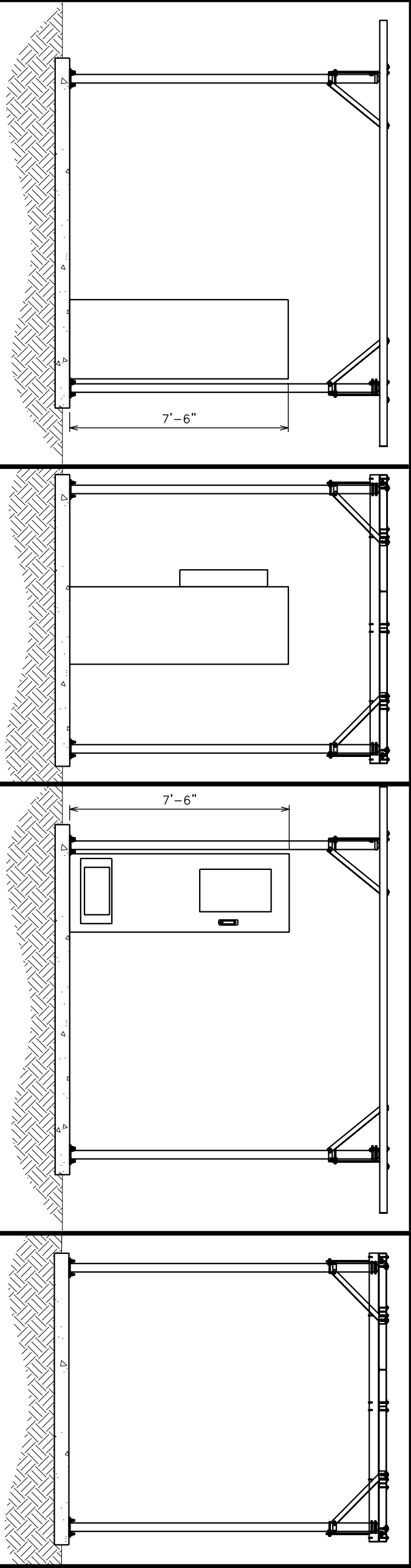
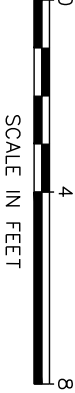
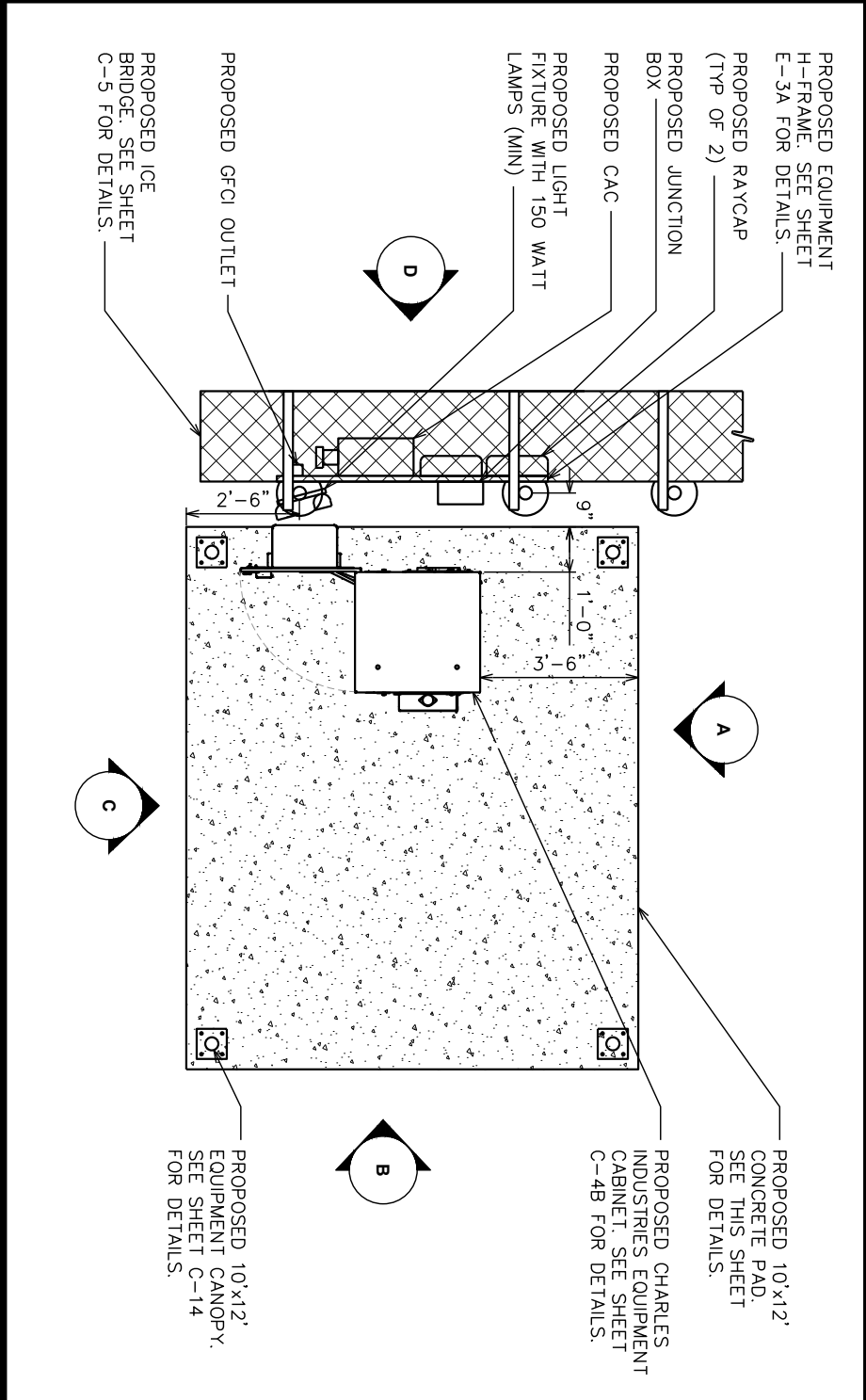


FOUNDATION DETAIL

SCALE: N.T.S.

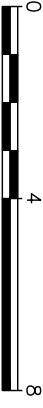
EQUIPMENT LAYOUT

SCALE: 1/4" = 1'-0"



ELEVATION A

SCALE: 1/4" = 1'-0"



ELEVATION B

SCALE: 1/4" = 1'-0"

ELEVATION C

SCALE: 1/4" = 1'-0"

ELEVATION D

SCALE: 1/4" = 1'-0"

PLANS PREPARED FOR:



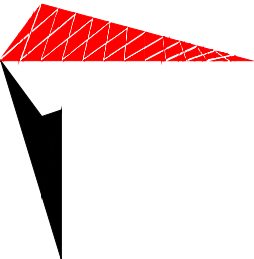
800 CORNERSTONE DRIVE
KNOXVILLE, TN 37932
(865) 777-8054

PROJECT INFORMATION:

LINCOLN PARK
SITE #: 589403

MCNALLY ROAD
(E911 ADDRESS T.B.D.)
PITTSBURG, KS 66762
(CRAWFORD COUNTY)

PLANS PREPARED BY:



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326 TRYON ROAD
RALEIGH, NC 27603-3530
OFFICE: (919) 661-6351
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REV	DATE	ISSUED FOR:

DRAWN BY: GLB | CHECKED BY: JKW

SHEET TITLE:

CABINET DETAILS

SHEET NUMBER: REVISION:

C-4B

2

TEP #: 257244

LT-SS4B231UN4

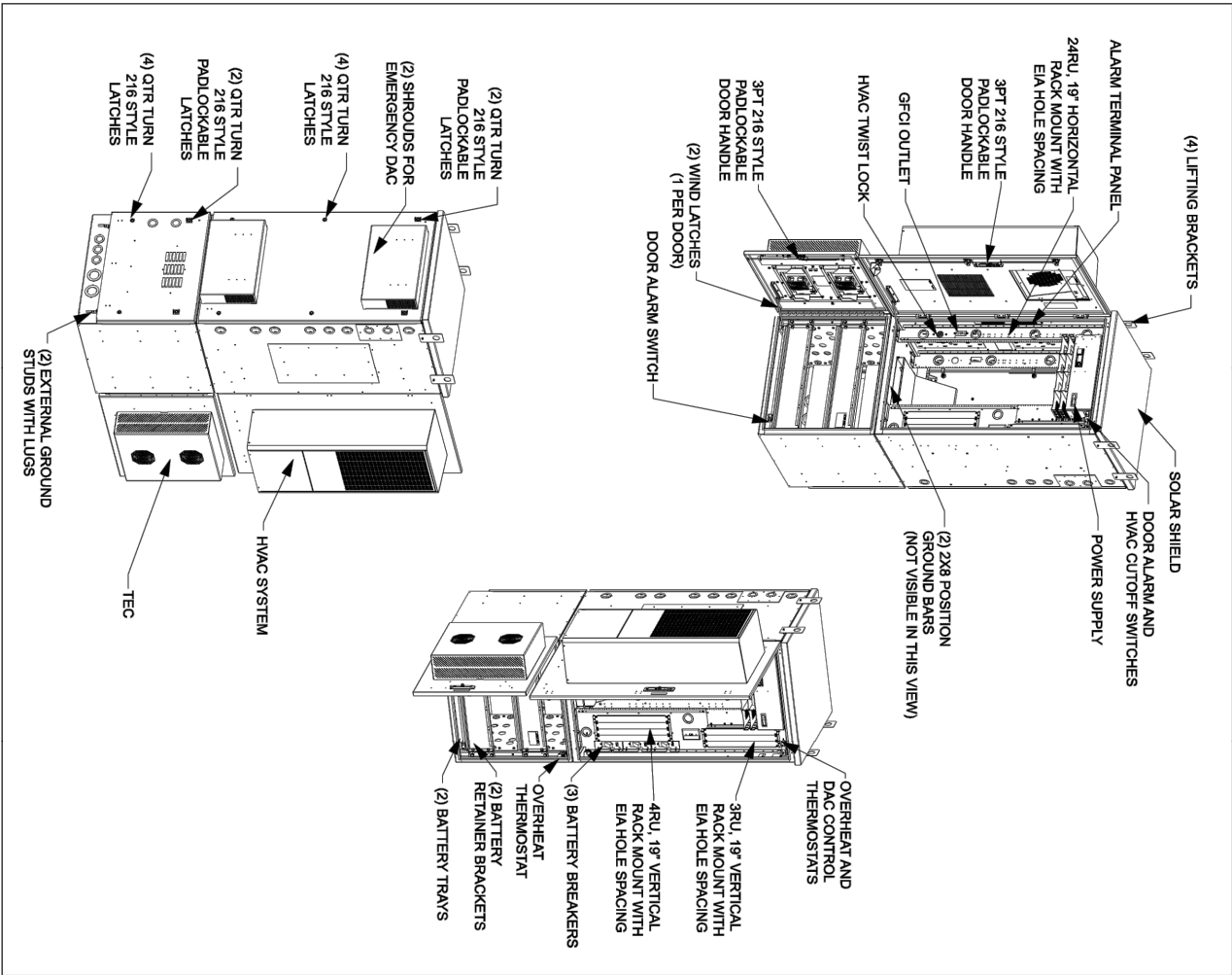


Figure 3 CUBE Components

2nd Printing

Page 2 of 5

CHARLES CABINET DETAIL (CUBE-SS4B231UN4)

SCALE: N.T.S.

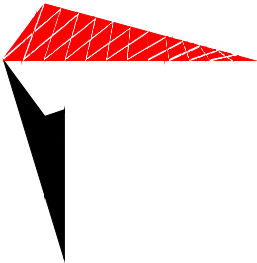


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KNOXVILLE, IN 37932
(865) 777-8054

PROJECT INFORMATION:
LINCOLN PARK
SITE #: 589403

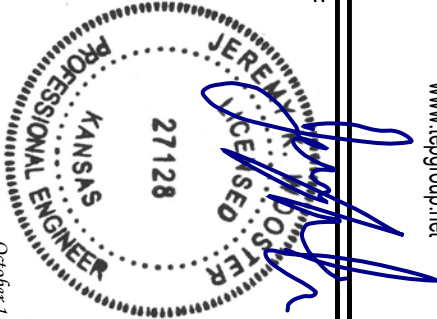
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(E911 ADDRESS T.B.D.)
PITTSBURG, KS 66762
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SEAL:



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REV	DATE	ISSUED FOR:

DRAWN BY: GLB | CHECKED BY: JKW

SHEET TITLE:

**ICE BRIDGE
DETAIL**

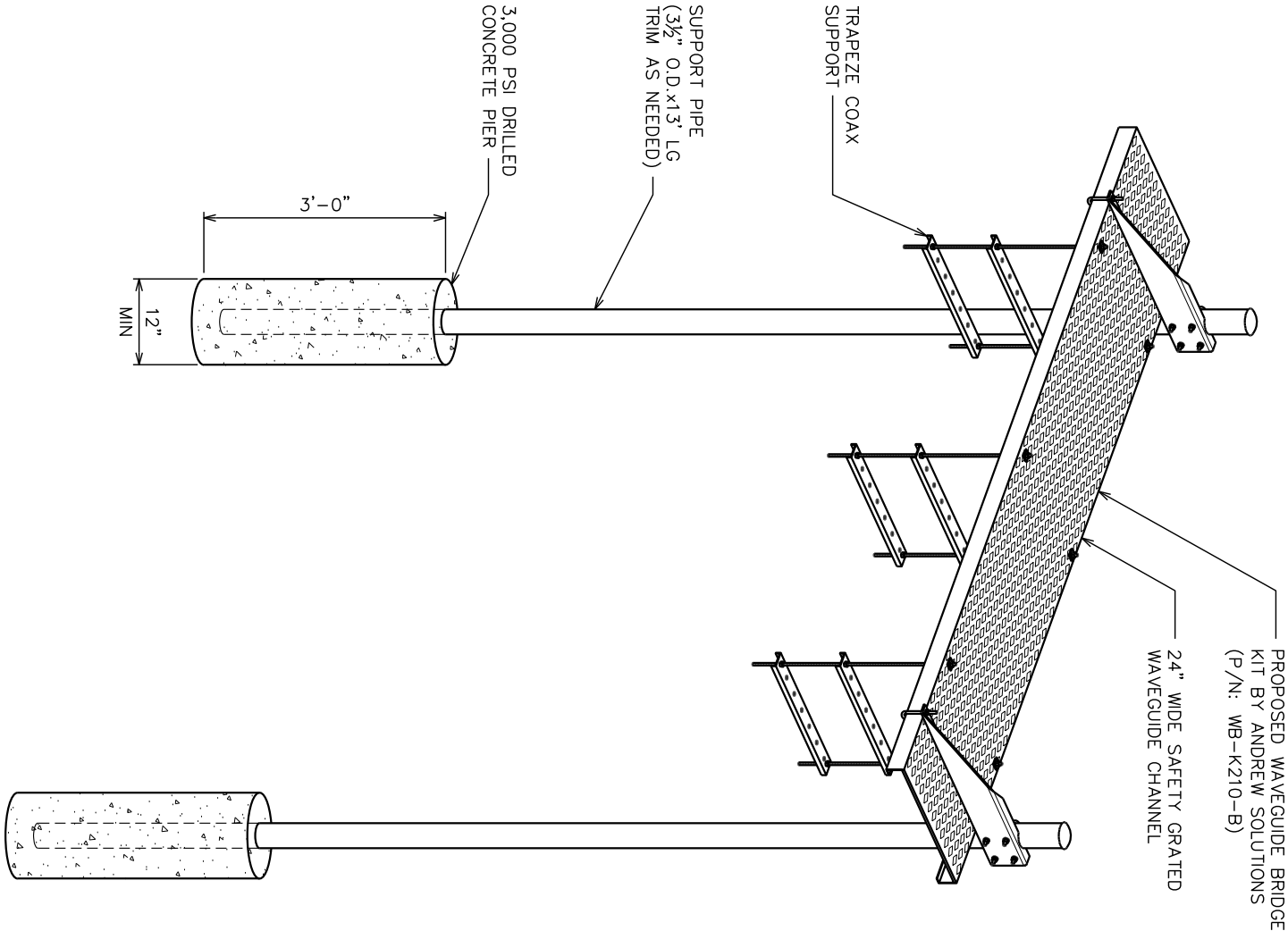
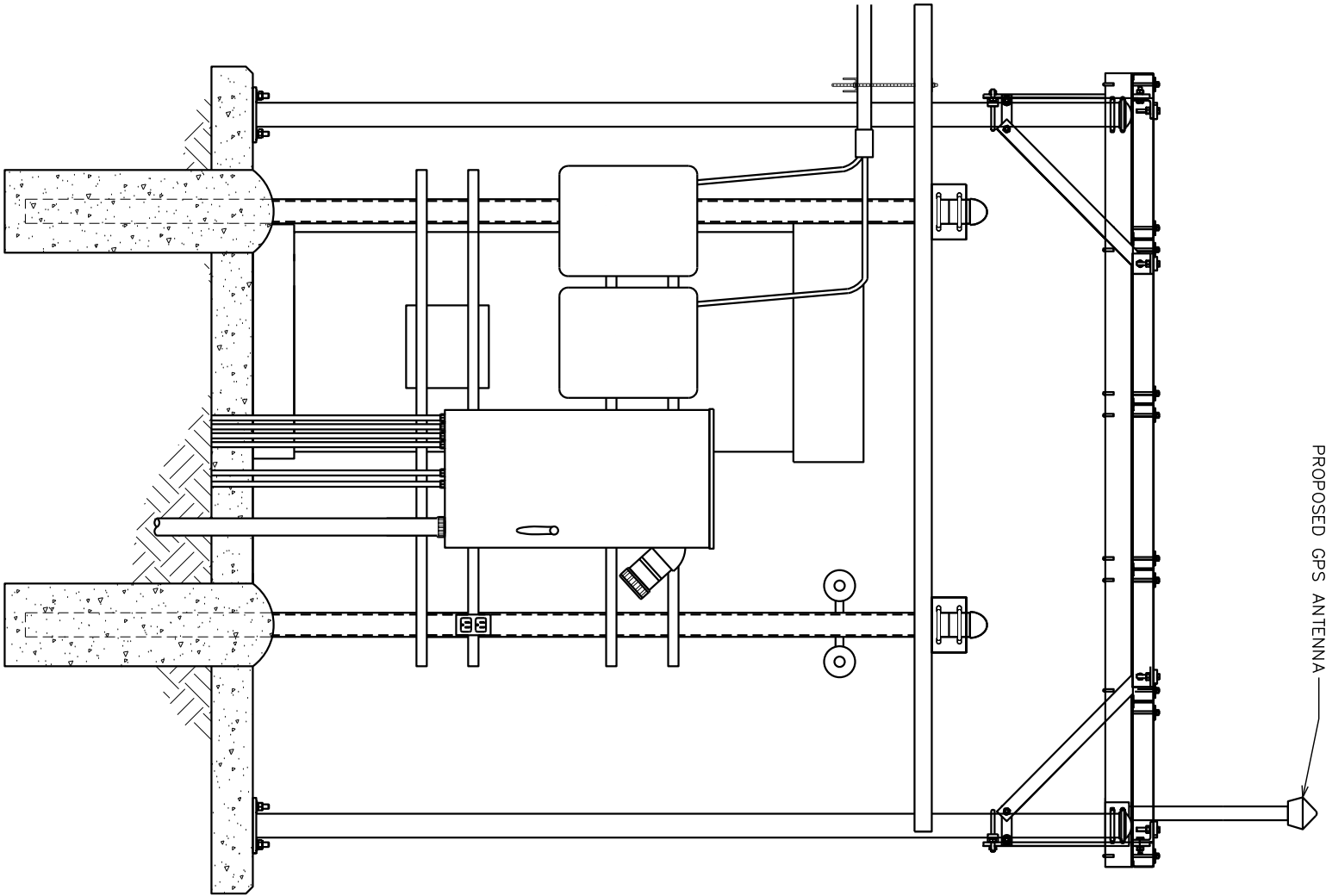
SHEET NUMBER: REVISION:

C-5

TEP #: 257244

NOTE:

GPS ANTENNA SHALL BE MOUNTED TO THE ICE BRIDGE POST WITH A UNIVERSAL GPS MOUNTING KIT (VALMONT P/N: B1841) OR AN APPROVED EQUIVALENT.



ICE BRIDGE DETAIL

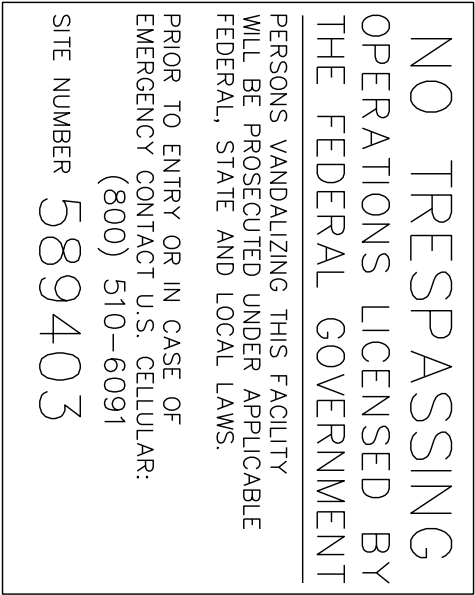
SCALE: N.T.S.

GPS MOUNTING DETAIL

SCALE: N.T.S.

NOTES:

- 1. SIGNS SHALL BE MADE OF ALUMINUM WITH ¼” HOLES ½” FROM EACH CORNER TO HANG SIGNS ON FENCE.
- 2. SIGNS SHALL BE INSTALLED AS FOLLOWS:
GATE: NO TRESPASSING, RF GUIDELINES, RF WARNING, NFPA SULFURIC ACID, AUTHORIZED PERSONNEL ONLY
INTERIOR OF FENCE GATE: EXIT SIGN
- 3. SIGNS SHALL BE INSTALLED WITH CENTER AT 5' ABOVE FINISHED GRADE.



1 NO TRESPASSING SIGN
SIZE: 22"x 22" (0.063" ALUMINUM)
(TO BE MOUNTED ON GATE)



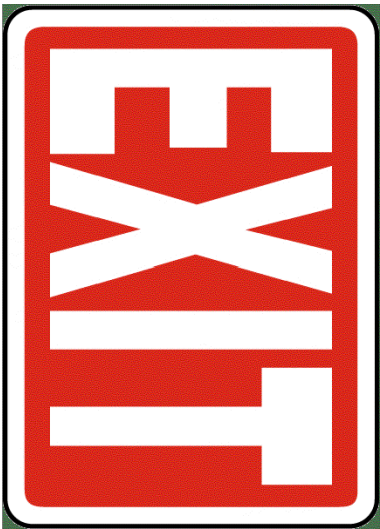
2 RF GUIDELINES
SIZE: 6"x 4"
(TO BE MOUNTED ON GATE)



3 RF WARNING SIGN
SIZE: 10"x 14"
(TO BE MOUNTED ON GATE)



4 NFPA SULFURIC ACID SIGN
SIZE: 6.25"x 9"
(TO BE MOUNTED ON GATE)



5 REFLECTIVE EXIT SIGN
SIZE: 10"x 7"
(TO BE MOUNTED TO INTERIOR GATE FENCE)



6 AUTHORIZED PERSONNEL ONLY SIGN
SIZE: 14"x 10"
(TO BE MOUNTED ON GATE)

TYPICAL SIGNS AND SPECIFICATIONS

SCALE: N.T.S.

PLANS PREPARED FOR:



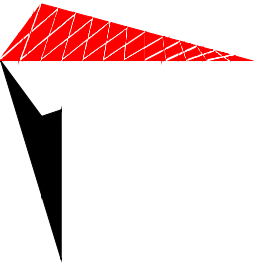
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(865) 777-8054

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SHEET TITLE:

SIGNAGE DETAILS

SHEET NUMBER:	REVISION:
C-7	2
TEP #:	257244

NOTES:

1. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE ACROSS COMPOUND.
2. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE ACROSS DRIVEWAY ENTRANCE.

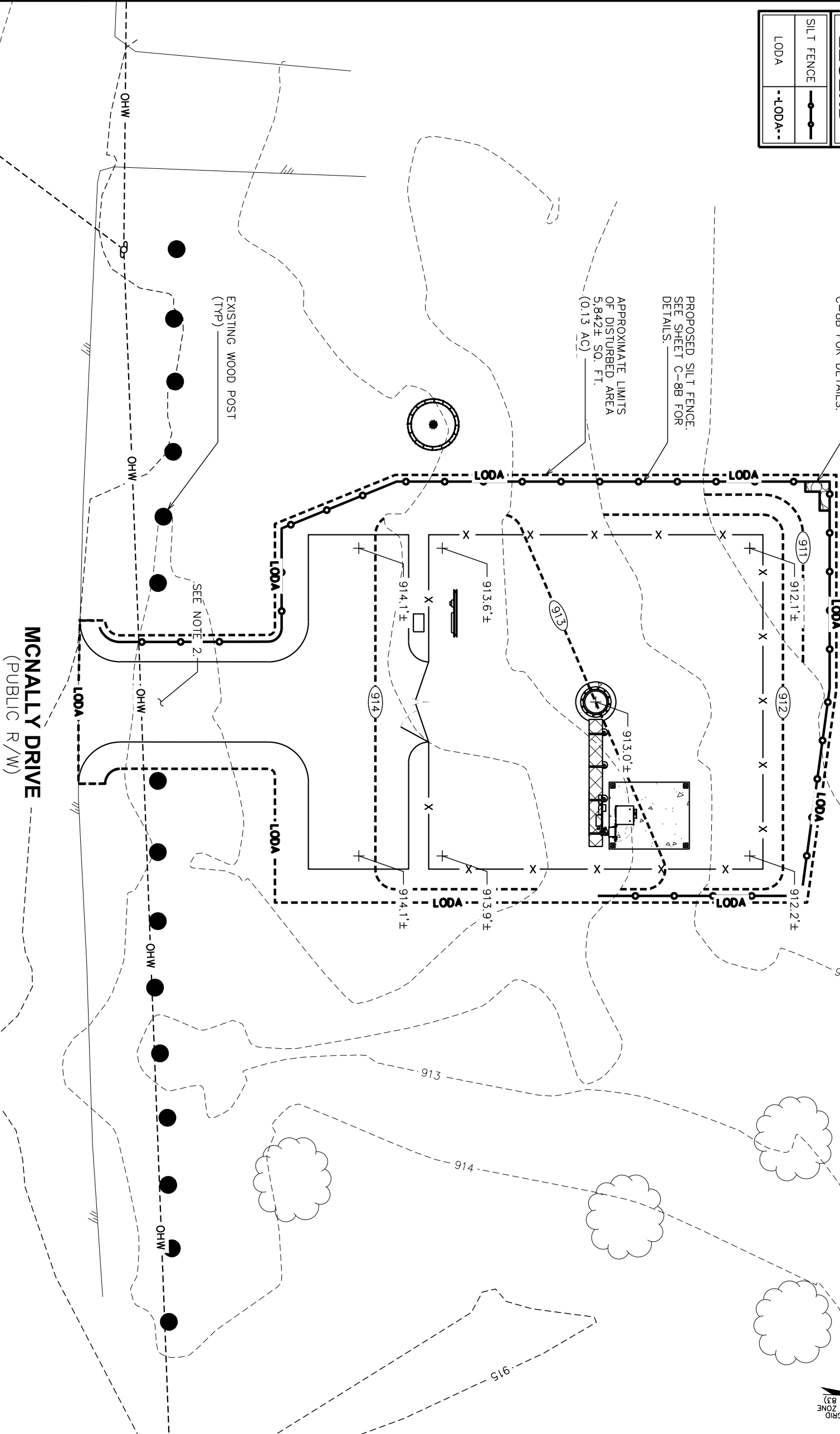
LEGEND

SILT FENCE	
LODA	

PROPOSED SILT FENCE
OUTLET. SEE SHEET
C-8B FOR DETAILS.

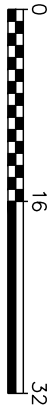
PROPOSED SILT FENCE.
SEE SHEET C-8B FOR
DETAILS.

APPROXIMATE LIMITS
OF DISTURBED AREA
5,842± SQ. FT.
(0.13 AC)



SOIL & EROSION CONTROL PLAN

SCALE: 1/8" = 1'-0"



SCALE IN FEET

PLANS PREPARED FOR:



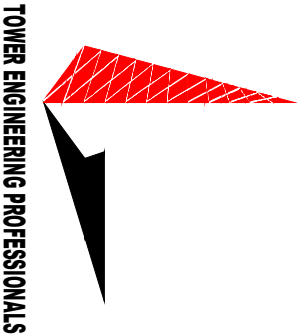
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KNOXVILLE, TN 37932
(865) 777-8054

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LINCOLN PARK
SITE #: 589403

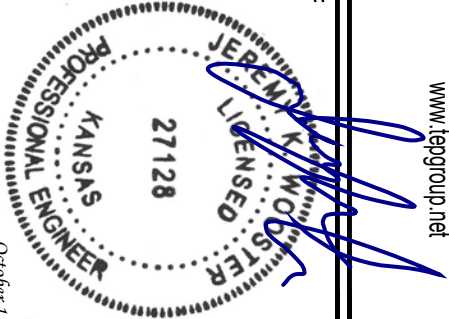
MCNALLY ROAD
(E911 ADDRESS T.B.D.)
PITTSBURG, KS 66762
(CRAWFORD COUNTY)

PLANS PREPARED BY:



TOWER ENGINEERING PROFESSIONALS
326 TRYON ROAD
RALEIGH, NC 27603-3530
OFFICE: (919) 661-6351
www.tepgroup.net

SEAL:



October 15, 2021

2	10-15-21	CONSTRUCTION
1	08-10-21	PRELIMINARY
0	05-17-21	PRELIMINARY
REV	DATE	ISSUED FOR:

DRAWN BY: GLB CHECKED BY: JKW

SHEET TITLE:

**SOIL AND EROSION
CONTROL PLAN**

SHEET NUMBER: REVISION:

C-8A

2

TEP #: 257244

PLANS PREPARED FOR:



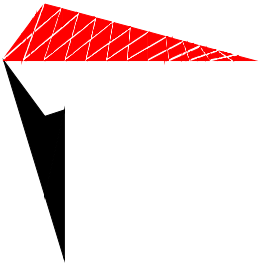
800 CORNERSTONE DRIVE
KNOXVILLE, TN 37932
(865) 777-8054

PROJECT INFORMATION:

LINCOLN PARK
SITE #: 589403

MCNALLY ROAD
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DRAWN BY: GLB CHECKED BY: JKV

SHEET TITLE:

**SILT FENCE
DETAILS**

SHEET NUMBER: REVISION:

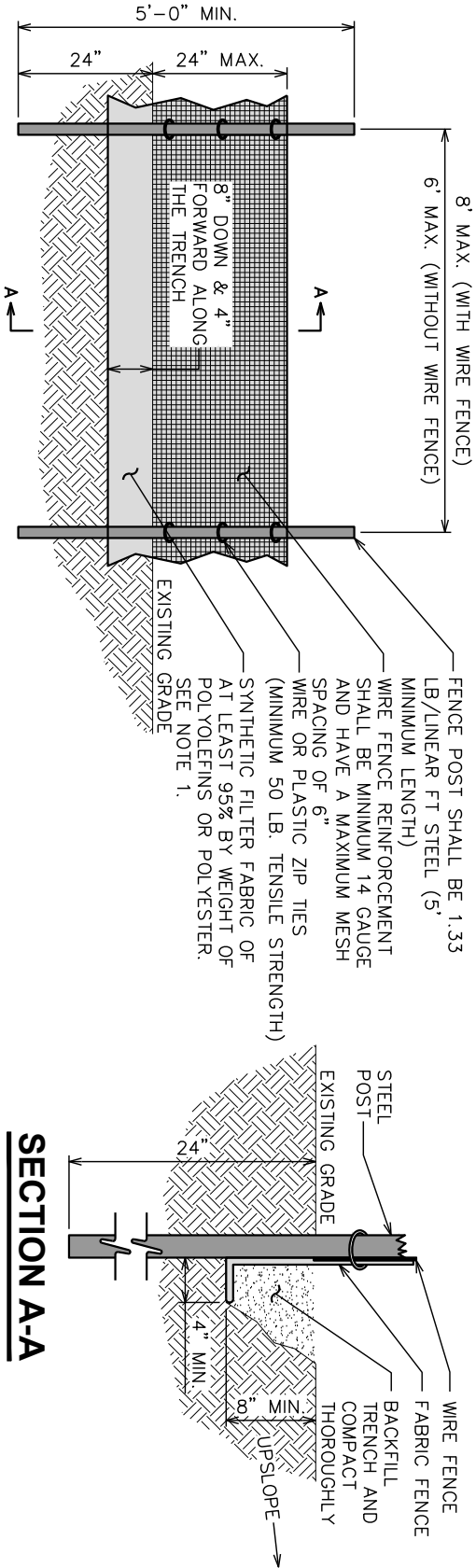
C-8B

TEP #: 257244

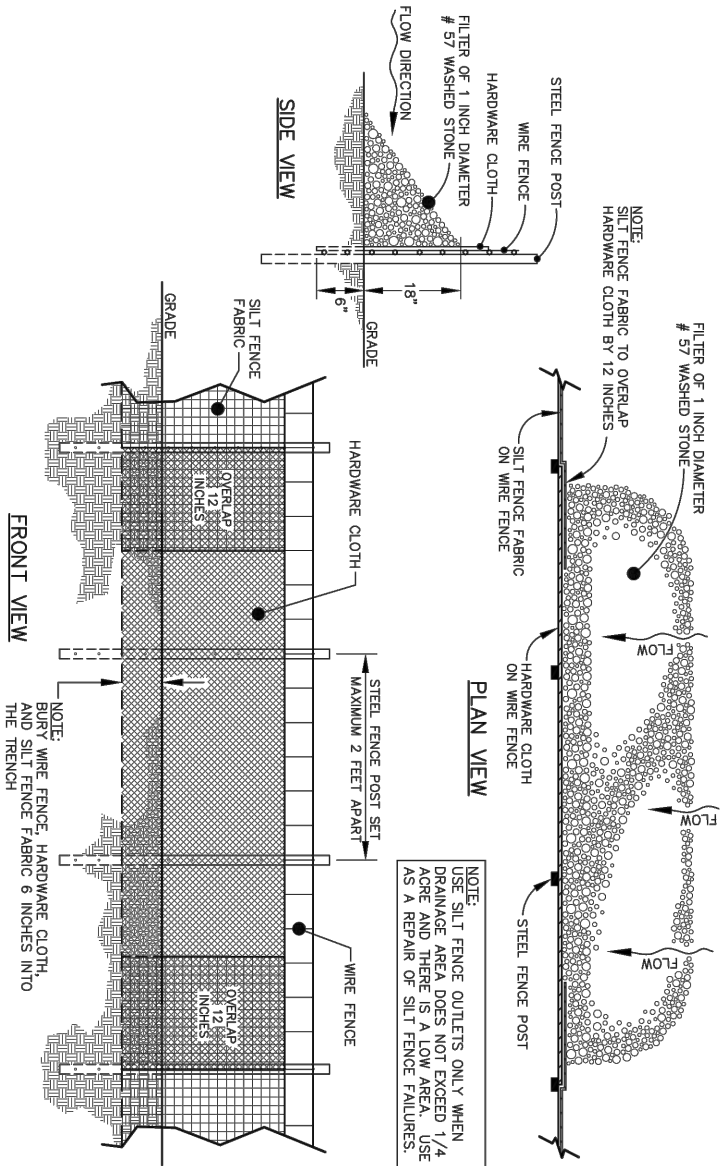
2

NOTES:

1. FILTER FABRIC SHALL CONFORM TO THE REQUIREMENTS LISTED IN ASTM D 6461.
2. ENDS OF INDIVIDUAL FILTER FABRIC SHALL BE SECURELY FASTENED AT A SUPPORT POST WITH 4 FEET MINIMUM OVERLAP TO THE NEXT POST.
3. PLACE 12 INCHES OF FABRIC ALONG THE BOTTOM AND SIDE OF THE TRENCH.
4. INSPECT SEDIMENT FENCE(S) AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL.
5. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE.
6. AFTER CONSTRUCTION IS COMPLETE, THE CONTRACTOR SHALL REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS, BRING THE AREA TO GRADE AND PROPERLY STABILIZE THE SITE.



SECTION A-A



SILT FENCE DETAIL

SCALE: N.T.S.

STANDARD SILT FENCE OUTLET DETAIL

SCALE: N.T.S.

PLANS PREPARED FOR:



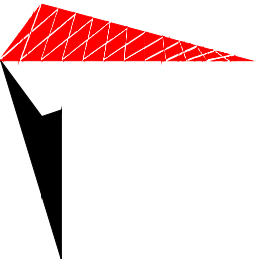
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DRAWN BY: GLB | CHECKED BY: JKW

SHEET TITLE:

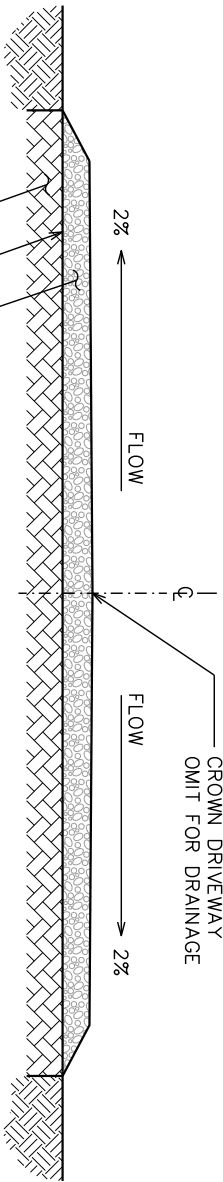
**ACCESS ROAD
DETAILS**

SHEET NUMBER: | REVISION:

C-9

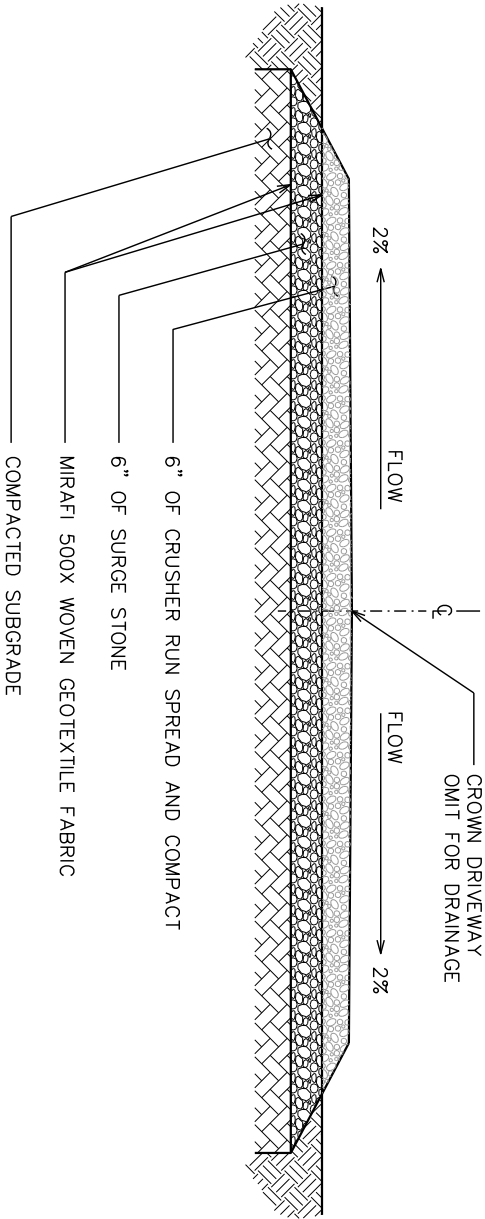
TEP #: 257244

2



STANDARD ROAD SECTION (GOOD SUBGRADE)

SCALE: N.T.S.

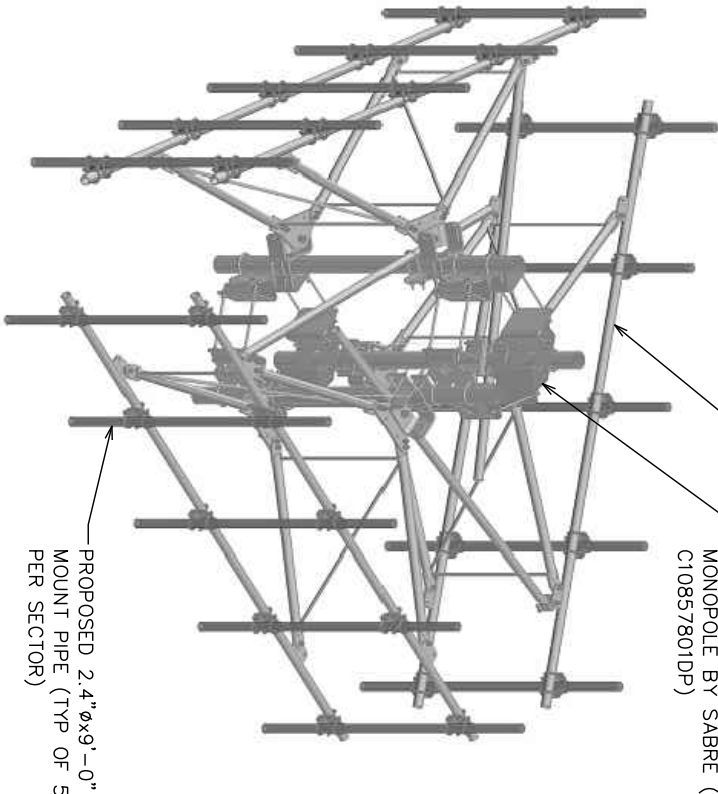


ALTERNATIVE ROAD SECTION (POOR SUBGRADE)

SCALE: N.T.S.

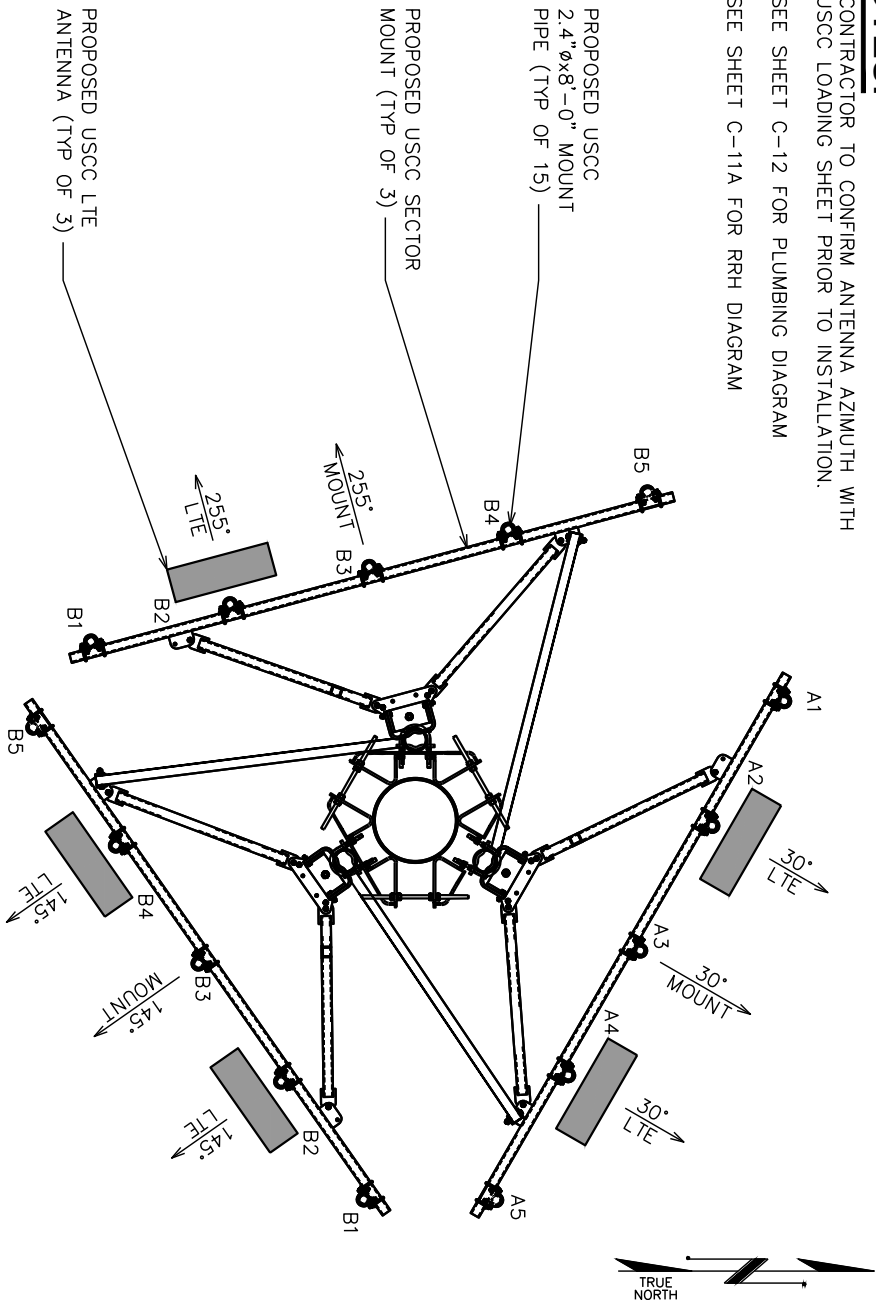
NOTES:

- 1. MOUNT INCLUDES ATTACHMENT HARDWARE. MOUNT PIPES SOLD SEPARATELY.
- 2. MOUNT TO BE SUPPLIED BY USCC.



NOTES:

- 1. CONTRACTOR TO CONFIRM ANTENNA AZIMUTH WITH USCC LOADING SHEET PRIOR TO INSTALLATION.
- 2. SEE SHEET C-12 FOR PLUMBING DIAGRAM
- 3. SEE SHEET C-11A FOR RRH DIAGRAM

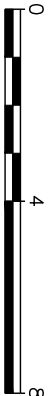


ANTENNA MOUNT DETAILS

SCALE: N.T.S.

MOUNT ORIENTATION

SCALE: 1/4" = 1'-0"



SCALE IN FEET

ANTENNA/CABLE SCHEDULE

ANTENNA	SECTOR	TECH	MANUFACTURER (MODEL #)	AZIMUTH (TRUE NORTH)	MOUNTING HEIGHT	ELECT. D-TILT	MECH. D-TILT	EQUIPMENT	SURGE PROTECTION	COAX/CABLE	CABLE LENGTH*	COAX JUMPER*
A2	ALPHA	LTE	DENGYO OCT8-2LX2HX-BW65	30°	℄ @ 110'-0"	-	-	(3) NOKIA AHLOA RRH	(2) RUSDC-6267-PF-48 RAYCAP	(2) 1 1/4"Ø HYBRID CABLE	150'±	25'±
A4	ALPHA	LTE	DENGYO OCT8-2LX2HX-BW65	30°	℄ @ 110'-0"	-	-					25'±
B2	BETA	LTE	DENGYO OCT8-2LX2HX-BW65	145°	℄ @ 110'-0"	-	-					25'±
B4	BETA	LTE	DENGYO OCT8-2LX2HX-BW65	145°	℄ @ 110'-0"	-	-					25'±
C2	GAMMA	LTE	DENGYO OCT8-2LX2HX-BW65	255°	℄ @ 110'-0"	-	-					25'±

- NOTES:
- 1. *CONTRACTOR SHALL FIELD VERIFY HYBRID CABLE AND COAX JUMPER LENGTHS PRIOR TO ORDERING MATERIALS.
 - 2. (2) ANTENNA PER SECTOR FOR SECTORS ALPHA AND BETA AND (1) ANTENNA FOR SECTOR GAMMA FOR A TOTAL OF (5) ANTENNAS.
 - 3. CONTRACTOR TO VERIFY AZIMUTHS PRIOR TO CONSTRUCTION.
 - 4. CONTRACTOR TO REQUEST RF SHEET FROM CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION.

RF CONFIGURATION

SCALE: N.T.S.

PLANS PREPARED FOR:



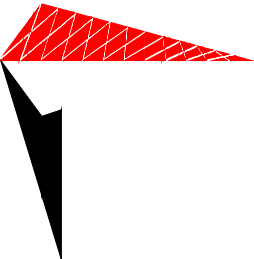
800 CORNERSTONE DRIVE
KNOXVILLE, TN 37932
(865) 777-8054

PROJECT INFORMATION:

LINCOLN PARK
SITE #: 589403

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DRAWN BY:	GLB	CHECKED BY: JKV

SHEET TITLE:

ANTENNA MOUNTING
DETAILS

SHEET NUMBER:

C-10A

REVISION:

2

TEP #: 257244

PLANS PREPARED FOR:



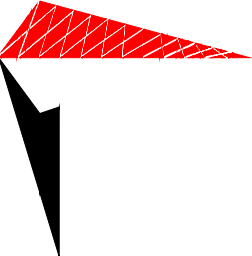
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(865) 777-8054

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LINCOLN PARK
SITE #: 589403

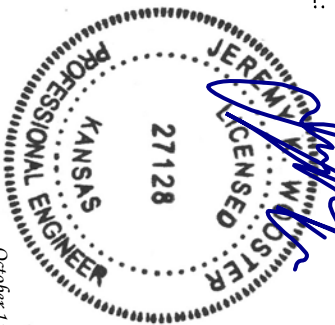
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DRAWN BY:	GLB	CHECKED BY:	JKW
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SHEET TITLE:

ANTENNA DETAILS

SHEET NUMBER: REVISION:

C-10B 2

TEP #: 257244

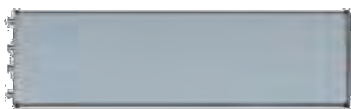
DENGYO Type OCT8-2LX2HX-BW65	Base Station Antennas	Frequency Range	617-894.2 1695-2400.2
		Polarization	±45°
		Half-Power Beam Width	65°
		Electrical Downlift	2° - 12°x4

Base Station Antenna

8-pole 617-894 / 617-894 / 1695-2400 MHz 65°, 16 / 16 / 16 dB, 2°-12° / 2°-12° / 2°-12° Tilt Antenna With 4 Integrated NCOs.



Electrical Specifications		2x1695-2400	1800-2180	2300-2400
Frequency Range(MHz)	617-894 895-924	824-894	1695-1920	1800-2180
Polarization	±45°			
Horizontal 3dB Beamwidth(°)	70	63	60	63
Vertical 3dB Beamwidth(°)	10.4	9.1	8.0	5.5
Gain (dB)	15.0	15.5	16.0	17.8
Electrical Downlift	2°-12°			
Upper Sideband Suppression(dB)	First	≥16	≥16	≥16
Front-to-Back Ratio	≥23	≥24	≥25	≥25
Total Power, ±30° (dB)	≥17	≥17	≥17	≥17
Cross polar ratio	Mean ±60° (dB)	≥17	≥17	≥17
Isolation ports	≥25 dB			
Isolation Frequency	≥30 dB			
VSWR	< 1.5			
Intermodulation IM3	< -150 dBc(2x43dBm carrier)			
Impedance	50 Ω			
Max. Power per Input (at 50°C ambient temperature)	300 W			
Lighting Protection	DC Ground			



Mechanical Specifications	
Random Material	Fiberglass
Connector Type and Location	4, 3-10dB, Bottom 180° and 0° ports IP67 and IP68
Dimensions, HxWxD(mm)/(inches)	2453 x 489 x 180 / 96.9 x 19.6 x 7.1
Packing Size(mm)/(inches)	2750 x 520 x 325 / 108.3 x 20.4 x 12.8
Weight, w/o Mounting kit(kg)(lbs)	47 / 103.4
Weight, with Mounting kit(kg)(lbs)	53 / 116.6
Packing Weight(kg)(lbs)	63 / 139.6
Max. Wind Velocity(mph)	150
Mounting hardware	±50 mm ~ ±115 mm
Operational Temperature(°C)	-40 to +65
Operational Humidity(%)	<95
Wind Load at 100mph (Frontal/lateral/Reverse(N))	1416(280)/927

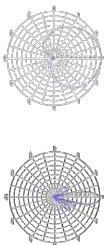
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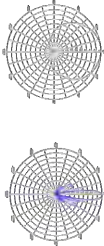
OCT8-2LX2HX-BW65 Rev.3

DENGYO Type OCT8-2LX2HX-BW65	Base Station Antennas	Frequency Range	617-894.2 1695-2400.2
		Polarization	±45°
		Half-Power Beam Width	65°
		Electrical Downlift	2° - 12°x4

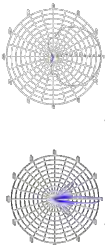
Radiation Pattern (617 - 890 MHz)



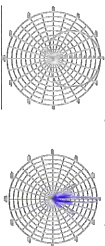
Radiation Patterns (890 - 960 MHz)



Radiation Pattern (1695 - 1920 MHz)



Radiation Patterns (1920 - 2180 MHz)



Horizontal Pattern

Horizontal Pattern

Vertical Pattern

Vertical Pattern

Horizontal Pattern

Vertical Pattern

Vertical Pattern

Horizontal Pattern

Vertical Pattern

Horizontal Pattern

Vertical Pattern

Horizontal Pattern

Vertical Pattern

Horizontal Pattern

Vertical Pattern

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Vertical Pattern

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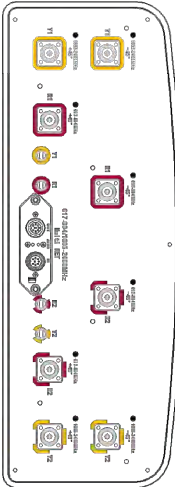
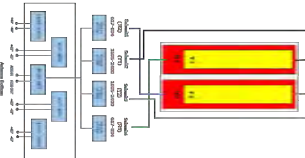
OCT8-2LX2HX-BW65 Rev.3

DENGYO Type OCT8-2LX2HX-BW65	Base Station Antennas	Frequency Range	617-894.2 1695-2400.2
		Polarization	±45°
		Half-Power Beam Width	65°
		Electrical Downlift	2° - 12°x4

Integrated RET Properties

Protocols	Compliant to AISG 2.02GPP
Input voltage range	+10~+30VDC(ign. 0)
Power consumption	<2W(stand by); <15W(under activated)
Connectors	2 x 8 pin connector acc. to IEC 60130-9 Acc. to AISG Daisy chain protocol Daisy chain cableless
Hardware	Two motor shaft(Embedded motor)
Antenna	RS485-BQ(Pt5x3) Power supply(0~10V); DC return(gnd)/Acc. to AISG
Adjustment time(full range)	40 sec(typically, depending on antenna)
Interface	AISG
Adjustment Cycles	210000
Torque Max	2100mNm
Lighting Protection Rating	IEC 61000-4.5 Current Pulse Immunity: 10 Repetitions Min. @ 6kA IEC 61512-1 Annex B Current Pulse Profile: 10550 Jp, 200 Repetitions Min. @ 0.6kA

COMPREHENSIVE TILT CONFIGURATION



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OCT8-2LX2HX-BW65 Rev.3

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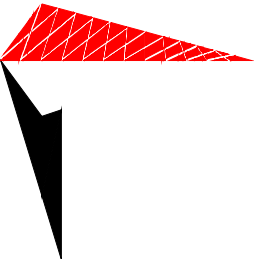
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(865) 777-8054

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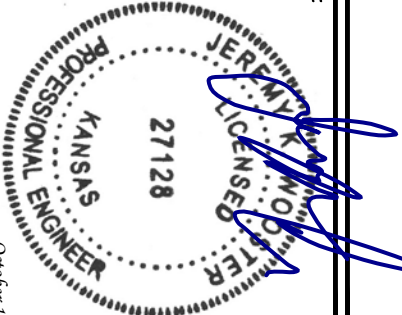
PLANS PREPARED BY:



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DRAWN BY: GLB CHECKED BY: JKW

SHEET TITLE:

RRH MOUNTING
DIAGRAM

SHEET NUMBER:

C-11A

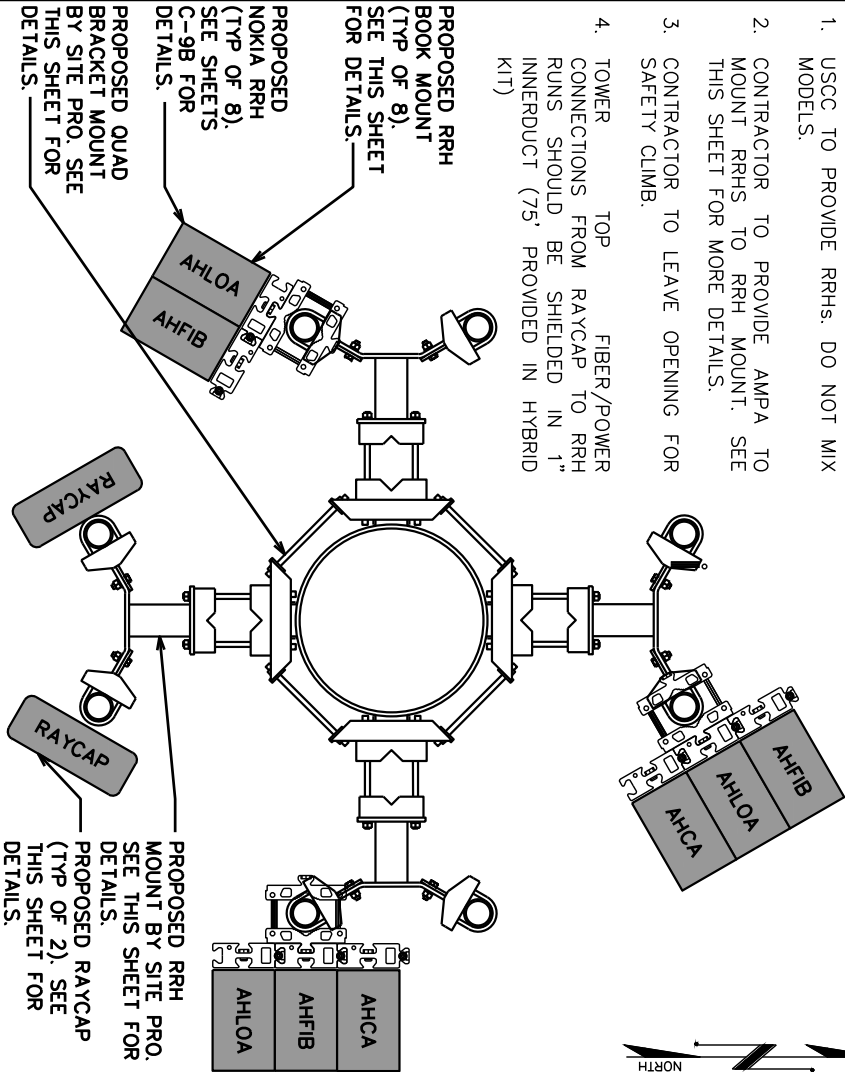
REVISION:

2

TEP #: 257244

NOTES:

1. USCC TO PROVIDE RRHS. DO NOT MIX MODELS.
2. CONTRACTOR TO PROVIDE AMPA TO MOUNT RRHS TO RRH MOUNT. SEE THIS SHEET FOR MORE DETAILS.
3. CONTRACTOR TO LEAVE OPENING FOR SAFETY CLIMB.
4. TOWER TOP FIBER/POWER CONNECTIONS FROM RAYCAP TO RRH RUNS SHOULD BE SHIELDED IN 1" INNERDUCT (75' PROVIDED IN HYBRID KIT)



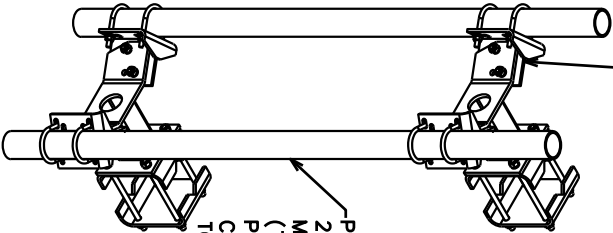
RAYCAP AND RRH MOUNTING DETAIL (PLAN)

SCALE: N.T.S.

NOTE:

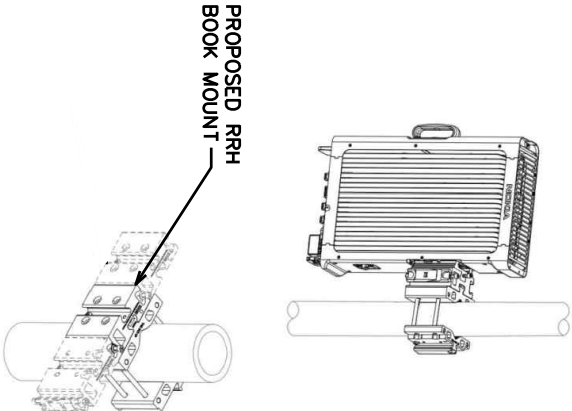
USCC TO PROVIDE RRH MOUNTS

PROPOSED DUAL RAYCAP & RRH MOUNT WITH 14" STANDOFF BY SITEPRO (P/N: CWT8)



NOTE:

1. NOKIA POLE MOUNTING KIT (AMPA) 473879A.
2. CAN BE USED WITH PIPES FROM 1.2"Ø TO 4.7"Ø.

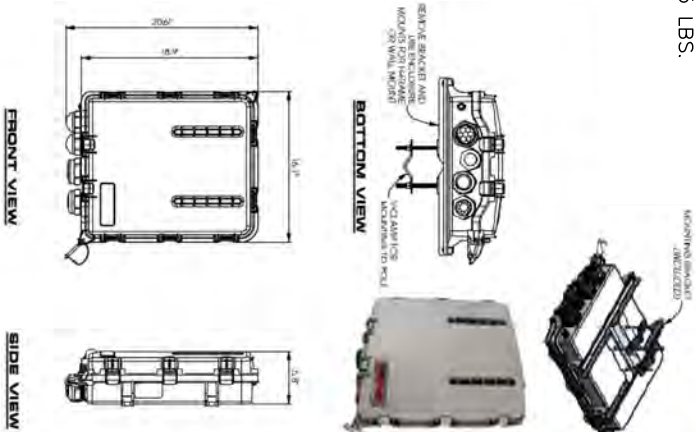


DUAL MOUNT

SCALE: N.T.S.

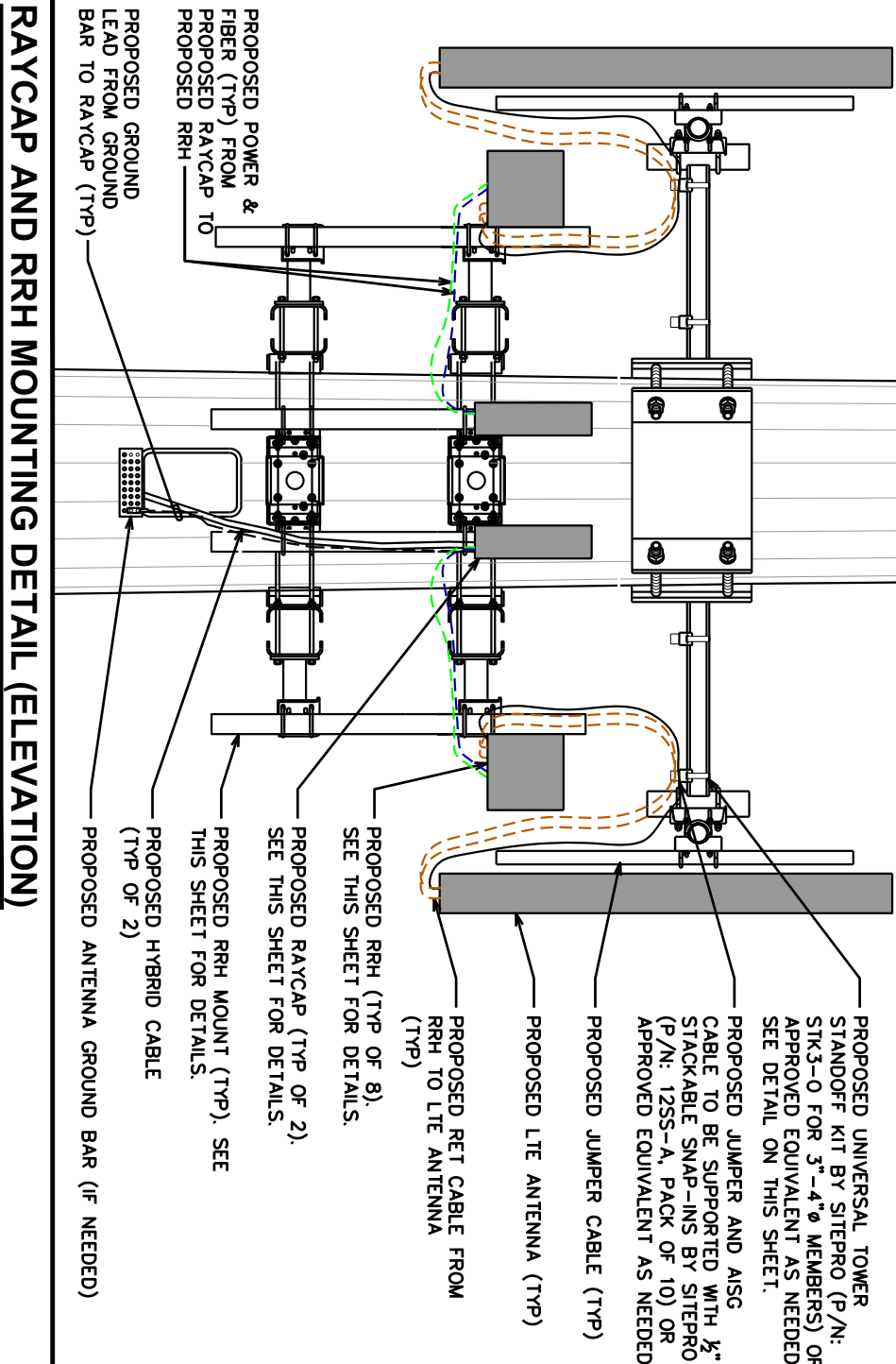
RAYCAP SPEC SHEET

SCALE: N.T.S.



NOTES:

- P/N: RUSDC-6267-PF-48
- 20.6"Hx18.9"Wx5.8"D
- 19.95 LBS.

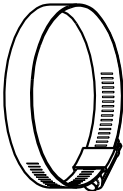


RAYCAP AND RRH MOUNTING DETAIL (ELEVATION)

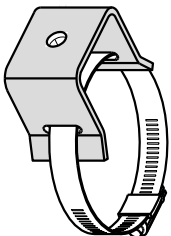
SCALE: N.T.S.

NOTES:

1. USCC TO PROVIDE RRH MOUNTS
2. FLUSH MOUNT ADAPTER KIT (SITE PRO P/N: FMA2) AND MOUNT PIPES TO SUPPLIED SEPERATELY



ROUND MEMBER
ADAPTER DETAIL



UNIVERSAL
STANDOFF DETAIL

MOUNTING DETAILS

SCALE: N.T.S.

PLANS PREPARED FOR:

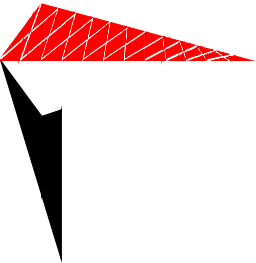
uscellular
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KNOXVILLE, TN 37932
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SHEET TITLE:

**RRH SPEC
SHEETS**

SHEET NUMBER: REVISION:

C-11B 2

TEP #: 257244

NOKIA

Product name	Alcatel Dual 68142R 812/1 240W AHA0A
Supported frequency bands	3GPP bands 12 and 71
Frequencies	Band 8: 112-117 UL 898-716 MHz DL 728-746 MHz Band 71: UL 663 MHz-698 MHz DL 617 MHz-652 MHz
Number of TX/RX ports	4 ports 2T2R 2T4R 4T4R for both bands
Instantaneous Bandwidth BW	17 MHz for 812 and 31 MHz for 811
Occupied Bandwidth OBW	1 MHz NB IoT future use in BBS
Output power	UL 33WHz configurable DL 812 17MHz -> 1 MHz NB IoT future use 811 33WHz
Supply Voltage / Voltage Range	60V per TX shared between bands DC-48 V / -36 V to -50 V
Typical power consumption	66W ETSI Busy Hour Load at 47W@20V 465W ETSI Busy Hour Load at 47W@20V
Antenna ports	4 ports 4x3-10
Optical ports	2 x CPRI 9.8 Gbps
A/D control interfaces	ASG3.0 and RFI-DC on ANT1 & ANT3
Other interfaces	External alarm IOD-38 serial connector / 4 inputs, 1 output DC circular power connector
Operational temperature range	-40°C to 57°C (with no power input)
Dimensions (mm) height x width x depth	350 x 308 x 159
Volume (liters)	32.5
Weight (kg)	38
Ingress protection class	IP65
Installation options	Free or NMI, vertical or horizontal rack mount
Surge protection	Class II SNA

NOKIA

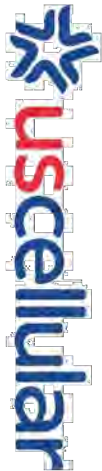
Product name	Alcatel Dual 68142R 812/1 240W AHA0A
Supported frequency bands	3GPP bands 12 and 66
Frequencies	Band 25 DL 1330-1355MHz UL 1850-1915MHz Band 66 DL 2110-2120MHz UL 1710-1720MHz
Number of TX/RX ports	4/4
Instantaneous Bandwidth BW	Band 25 Band 66- full band
Occupied Bandwidth OBW	Band 25 full band Band 66 30MHz
Output power	40W per band 80W per TX
Supply Voltage / Voltage Range	DC-48 V / -36V to -60V
Typical Power Consumption	525W ETSI 24h Avg -400W per band 40W per TX port
Antenna ports	4 ports 4x3-10
Optical Ports	2 x CPRI 9.8 Gbps
A/D Control interfaces	ASG3.0 from ANT1 1,2,3,4 and RFI Power supply ANT1 and ANT3
Other interfaces	External alarm IOD-38 serial connector / 4 inputs, 1 output DC Circular Power Connector
Operational Temperature Range	-40°C to 57°C (with no power input)
Dimensions (mm) height x width x depth	500x108x149 (with battery/covers or mounting brackets)
Volume (liters)	< 28 (without covers or mounting brackets)
Weight (kg)	< 30 (without covers or mounting brackets)
Input and output data	IP65
Installation options	Free, NMI, Band mount, Vertical wall/port, Horizontal wall
Surge protection	Class II SNA

NOKIA

Product name	Alcatel RRH 474R 815 100W AHA0A - 473960A
Supported frequency bands	3GPP bands 5
Frequencies	DL 869-874MHz UL 824-849MHz
Number of TX/RX ports	4/4
Instantaneous Bandwidth BW	25MHz
Occupied Bandwidth OBW	25MHz
Output power	41W 40 W/ 2748 60W
Dimensions (mm) height x width x depth	337 x 293 x 165
Volume (liters)	18.4
Weight (kg)	16.7
Supply Voltage / Voltage Range	DC-48V / -36V to -60V
Typical Power Consumption	207 W ETSI 24h Avg -440W (max)
Antenna ports	4x3x10x4, 4x5-10+
A/D control interfaces	3 x CPRI 9.8 Gbps
Other interfaces	ASG3.0 from ANT1 2,3,4 and RFI Power supply ANT1 and ANT3
Operational Temperature range	External alarm IOD-38 serial connector / 4 inputs, 1 output DC circular power connector
Ingress protection class	-40°C to 57°C (with no power input)
Installation options	Free or wall RMI, vertical or horizontal rack mount
Surge protection	Class II SNA

RRH SPEC SHEETS

SCALE: N.T.S.



NSN// B71/B12 / B2/B66 / B5
PER SECTOR CONFIGURATION

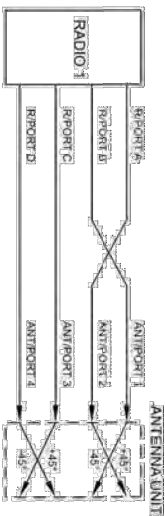
PCS/MSLTE
1900/2100/700/600 MHz
4.3/10 CONNECTORS



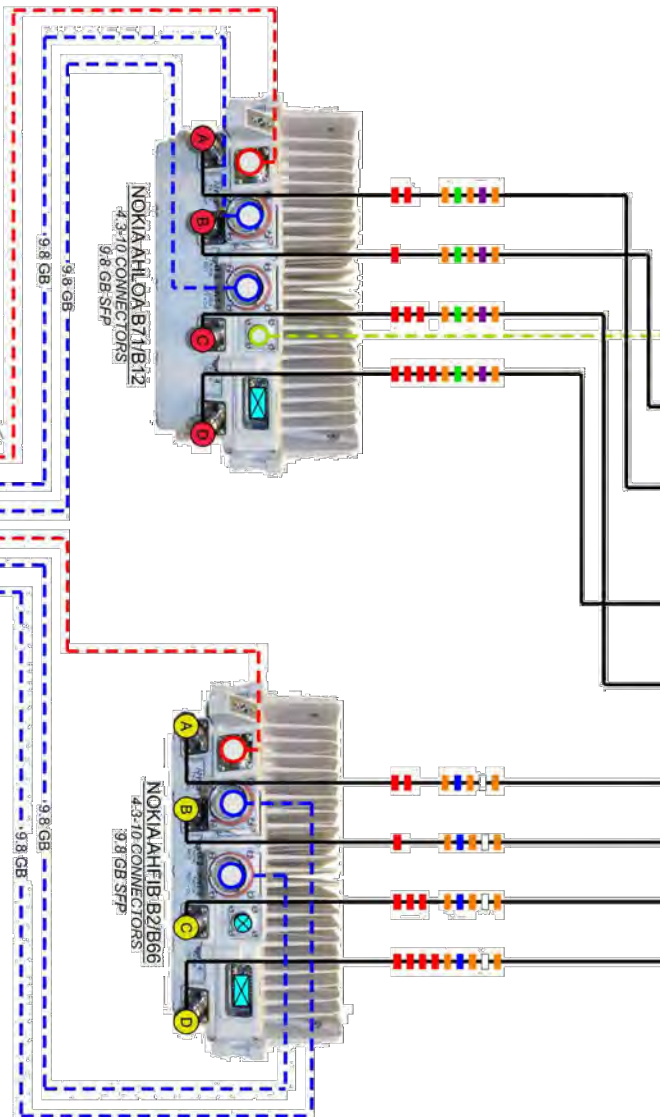
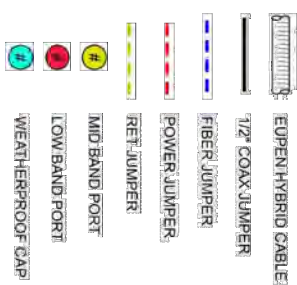
LTE
850 MHz
4.3/10 CONNECTORS



ANT. TO AIRSCALE RADIO DE-CORRELATION



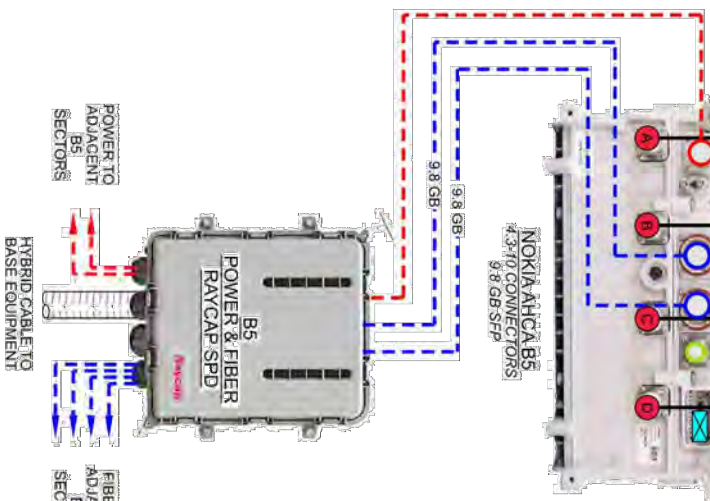
CABLE LEGEND



NOTES:

1. UNUSED PORTS TO BE CAPPED. CAPS INCLUDED WITH EQUIPMENT PURCHASE. CONTRACTOR TO SUPPLY IF NECESSARY.
2. SEE TOWER ELEVATION FOR SPECIFIC JUMPER LENGTHS AND SIZES.
3. ALL JUMPERS BETWEEN RRH AND ANTENNAS MUST BE THE SAME LENGTH (PER SECTOR).
4. EXCESS JUMPER AND RET CABLES TO BE SECURED POWER TO ADJACENT SECTORS B71/B12 & B2/B66.
5. CONTRACTOR TO USE STRANDED INSULATED GROUND LEAD #6. SPECIFIED BY MANUFACTURER.
6. USE LDF4 JUMPERS FOR BAND 5.

PLUMBING DIAGRAM: DX212



NOTES:

1. ALL JUMPERS BETWEEN RADIO UNITS & ANTENNAS MUST BE THE SAME LENGTH.
2. CONTRACTOR TO INSTALL WEATHERPROOF CAP ON ALL UNUSED PORTS.

PLANS PREPARED FOR:



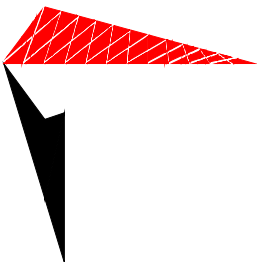
800 CORNERSTONE DRIVE
KNOXVILLE, TN 37932
(865) 777-8054

PROJECT INFORMATION:

LINCOLN PARK
SITE #: 589403

MCNALLY ROAD
(E911 ADDRESS T.B.D.)
PITTSBURG, KS 66762
(CRAWFORD COUNTY)

PLANS PREPARED BY:



TOWER ENGINEERING PROFESSIONALS
326 TRYON ROAD
RALEIGH, NC 27603-3530
OFFICE: (919) 661-6351
www.tepgroup.net

SEAL:



October 15, 2021

2	10-15-21	CONSTRUCTION
1	08-10-21	PRELIMINARY
0	05-17-21	PRELIMINARY
REV	DATE	ISSUED FOR:

DRAWN BY: GLB CHECKED BY: JKW

SHEET TITLE:

LTE PLUMBING
DIAGRAM

SHEET NUMBER: REVISION:

C-12A 2

TEP #: 257244

LTE PLUMBING DIAGRAM

SCALE: N.T.S.

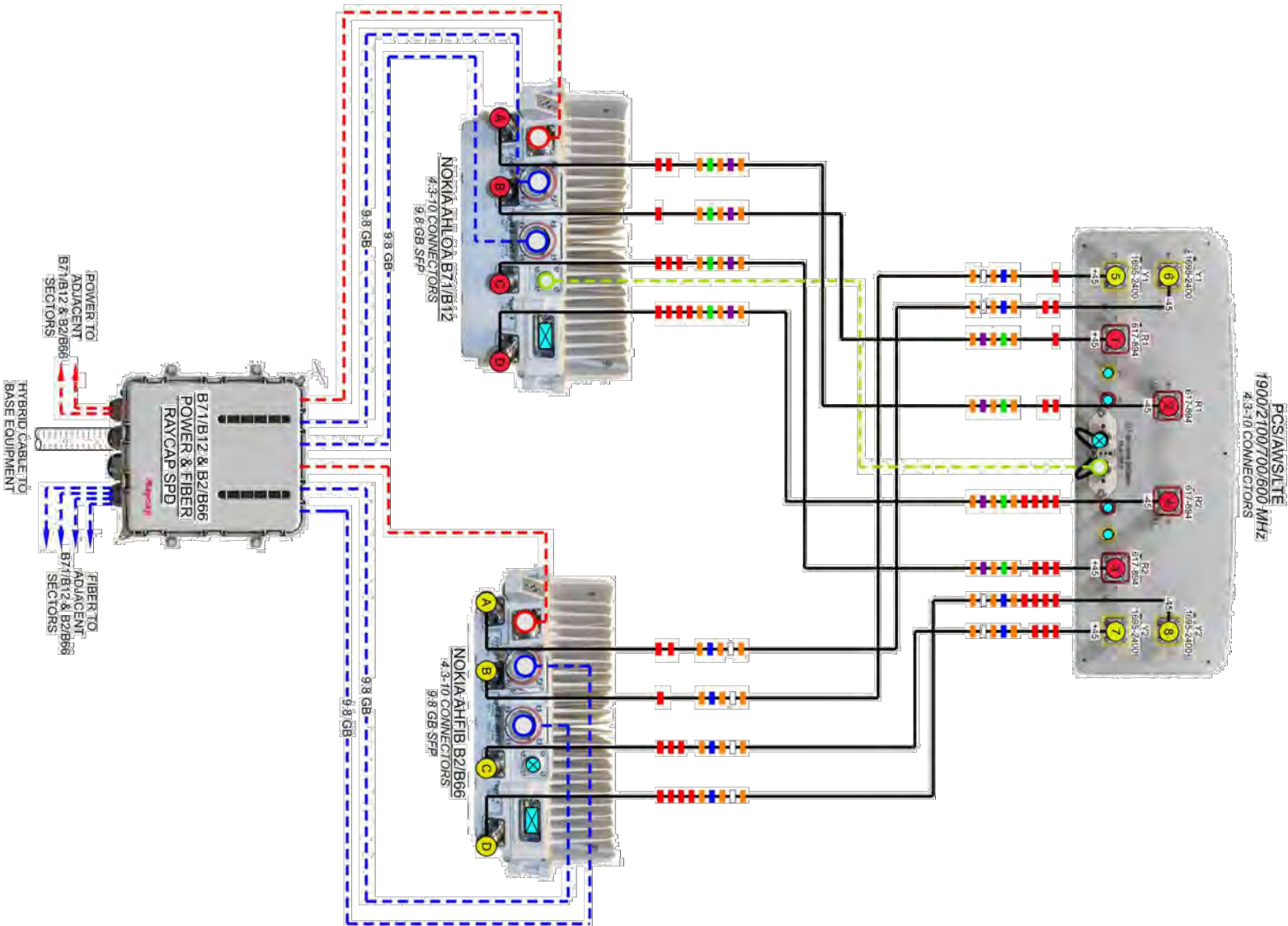
DATE CREATED: 08/04/2021

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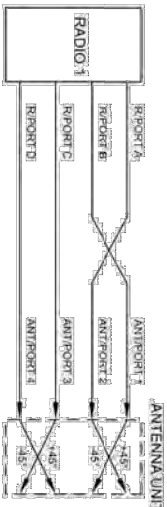
NSN// B71/B12 / B2/B66
PER SECTOR CONFIGURATION

- NOTES:**
1. UNUSED PORTS TO BE CAPPED. CAPS INCLUDED WITH EQUIPMENT PURCHASE. CONTRACTOR TO SUPPLY IF NECESSARY.
 2. SEE TOWER ELEVATION FOR SPECIFIC JUMPER LENGTHS AND SIZES.
 3. ALL JUMPERS BETWEEN RRH AND ANTENNAS MUST BE THE SAME LENGTH (PER SECTOR).
 4. EXCESS JUMPER AND RET CABLES TO BE SECURED WITH GROMMETS AND SNAP-INS. VELCRO MAY NOT BE USED.
 5. CONTRACTOR TO USE STRANDED INSULATED GROUND LEAD #6. SPECIFIED BY MANUFACTURER.
 6. USE LDF4 JUMPERS FOR BAND 5.

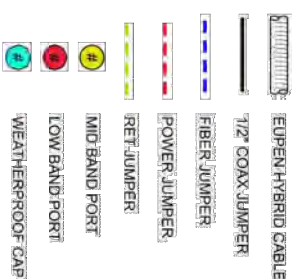


PLUMBING DIAGRAM: DX209

ANT. TO AIRSCALE RADIO DE-CORRELATION



CABLE LEGEND



PLANS PREPARED FOR:



800 CORNERSTONE DRIVE
KNOXVILLE, IN 37932
(865) 777-8054

PROJECT INFORMATION:

LINCOLN PARK
SITE #: 589403

MCNALLY ROAD
(E911 ADDRESS T.B.D.)
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(CRAWFORD COUNTY)

PLANS PREPARED BY:

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SEAL:



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REV	DATE	ISSUED FOR:

DRAWN BY: GLB CHECKED BY: JKV

SHEET TITLE:

LTE PLUMBING
DIAGRAM

SHEET NUMBER: REVISION:

C-12B 2

TEP #: 257244

LTE PLUMBING DIAGRAM

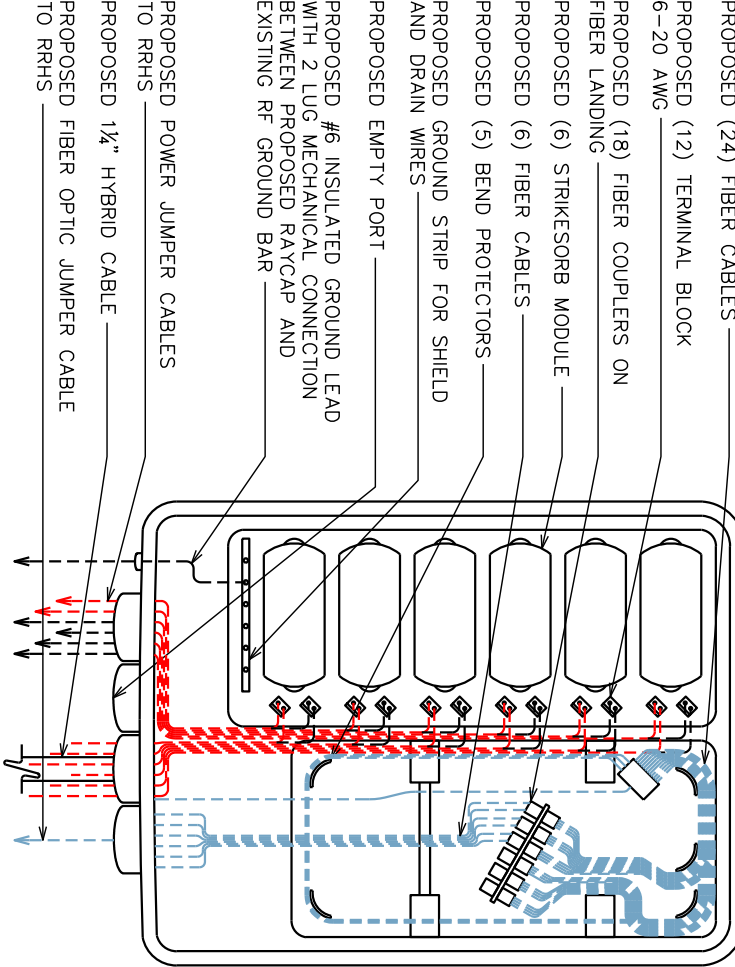
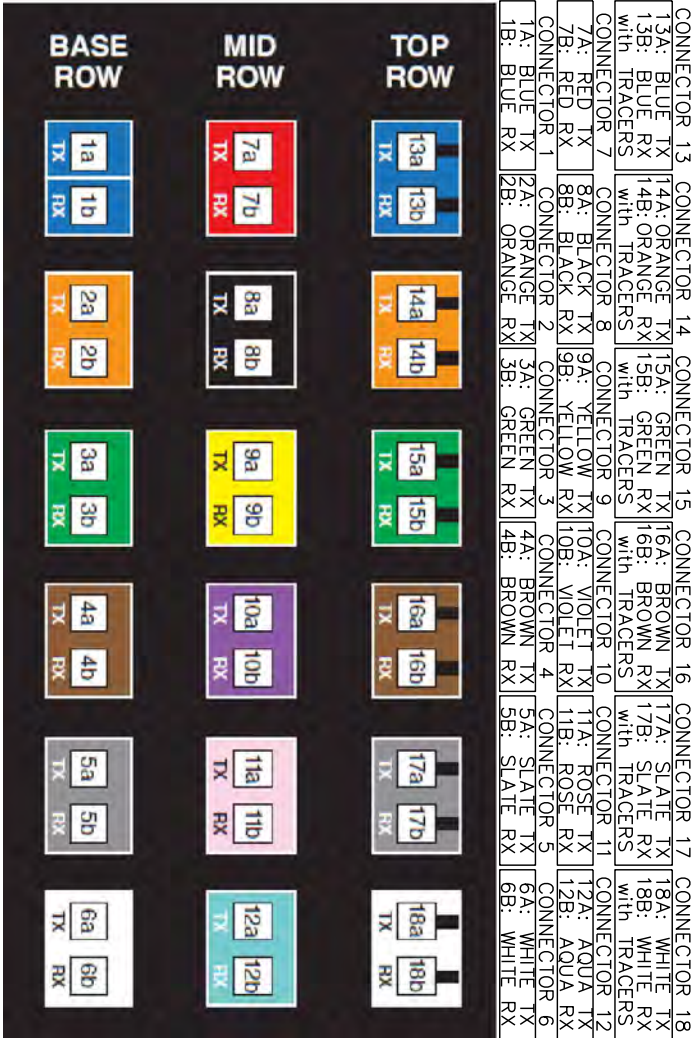
SCALE: N.T.S.

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- NOTES:
1. ALL JUMPERS BETWEEN RADIO UNITS & ANTENNAS MUST BE THE SAME LENGTH.
 2. CONTRACTOR TO INSTALL WEATHERPROOF CAP ON ALL UNUSED PORTS.

NOTE:

REFER TO USCC DOCUMENT "TOWER MOUNTED EQUIPMENT AND TOWER CABLE STANDARDS AT CELL SITES" FOR COMPLETE COLOR CODING STANDARDS.

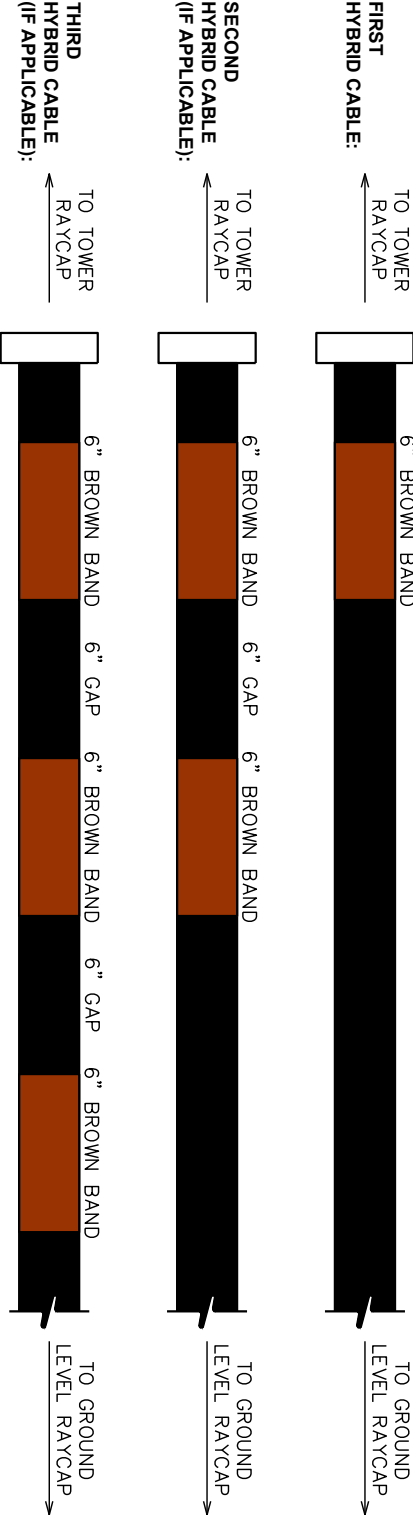


FIBER CABLE LABELING

SCALE: N.T.S.

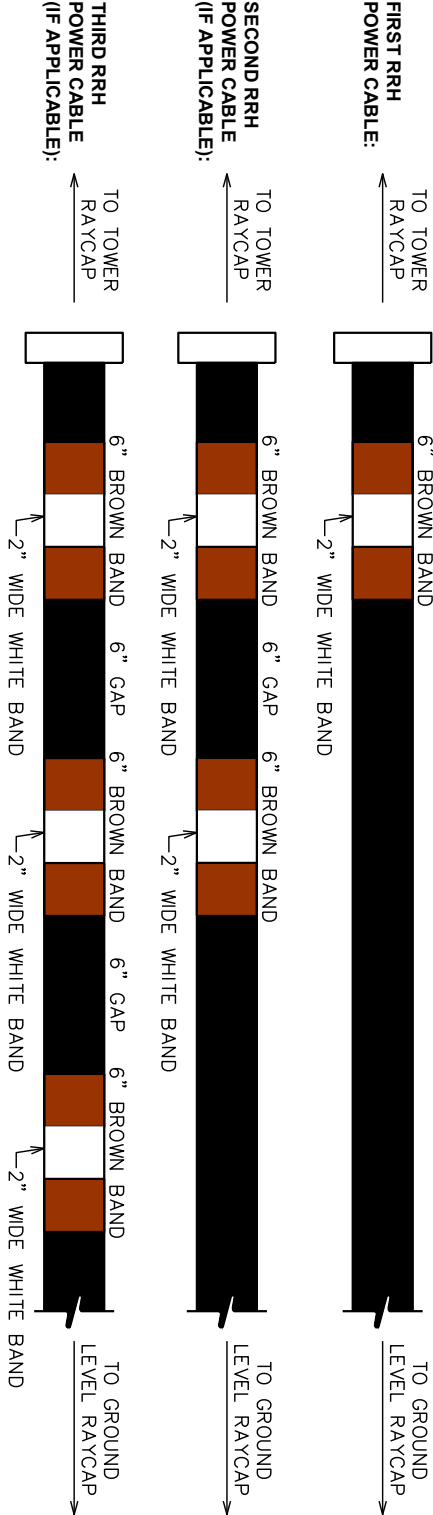
RAYCAP CABLING

SCALE: N.T.S.



HYBRID CABLE BANDING

SCALE: N.T.S.



POWER CABLE BANDING

SCALE: N.T.S.

PLANS PREPARED FOR:



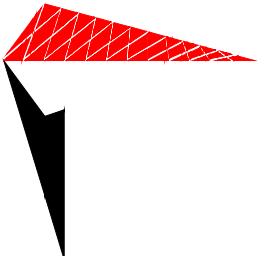
800 CORNERSTONE DRIVE
KNOXVILLE, TN 37932
(865) 777-8054

PROJECT INFORMATION:

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SEAL:



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DRAWN BY:	GLB	CHECKED BY: JKW

SHEET TITLE:

LABELING
STANDARDS I

SHEET NUMBER:

C-13A

REVISION:

2

TEP #: 257244

Sector Band Assignments (Most Common Case: Single Technology within the Sector)					
Sector Band	Assigned Color	Line 1	Line 2	Line 3	Line 4
Alpha (Sector 1)	red	1 red band	2 red bands	3 red bands	4 red bands
Beta (Sector 2)	white	1 white band	2 white bands	3 white bands	4 white bands
Gamma (Sector 3)	blue	1 blue band	2 blue bands	3 blue bands	4 blue bands
Delta (Sector 4, if applicable)	green	1 green band	2 green bands	3 green bands	4 green bands
Epsilon (Sector 5, if applicable)	violet	1 violet band	2 violet bands	3 violet bands	4 violet bands
Zeta (Sector 6, if applicable)	brown	1 brown band	2 brown bands	3 brown bands	4 brown bands

FREQUENCY BAND	
FREQUENCY	FREQUENCY BAND
700 (B12)	GREEN
800 (B5)	BROWN
1900 (B2)	BLUE
2100 (B4 & B66)	WHITE
5100 (B46)–LAA	GREY
600 (B71)	VIOLET
3.5 GHz	RED

PLANS PREPARED FOR:



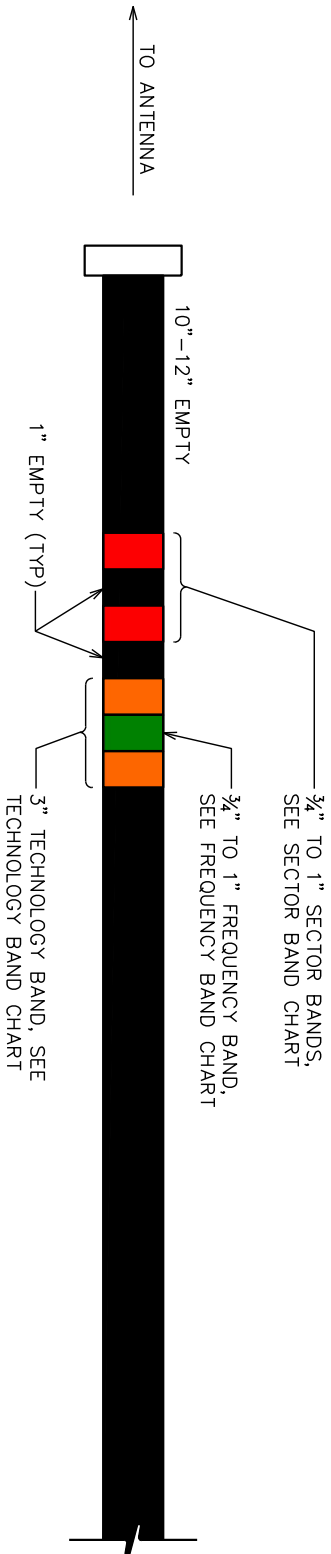
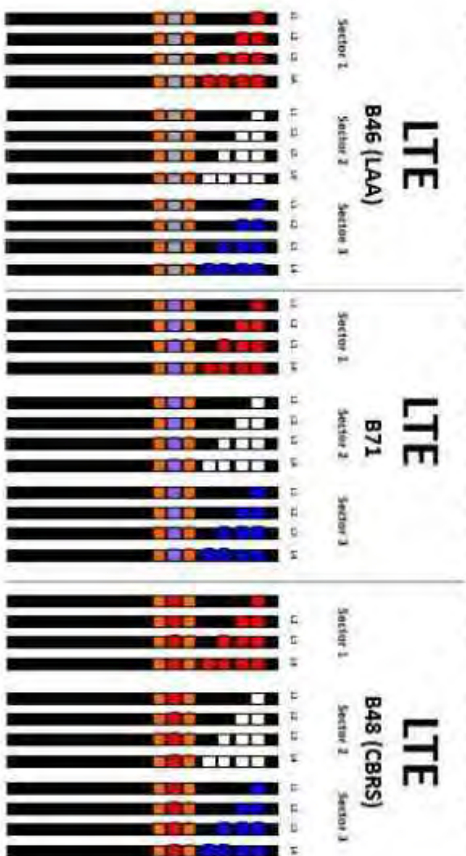
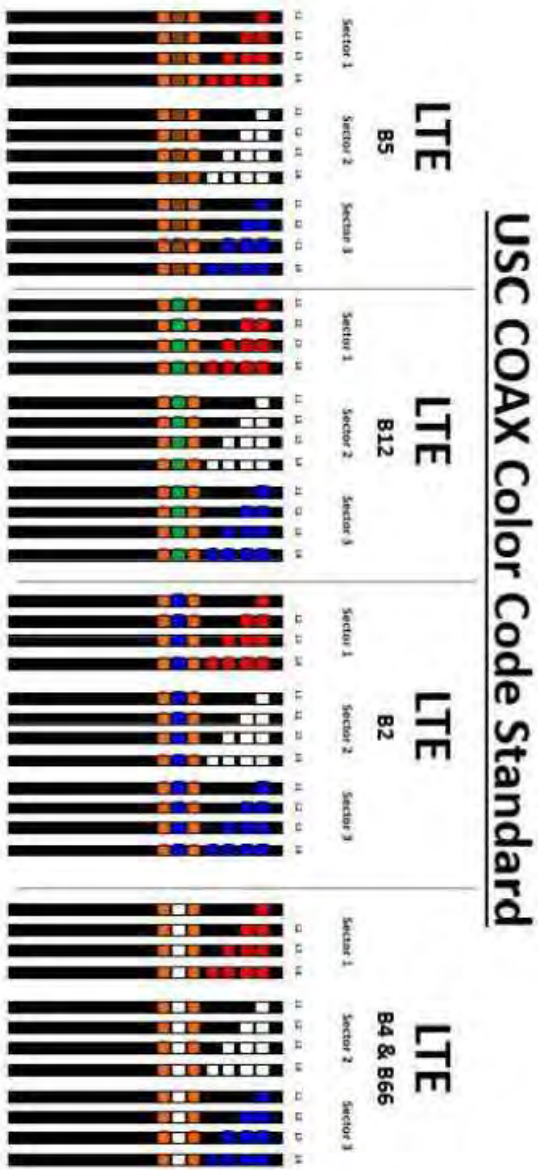
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KNOXVILLE, IN 37932
(865) 777-8054

PROJECT INFORMATION:

LINCOLN PARK
SITE #: 589403

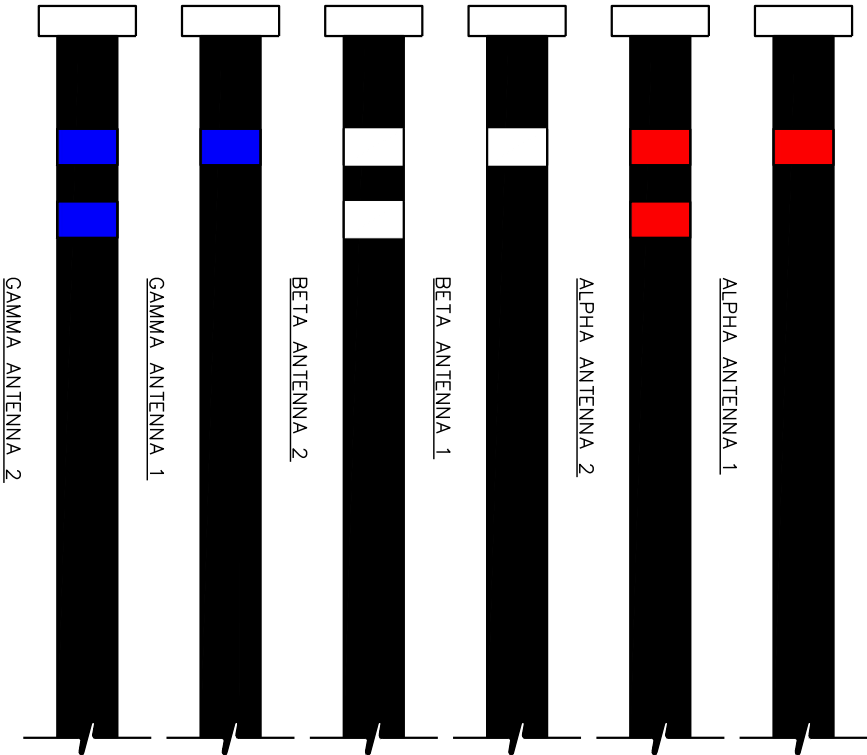
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(E911 ADDRESS T.B.D.)
PITTSBURG, KS 66762
(CRAWFORD COUNTY)

PLANS PREPARED BY:



FREQUENCY BAND	
FREQUENCY	FREQUENCY BAND
700 (B12)	GREEN
800 (B5)	BROWN
1900 (B2)	BLUE
2100 (B4 & B66)	WHITE
5100 (B46)–LAA	GREY
600 (B71)	VIOLET
3.5 GHz	RED

RET SECTOR BAND		
SECTOR	LINE 1 - FIRST TECHNOLOGY	LINE 2 - FIRST TECHNOLOGY
ALPHA	(1) RED BAND	(2) RED BAND
BETA	(1) WHITE BAND	(2) WHITE BAND
GAMMA	(1) BLUE BAND	(2) BLUE BAND



COAX CABLE BANDING

SCALE: N.T.S.

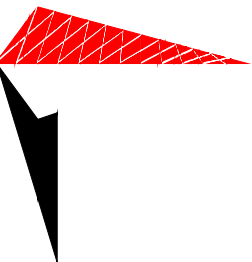
RET SECTOR BAND

RET CABLE BANDING

SCALE: N.T.S.

SEAL:





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LABELING STANDARDS II

SHEET TITLE:

2	10-15-21	CONSTRUCTION
I	08-10-21	PRELIMINARY
O	05-17-21	PRELIMINARY
REV	DATE	ISSUED FOR:
DRAWN BY:	GLB	CHECKED BY: JKV

SHEET NUMBER:

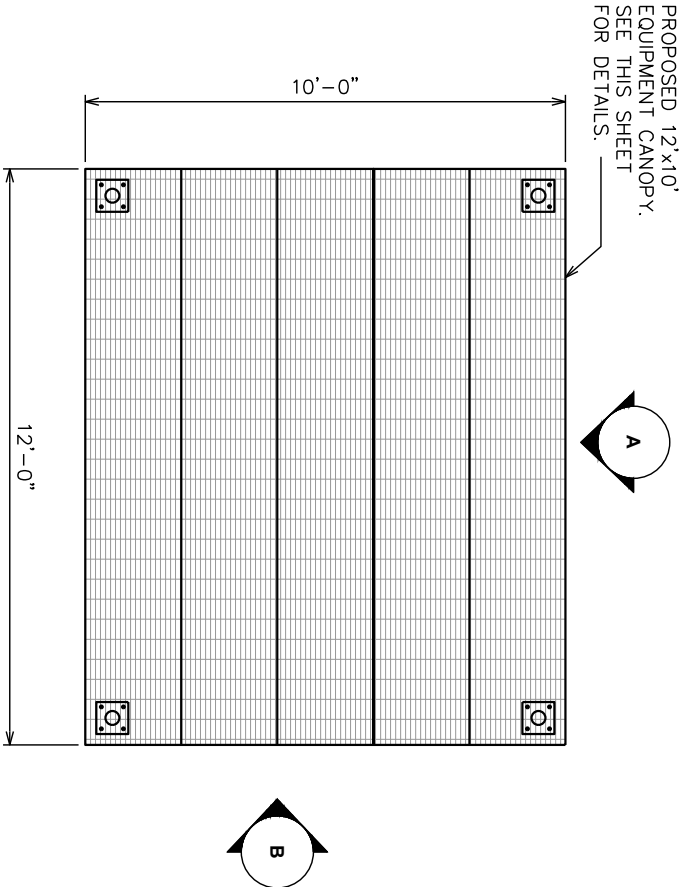
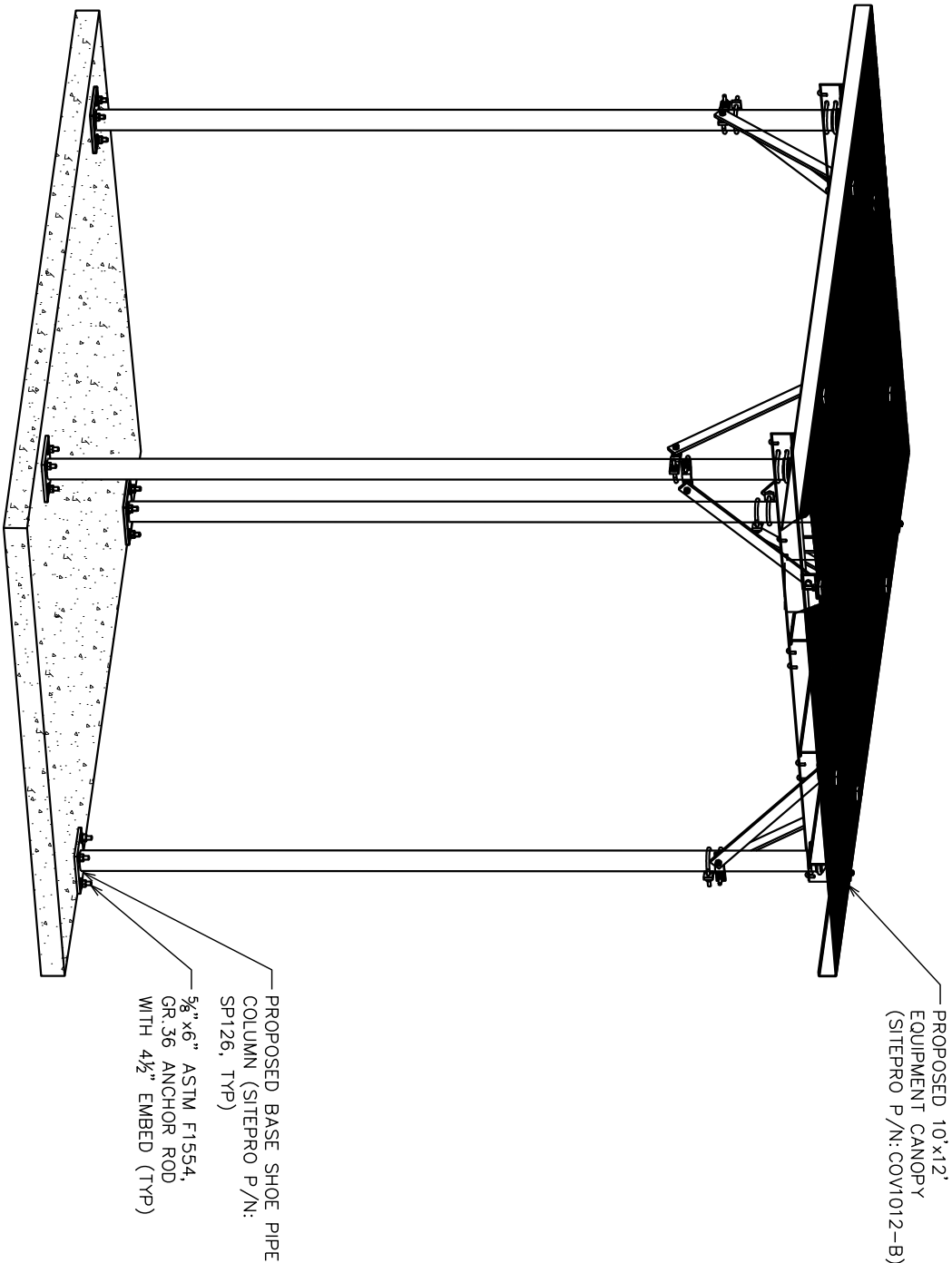
REVISION:

C-13B

TEP #: 257244

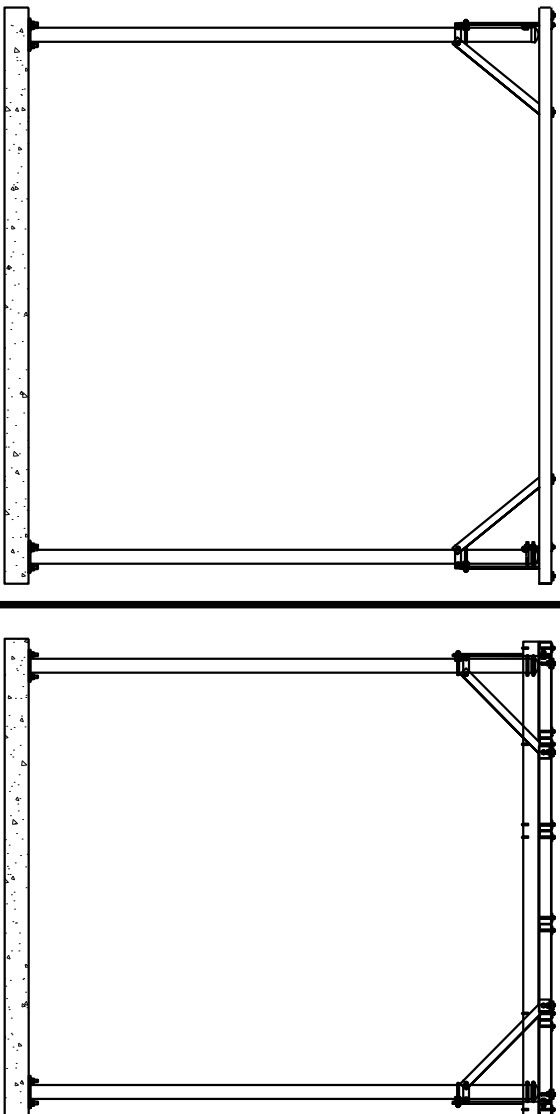
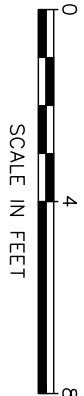
NOTE:

CANOPY DESIGN BASED UPON WIND EXPOSURE CATEGORY C (130 MPH).



EQUIPMENT LAYOUT

SCALE: 1/4" = 1'-0"



CANOPY DETAILS

SCALE: N.T.S.

PLANS PREPARED FOR:



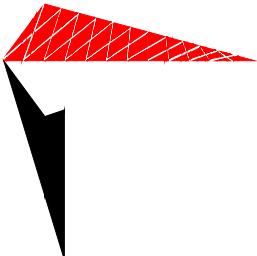
800 CORNERSTONE DRIVE
KNOXVILLE, TN 37932
(865) 777-8054

PROJECT INFORMATION:

LINCOLN PARK
SITE #: 589403

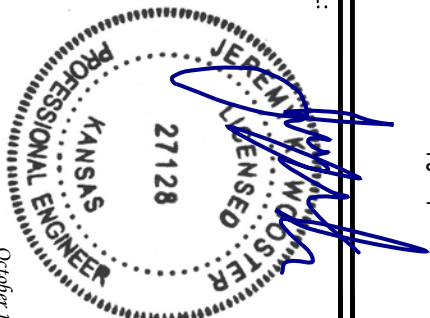
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PITTSBURG, KS 66762
(CRAWFORD COUNTY)

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SEAL:



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REV	DATE	ISSUED FOR:

DRAWN BY: GLB CHECKED BY: JKW

SHEET TITLE:

EQUIPMENT
CANOPY ELEVATION
& DETAILS

SHEET NUMBER:

C-14

REVISION:

2

TEP #: 257244

PLANS PREPARED FOR:



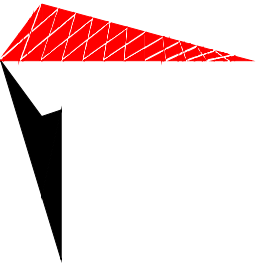
800 CORNERSTONE DRIVE
KNOXVILLE, TN 37932
(865) 777-8054

PROJECT INFORMATION:

LINCOLN PARK
SITE #: 589403

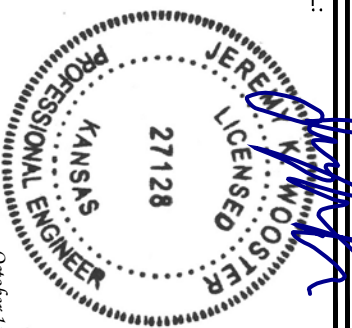
MCNALLY ROAD
(E911 ADDRESS T.B.D.)
PITTSBURG, KS 66762
(CRAWFORD COUNTY)

PLANS PREPARED BY:



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SEAL:



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REV	DATE	ISSUED FOR:
DRAWN BY:	GLB	CHECKED BY: JKW

SHEET TITLE:

ELECTRICAL
NOTES

SHEET NUMBER:	REVISION:
E-1	2
TEP #:	257244

EQUIPMENT:

- DISCONNECT SWITCHES SHALL BE SERVICE ENTRANCE RATED, HEAVY DUTY TYPE.
- CONTRACTOR SHALL VERIFY MAXIMUM AVAILABLE FAULT CURRENT AND COORDINATE INSTALLATION WITH THE LOCAL UTILITY BEFORE STARTING WORK. CONTRACTOR WILL VERIFY THAT EXISTING CIRCUIT BREAKERS ARE RATED FOR MORE THAN AVAILABLE FAULT CURRENT AND REPLACE AS NECESSARY.
- NEW CIRCUIT BREAKERS SHALL BE RATED TO WITHSTAND THE MAXIMUM AVAILABLE FAULT CURRENT AS DETERMINED BY THE LOCAL UTILITY.

CONDUCTORS:

- FURNISH AND INSTALL CONDUCTORS SPECIFIED IN THE DRAWINGS. CONDUCTORS SHALL BE COPPER AND SHALL HAVE TYPE THWN (MIN) (75° C) INSULATION, RATED FOR 600 VOLTS.
- THE USE OF ALUMINUM CONDUCTORS SHALL BE LIMITED TO THE SERVICE FEEDERS INSTALLED BY THE UTILITY.
- CONDUCTORS SHALL BE PROVIDED AND INSTALLED AS FOLLOWS:

- MINIMUM WIRE SIZE SHALL BE #12 AWG.
 - CONDUCTORS SIZE #8 AND LARGER SHALL BE STRANDED. CONDUCTORS SIZED #10 AND #12 MAY BE SOLID OR STRANDED.
 - CONNECTION FOR #10 AWG, #12 AWG, SHALL BE BY TWISTING TIGHT AND INSTALLING INSULATED PRESSURE OR WIRE NUT CONNECTIONS.
 - CONNECTION FOR #8 AWG AND LARGER SHALL BE BY USE OF STEEL CRIMP-ON SLEEVES WITH NYLON INSULATOR.
3. CONDUCTORS SHALL BE COLOR CODED IN ACCORDANCE WITH NEC STANDARDS.

UL COMPLIANCE:

- ELECTRICAL MATERIALS, DEVICES, CONDUCTORS, APPLIANCES, AND EQUIPMENT SHALL BE LABELED/LISTED BY UL OR ACCEPTED BY JURISDICTION (I.E., LOCAL COUNTY OR STATE) APPROVED THIRD PARTY TESTING AGENCY.

GROUNDING:


- ELECTRICAL NEUTRALS, RACEWAYS AND NON-CURRENT CARRYING PARTS OF ELECTRICAL EQUIPMENT AND ASSOCIATED ENCLOSURES SHALL BE GROUNDED IN ACCORDANCE WITH NEC ARTICLE 250. THIS SHALL INCLUDE NEUTRAL CONDUCTORS, CONDUITS, SUPPORTS, CABINETS, BOXES, GROUND BUSSES, ETC. THE NEUTRAL CONDUCTOR FOR EACH SYSTEM SHALL BE GROUNDED AT A SINGLE POINT.
- PROVIDE GROUND CONDUCTOR IN RACEWAYS PER NEC.
- PROVIDE BONDING AND GROUND TO MEET NFPA 780 – "LIGHTNING PROTECTION" AS A MINIMUM.
- PROVIDE GROUNDING SYSTEM AS INDICATED ON THE DRAWINGS, AS REQUIRED BY THE NATIONAL ELECTRIC CODE, RADIO EQUIPMENT MANUFACTURERS, AND MOTOROLA R56 (AS APPLICABLE).

ABBREVIATIONS AND LEGEND

A	-	AMPERE	PNLBD	-	PANELBOARD
AFG	-	ABOVE FINISHED GRADE	PVC	-	RIGID NON-METALLIC CONDUIT
ATS	-	AUTOMATIC TRANSFER SWITCH	RGS	-	RIGID GALVANIZED STEEL CONDUIT
AWG	-	AMERICAN WIRE GAUGE	SW	-	SWITCH
BCW	-	BARE COPPER WIRE	TGB	-	TOWER GROUND BAR
BFG	-	BELOW FINISHED GRADE	UL	-	UNDERWRITERS LABORATORIES
BKR	-	BREAKER	V	-	VOLTAGE
C	-	CONDUIT	W	-	WATTS
CKT	-	CIRCUIT	XTMR	-	TRANSFORMER
DISC	-	DISCONNECT	XMTR	-	TRANSMITTER
EGR	-	EXTERNAL GROUND RING			
EMT	-	ELECTRIC METALLIC TUBING			
FSC	-	FLEXIBLE STEEL CONDUIT			
GEN	-	GENERATOR			
GPS	-	GLOBAL POSITIONING SYSTEM			
GRD	-	GROUND			
IGB	-	ISOLATED GROUND BAR			
IGR	-	INTERIOR GROUND RING (HALO)			
KW	-	KILOWATTS			
NEC	-	NATIONAL ELECTRIC CODE			
PCS	-	PERSONAL COMMUNICATION SYSTEM			
PH	-	PHASE			
PNL	-	PANEL			

-----E----- UNDERGROUND ELECTRICAL CONDUIT

-----T----- UNDERGROUND TELEPHONE CONDUIT

 KILOWATT-HOUR METER

----- UNDERGROUND BONDING AND GROUNDING CONDUCTOR.

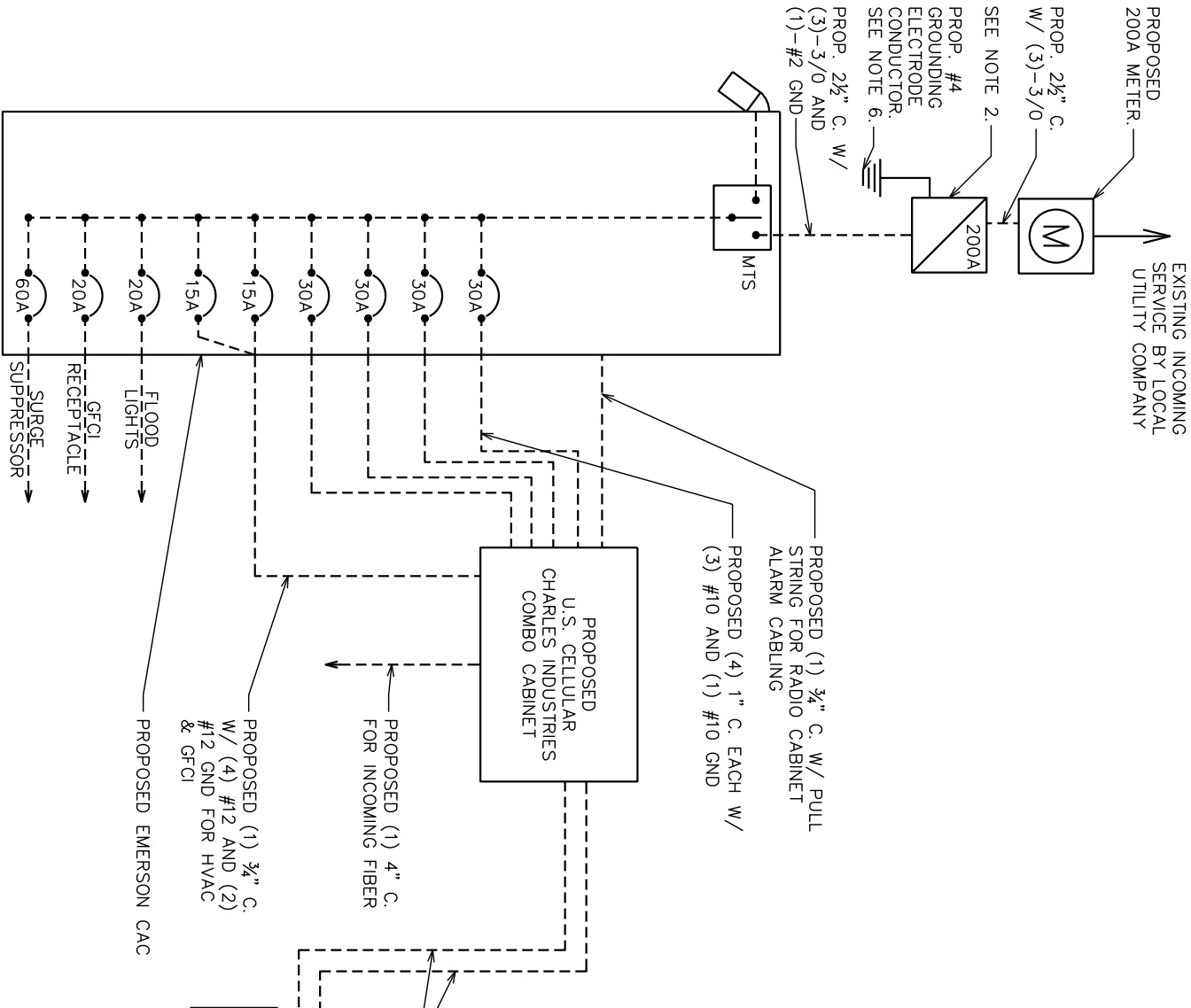
Ø GROUND ROD

● CADWELD

☒ GROUND ROD WITH INSPECTION WELL

NOTES:

- 1. FOR COMPLETE INTERNAL WIRING AND ARRANGEMENT, REFER TO VENDOR PRINTS PROVIDED BY EQUIPMENT MANUFACTURER.
- 2. 200A RATED DISCONNECT FUSED AT 200A. IF NOT EXISTING, INSTALL 200A SERVICE ENTRANCE RATED DISCONNECT FUSED AT 200A.
- 3. SOME BREAKERS NOT SHOWN IN ONE LINE DIAGRAM FOR CLARITY.
- 4. CONTRACTOR TO VERIFY LOAD CENTER PANEL CAPACITY AND EXISTING LOADING IS WITHIN RATED LIMITS.
- 5. PROPOSED CONDUCTOR FEEDING PROPOSED CHARLES CABINET IS BASED ON MANUFACTURER SPECIFICATIONS.
- 6. THE GROUNDING ELECTRODE CONDUCTOR IS SIZED FOR A SINGLE 200A SERVICE. THE CONTRACTOR WILL INSTALL (1) 3/0 COPPER GEC INSTEAD IF THE METER BANK SHARES A COMMON N-G BOND
- 7. THE WRING DIAGRAM PROVIDED BY THE MANUFACTURER DOES NOT SHOW A NEUTRAL BEING USED. THE CONTRACTOR WILL NEED TO VERIFY WITH THE INSTALLATION SPECS.

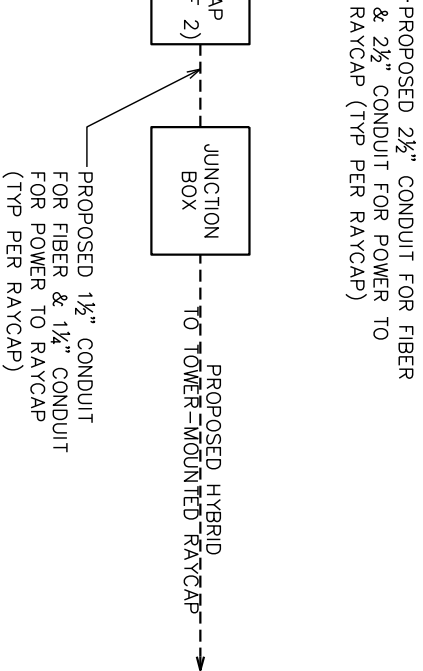


NOTE:

CONTRACTOR TO VERIFY THE SIZE OF ALL BREAKERS SHOWN AND WITH MANUFACTURER SPECIFICATIONS.

200A 120/240VAC POWER PANEL SCHEDULE

LOAD SERVED	VOLT AMPERES (WATTS)		TRIP	CKT #	PHASE		CKT #	TRIP	VOLT AMPERES (WATTS)		LOAD SERVED
	L1	L2			A	B			L1	L2	
SURGE SUPPRESSOR	0	0	60A	1	A		2	30A	2880	2880	RECTIFIER 5/6
				3	B		4				
GFCI RECEPTACLE	180		20A	5	A		6	30A	2880		RECTIFIER 7/8
FLOOD LIGHTS		300	20A	7	B		8			2880	
				9	A		10		1440		
RECTIFIER 1/2	2880	2880	30A	11	B		12	15A		1440	HVAC (COMBO CABINET)
				13	A		14	15A	200		GFCI (COMBO CABINET)
RECTIFIER 3/4	2880	2880	30A	15	B		16	-			-
				17	A		18	-			-
-			-	19	B		20	-			-
				21	A		22	-			-
-			-	23	B		24	-			-
VOLT AMPS		5,940	6,060					7,400		7,200	VOLT AMPS
				L1 VOLT AMPERES		13,340	13,260	L2 VOLT AMPERES			
						26,600		TOTAL VOLT AMPERES			
						110.8		TOTAL AMPS			
						138.5		AMPS X 125%			



ONE LINE DIAGRAM

SCALE: N.T.S.

PLANS PREPARED FOR:



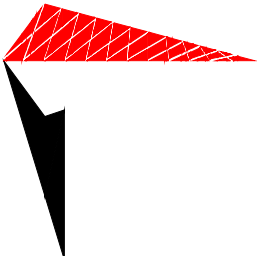
800 CORNERSTONE DRIVE
KNOXVILLE, TN 37932
(865) 777-8054

PROJECT INFORMATION:

LINCOLN PARK
SITE #: 589403

MCNALLY ROAD
(E911 ADDRESS T.B.D.)
PITTSBURG, KS 66762
(CRAWFORD COUNTY)

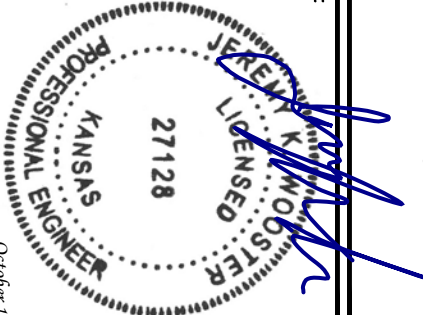
PLANS PREPARED BY:



TOWER ENGINEERING PROFESSIONALS

326 TRYON ROAD
RALEIGH, NC 27603-3530
OFFICE: (919) 661-6351
www.tepgroup.net

SEAL:



October 15, 2021

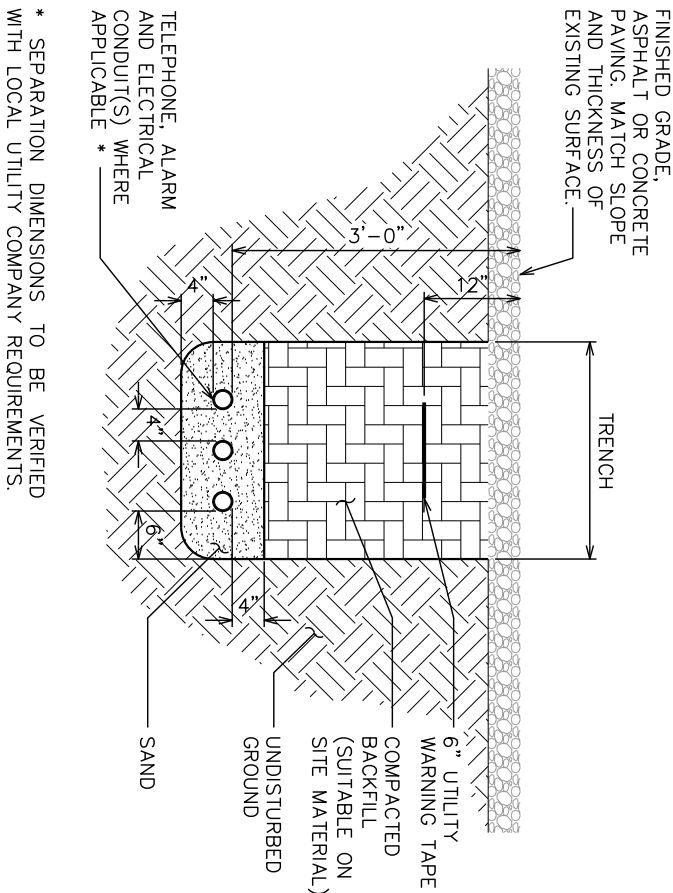
2	10-15-21	CONSTRUCTION
I	08-10-21	PRELIMINARY
O	05-17-21	PRELIMINARY
REV	DATE	ISSUED FOR:
DRAWN BY:	GLB	CHECKED BY: JKW

SHEET TITLE:
ONE LINE DIAGRAM &
POWER PANEL
SCHEDULE

SHEET NUMBER:	REVISION:
E-2	2
TEP #:	257244

NOTES:

- 1. ACTUAL SEPARATION OF CONDUITS TO BE DETERMINED BY SITE SPECIFIC REQUIREMENTS.
- 2. PROVIDE PVC CONDUIT BELOW GRADE EXCEPT AS NOTED BELOW.
- 3. PROVIDE RGS CONDUIT AND ELBOWS AT STUB UP LOCATIONS (I.E. SERVICE POLES, EQUIPMENT, ETC.)
- 4. PROVIDE RGS CONDUIT FOR INSTALLATIONS BELOW PARKING LOTS AND ROADWAYS.

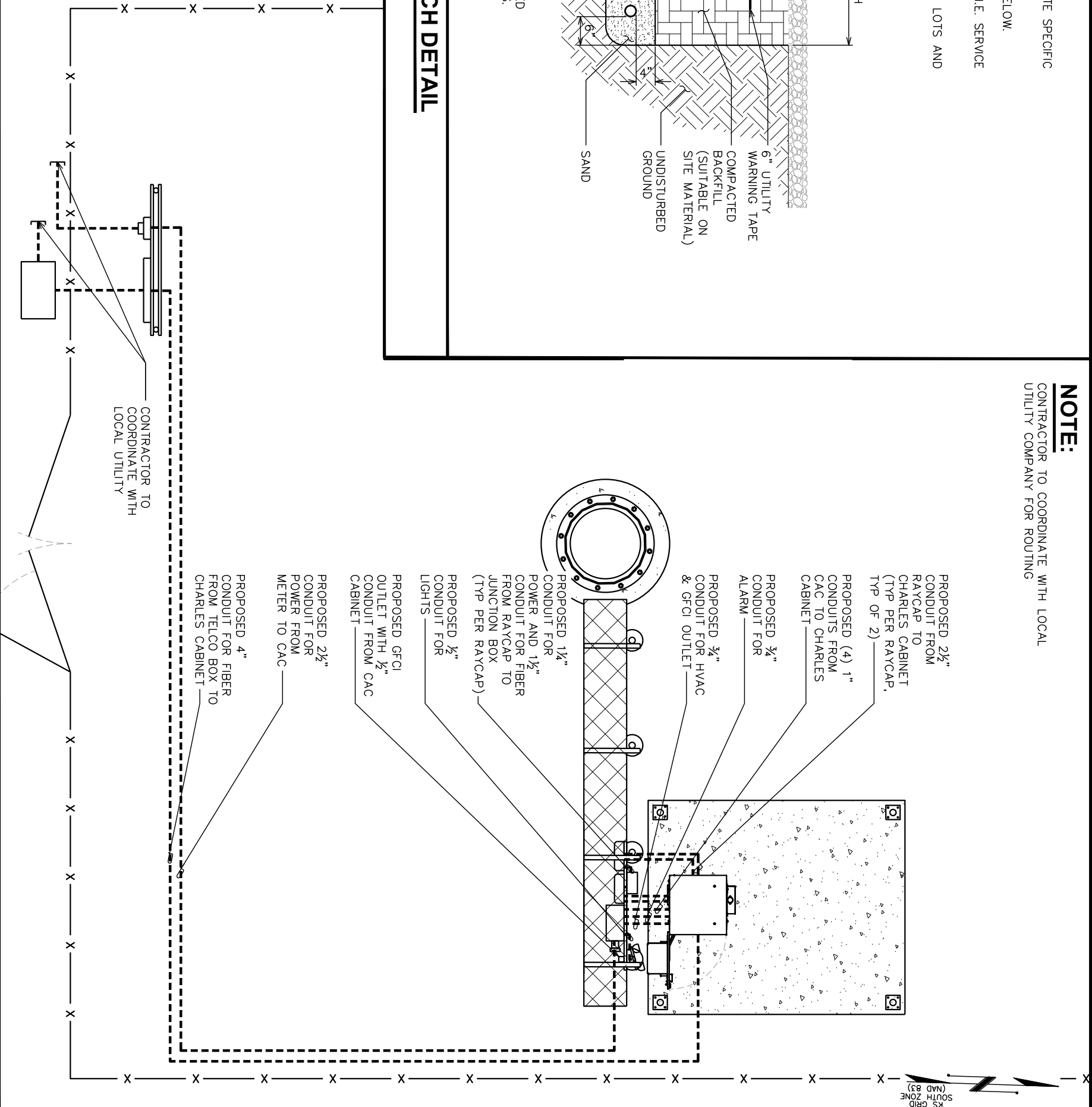


UNDERGROUND CONDUIT(S) TRENCH DETAIL

SCALE: N.T.S.

NOTE:

CONTRACTOR TO COORDINATE WITH LOCAL
UTILITY COMPANY FOR ROUTING



POWER AND TELCO PLAN

SCALE: ¾" = 1'-0"

PLANS PREPARED FOR:



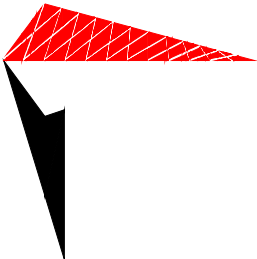
800 CORNERSTONE DRIVE
KNOXVILLE, TN 37932
(865) 777-8054

PROJECT INFORMATION:

LINCOLN PARK
SITE #: 589403

MCNALLY ROAD
(E911 ADDRESS T.B.D.)
PITTSBURG, KS 66762
(CRAWFORD COUNTY)

PLANS PREPARED BY:



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www.tepgroup.net

SEAL:



October 15, 2021

2	10-15-21	CONSTRUCTION
1	08-10-21	PRELIMINARY
0	05-17-21	PRELIMINARY
REV	DATE	ISSUED FOR:
DRAWN BY:	GLB	CHECKED BY: JKW

SHEET TITLE:

**POWER/TELCO
PLAN**

SHEET NUMBER:

E-3

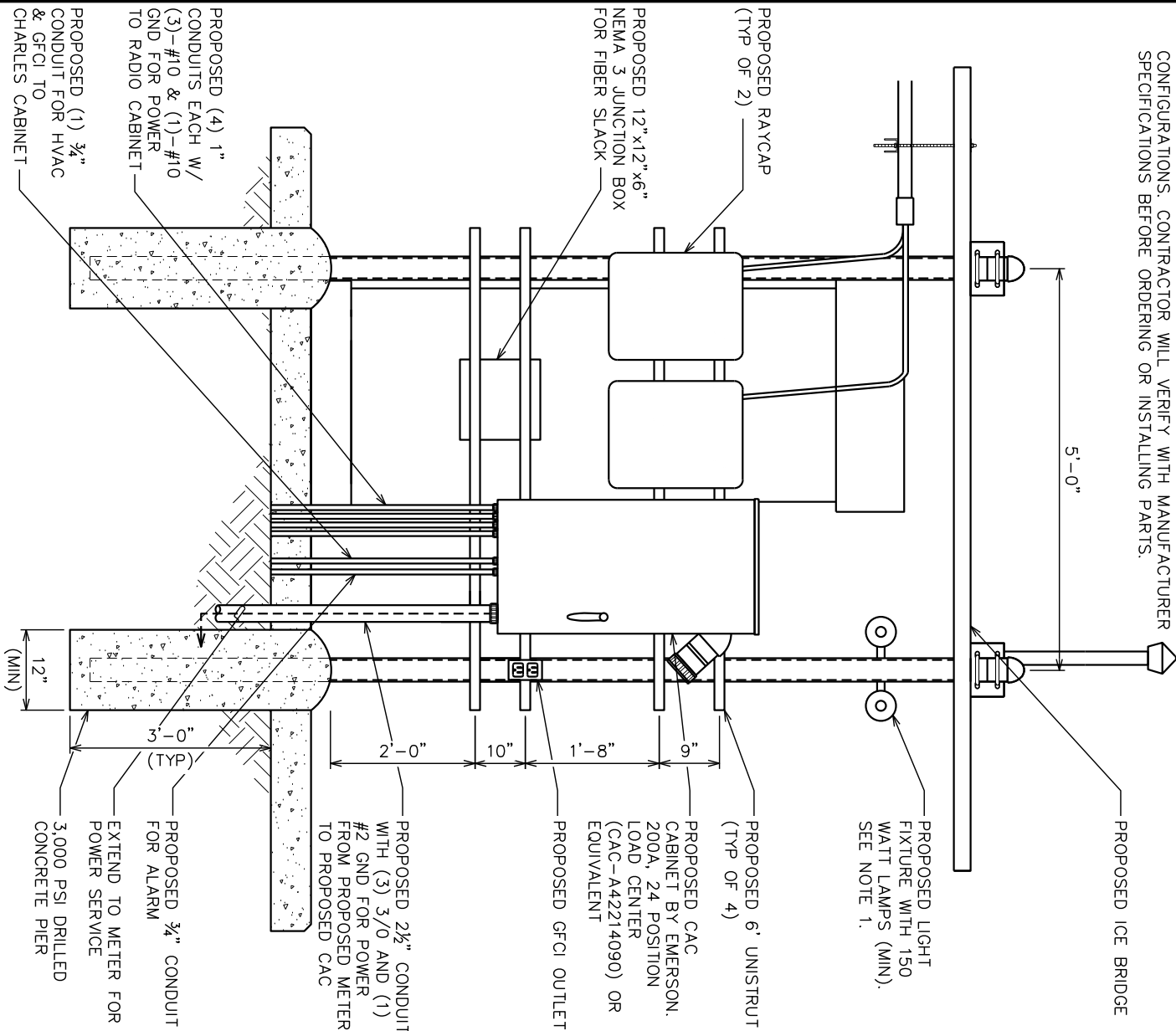
REVISION:

2

TEP#: 257244

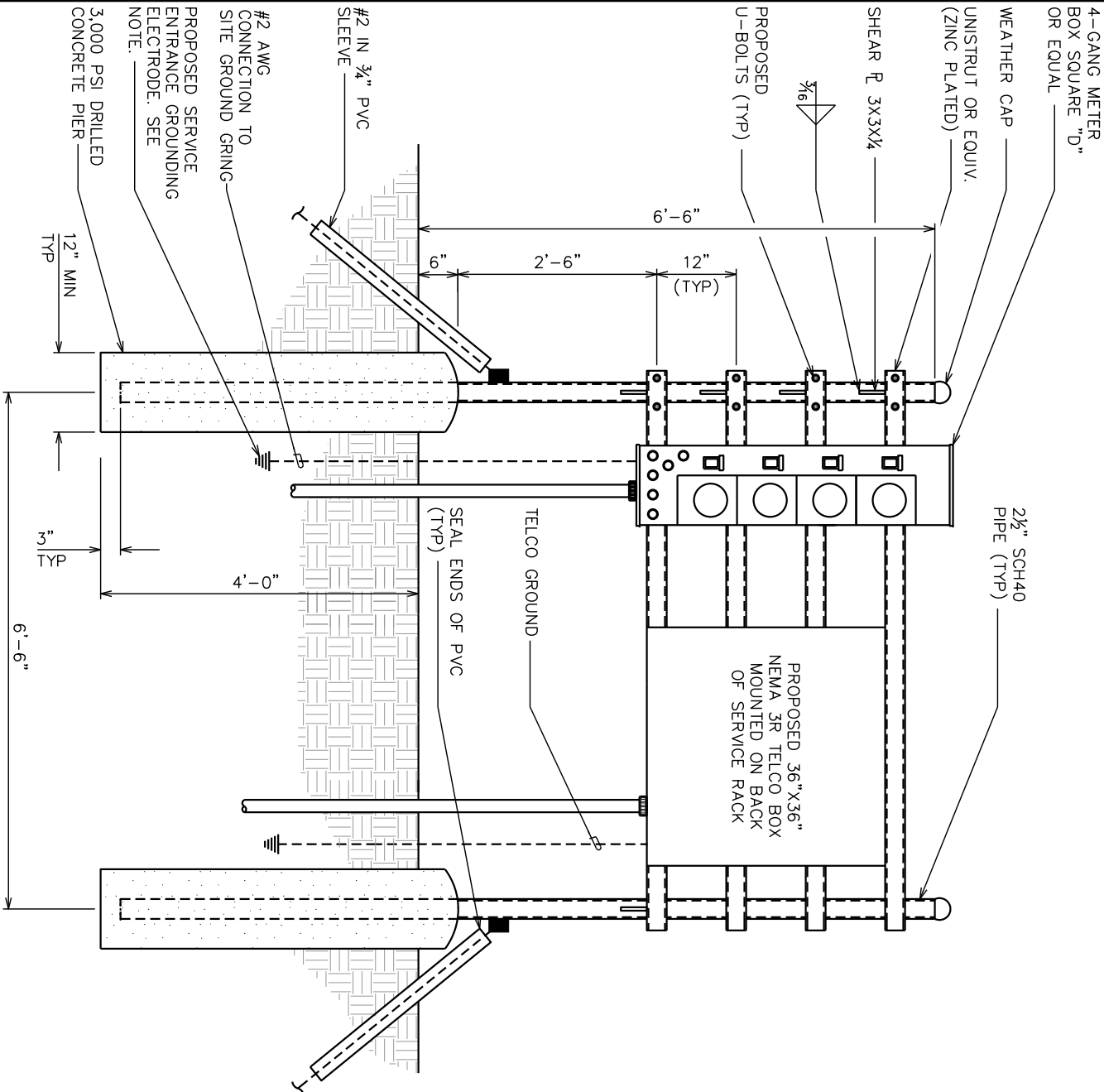
NOTES:

- 1. CONTRACTOR TO FIELD LOCATE LIGHT FIXTURE FOR OPTIMUM COVERAGE OF WORK AREA.
- 2. BREAKER & CONDUCTOR SIZED ARE BASED ON TYPICAL CONFIGURATIONS. CONTRACTOR WILL VERIFY WITH MANUFACTURER SPECIFICATIONS BEFORE ORDERING OR INSTALLING PARTS.



NOTE:

THE GROUNDING ELECTRODE CONDUCTOR IS SIZED FOR A SINGLE 200A SERVICE. THE CONTRACTOR WILL INSTALL (1) 3/0 COPPER GEC INSTEAD IF THE METER BANK SHARES A COMMON N-G BOND



EQUIPMENT H-FRAME DETAILS

SCALE: 1/2" = 1'-0"

SERVICE RACK DETAILS

SCALE: N.T.S.

PLANS PREPARED FOR:



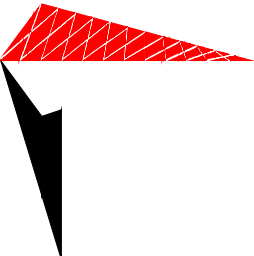
800 CORNERSTONE DRIVE
KNOXVILLE, TN 37932
(865) 777-8054

PROJECT INFORMATION:

LINCOLN PARK
SITE #: 589403

MCNALLY ROAD
(E911 ADDRESS T.B.D.)
PITTSBURG, KS 66762
(CRAWFORD COUNTY)

PLANS PREPARED BY:



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326 TRYON ROAD
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www.tepgroup.net

SEAL:



October 15, 2021

REV	DATE	ISSUED FOR:
2	10-15-21	CONSTRUCTION
1	08-10-21	PRELIMINARY
0	05-17-21	PRELIMINARY

DRAWN BY: GLB CHECKED BY: JKW

SHEET TITLE:

EQUIPMENT
H-FRAME & SERVICE
RACK DETAILS

SHEET NUMBER: REVISION:

E-3A

TEP#: 257244

DRAWING NOTES

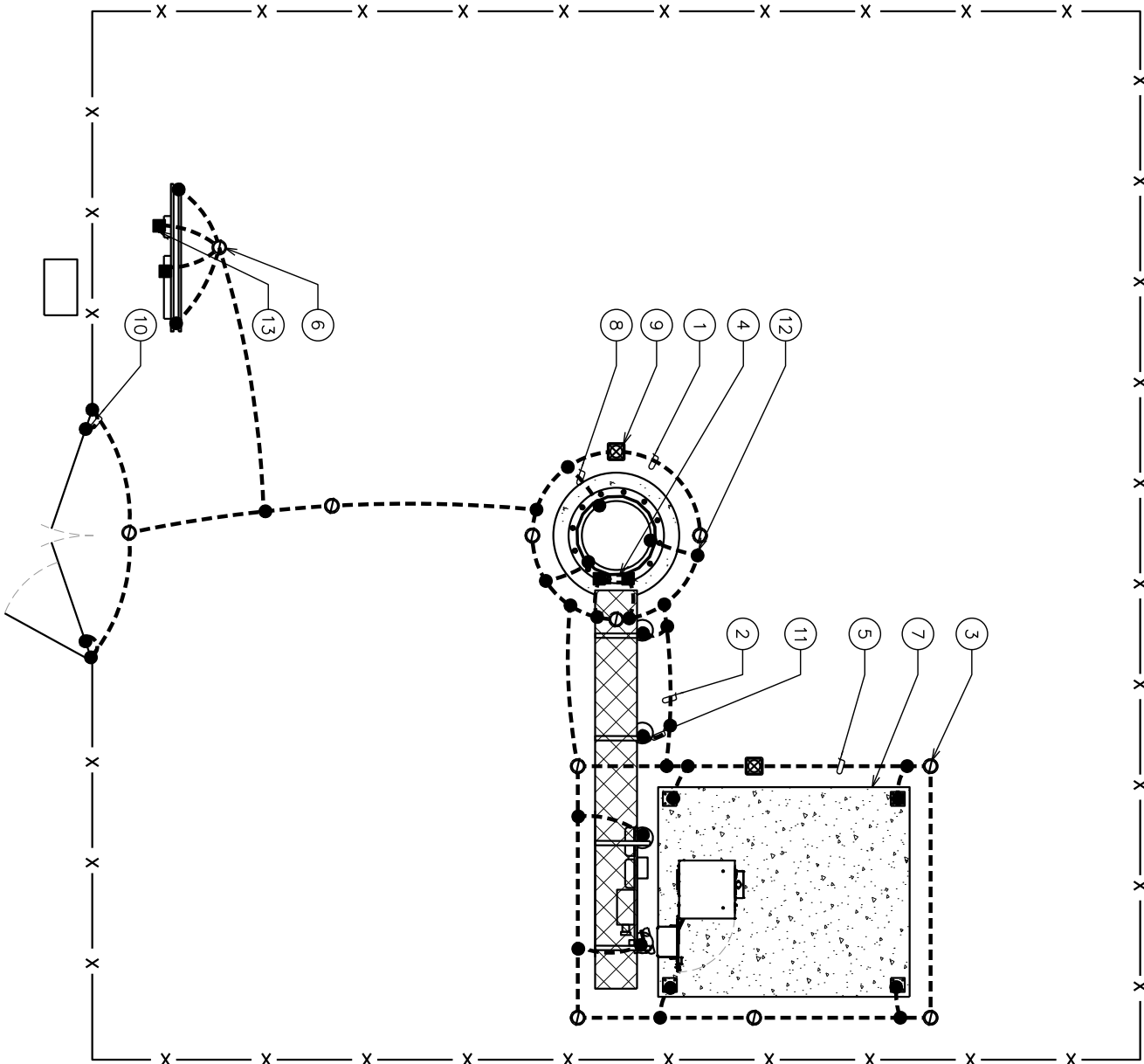
- 1
- PROPOSED TOWER GROUND RING BURIED 30" BFG OR 6" BELOW FROST DEPTH (WHICHEVER IS GREATER)
- 2
- PROPOSED TOWER GROUND RING BOND TO PROPOSED EQUIPMENT GROUND RING (TYP OF 2)
- 3
- PROPOSED 5/8"Øx10' COPPER GROUND ROD (TYP)
- 4
- PROPOSED TOWER GROUND BAR
- 5
- PROPOSED EQUIPMENT GROUND RING (BURIED 30" BFG OR 6" BELOW FROST DEPTH, WHICHEVER IS GREATER)
- 6
- SERVICE ENTRANCE GROUNDING ELECTRODE
- 7
- FOR EQUIPMENT PAD GROUNDING, SEE SHEET E-5.
- 8
- TOWER GROUND RING TO TOWER STEEL (TYP OF 3)
- 9
- PROPOSED GROUND ROD WITH INSPECTION WELL (TYP)
- 10
- GATE POST GROUNDING (TYP)
- 11
- ICE BRIDGE POST GROUND TO EQUIPMENT GROUND RING
- 12
- PROPOSED CADWELD
- 13
- PROPOSED 2-HOLE MECHANICAL LUG (TYP)

GROUNDING NOTES:

1.
- CONTRACTOR SHALL VERIFY THAT GROUNDING ELECTRODES SHALL BE CONNECTED IN A RING USING #2 AWG BARE TINNED COPPER WIRE. THE TOP OF THE GROUND RODS AND THE RING CONDUCTOR SHALL BE 30 INCHES BELOW FINISHED GRADE OR 6" BELOW FROST DEPTH (WHICHEVER IS GREATER). GROUNDING ELECTRODES SHALL BE DRIVEN ON 10'-0" CENTERS (9'-0" MINIMUM, 16'-0" MAXIMUM; PROVIDE AND INSTALL AS REQUIRED PER TYPICAL GROUNDING PLAN SHOWN).
2.
- BONDING OF THE GROUNDING CONDUCTOR (NEUTRAL) AND THE GROUNDING CONDUCTOR SHALL BE AT THE SERVICE DISCONNECTING MEANS. BONDING JUMPER SHALL BE INSTALLED PER N.E.C. ARTICLE 250.30.
3.
- GROUND RING CONNECTION CONDUCTORS SHALL BE OF EQUAL LENGTH, MATERIAL, AND BONDING TECHNIQUE.
4.
- CONTRACTOR SHALL ENSURE GROUND RING IS WITHIN 12 TO 36 INCHES OF THE EQUIPMENT PAD. PROVIDE/INSTALL GROUNDING CONNECTIONS SHOWN ABOVE AS NEEDED PER EXISTING SITE GROUNDING SYSTEM. CONTRACTOR SHALL VERIFY ALL EXISTING SITE GROUNDING CONDITIONS BEFORE STARTING WORK OR PURCHASING EQUIPMENT.
5.
- BOND CIGBE TO EXTERNAL GROUND RING WITH 2 RUNS OF #2 BARE TINNED SOLID COPPER CONDUCTOR IN PVC. CONNECT BAR END WITH 2 HOLE LUG, AND "CADWELD" THE OTHER END TO THE EXTERNAL GROUND ROD.
6.
- THE PREFERRED LOCATION FOR COAX GROUNDING IS AT THE BASE OF THE TOWER PRIOR TO THE COAX BEND. BONDING IS SHOWN ON THE ICE BRIDGE DUE TO DIFFICULTY WITH WELDING OR ATTACHING TO TOWER LEGS. CONTRACTOR SHALL ADVISE CONSTRUCTION MANAGER PRIOR TO PLACING CIGBE ON ICE BRIDGE IF MOUNTING TO TOWER LEG IS POSSIBLE.

COMPOUND GROUNDING PLAN

SCALE: 3/8" = 1'-0"



PLANS PREPARED FOR:



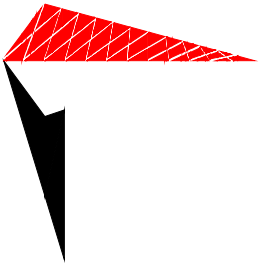
800 CORNERSTONE DRIVE
KNOXVILLE, TN 37932
(865) 777-8054

PROJECT INFORMATION:

LINCOLN PARK
SITE #: 589403

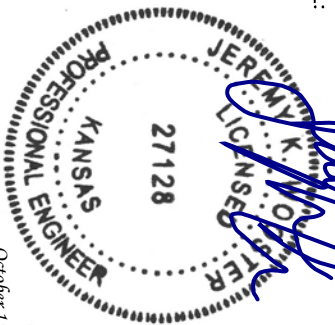
MCNALLY ROAD
(E911 ADDRESS T.B.D.)
PITTSBURG, KS 66762
(CRAWFORD COUNTY)

PLANS PREPARED BY:



TOWER ENGINEERING PROFESSIONALS
326 TRYON ROAD
RALEIGH, NC 27603-3530
OFFICE: (919) 661-6351
www.tepgroup.net

SEAL:



October 15, 2021

2	10-15-21	CONSTRUCTION
1	08-10-21	PRELIMINARY
0	05-17-21	PRELIMINARY
REV	DATE	ISSUED FOR:

DRAWN BY: GLB CHECKED BY: JKV

SHEET TITLE:

COMPOUND
GROUNDING PLAN

SHEET NUMBER:

E-4

REVISION:

2

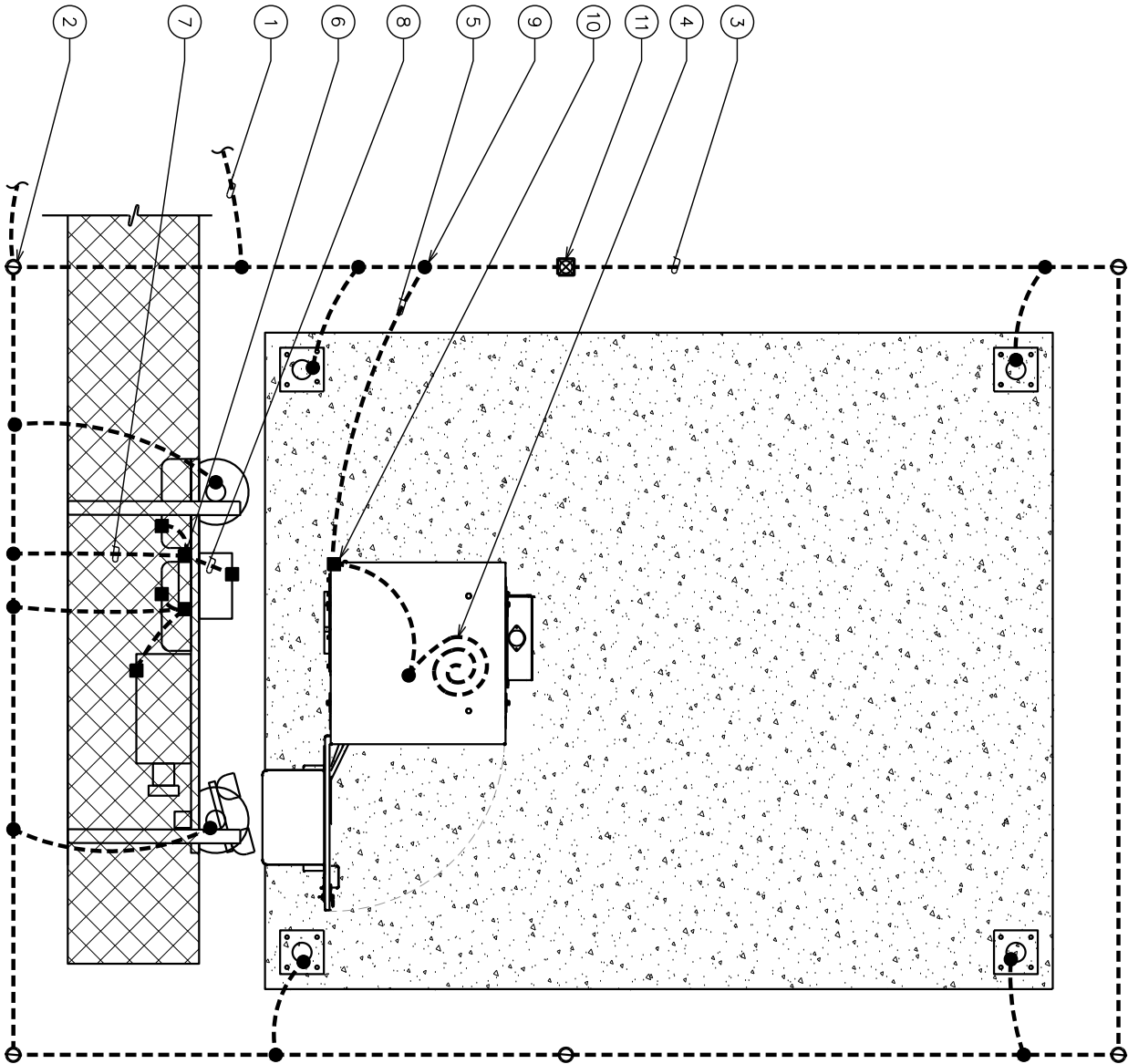
TEP #: 257244

DRAWING NOTES

- 1
- EXTEND EQUIPMENT GROUND RING TO PROPOSED TOWER GROUND RING
- 2
- PROPOSED 5⁄8"Øx10' COPPER GROUND ROD (TYP)
- 3
- PROPOSED EQUIPMENT GROUND RING (BURIED 30" BFG OR 6" BELOW FROST DEPTH, WHICHEVER IS DEEPER)
- 4
- GROUND PROPOSED CABINET PER MFG'S SPECIFICATIONS
- 5
- CABINET GROUND TO PROPOSED GROUND RING
- 6
- GROUND BAR MOUNTED ON H-FRAME
- 7
- GROUND LEAD FROM PROPOSED GROUND BAR TO PROPOSED GROUND RING (TYP OF 2)
- 8
- PROPOSED EQUIPMENT GROUND (TYP)
- 9
- PROPOSED CADWELD (TYP)
- 10
- PROPOSED 2-HOLE MECHANICAL LUG (TYP)
- 11
- PROPOSED GROUND ROD WITH INSPECTION WELL

GROUNDING NOTES:

1.
- CONTRACTOR SHALL VERIFY THAT GROUNDING ELECTRODES SHALL BE CONNECTED IN A RING USING #2 AWG BARE TINNED COPPER WIRE. THE TOP OF THE GROUND RODS AND THE RING CONDUCTOR SHALL BE 30 INCHES BELOW FINISHED GRADE. GROUNDING ELECTRODES SHALL BE DRIVEN ON 10'-0" CENTERS (9'-0" MINIMUM, 16'-0" MAXIMUM; PROVIDE AND INSTALL AS REQUIRED PER TYPICAL GROUNDING PLAN SHOWN).
2.
- BONDING OF THE GROUNDED CONDUCTOR (NEUTRAL) AND THE GROUNDING CONDUCTOR SHALL BE AT THE SERVICE DISCONNECTING MEANS. BONDING JUMPER SHALL BE INSTALLED PER N.E.C. ARTICLE 250.30.
3.
- GROUND RING CONNECTION CONDUCTORS SHALL BE OF EQUAL LENGTH, MATERIAL, AND BONDING TECHNIQUE.
4.
- CONTRACTOR SHALL ENSURE GROUND RING IS WITHIN 12 TO 36 INCHES OF THE EQUIPMENT PAD. PROVIDE/INSTALL GROUNDING CONNECTIONS SHOWN ABOVE AS NEEDED PER EXISTING SITE GROUNDING SYSTEM. CONTRACTOR SHALL VERIFY ALL EXISTING SITE GROUNDING CONDITIONS BEFORE STARTING WORK OR PURCHASING EQUIPMENT.
5.
- BOND CIGBE TO EXTERNAL GROUND RING WITH 2 RUNS OF #2 BARE TINNED SOLID COPPER CONDUCTOR IN PVC. CONNECT BAR END WITH 2 HOLE LUG, AND "CADWELD" THE OTHER END TO THE EXTERNAL GROUND ROD.
6.
- THE PREFERRED LOCATION FOR COAX GROUNDING IS AT THE BASE OF THE TOWER PRIOR TO THE COAX BEND. BONDING IS SHOWN ON THE ICE BRIDGE DUE TO DIFFICULTY WITH WELDING OR ATTACHING TO TOWER LEGS. CONTRACTOR SHALL ADVISE CONSTRUCTION MANAGER PRIOR TO PLACING CIGBE ON ICE BRIDGE IF MOUNTING TO TOWER LEG IS POSSIBLE.



TYPICAL EQUIPMENT GROUNDING PLAN

SCALE: 3⁄8" = 1'-0"



SCALE IN FEET

PLANS PREPARED FOR:

800 CORNERSTONE DRIVE
KNOXVILLE, TN 37932
(865) 777-8054

PROJECT INFORMATION:

LINCOLN PARK
SITE #: 589403

MCNALLY ROAD
(E911 ADDRESS T.B.D.)
PITTSBURG, KS 66762
(CRAWFORD COUNTY)

PLANS PREPARED BY:

TOWER ENGINEERING PROFESSIONALS
326 TRYON ROAD
RALEIGH, NC 27603-3530
OFFICE: (919) 661-6351
www.tepgroup.net

SEAL:

October 15, 2021

2	10-15-21	CONSTRUCTION
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REV	DATE	ISSUED FOR:

DRAWN BY: GLB CHECKED BY: JKW

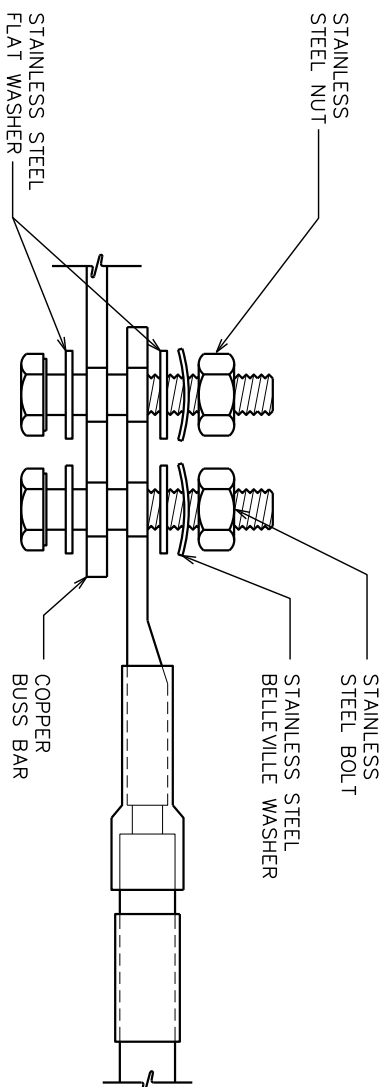
SHEET TITLE:

EQUIPMENT
GROUNDING PLAN

SHEET NUMBER:	REVISION:
E-5	2
TEP#:	257244

NOTES:

1. ALL HARDWARE SHALL BE 18-8 STAINLESS STEEL, INCLUDING THE BELLEVILLE WASHERS. COAT ALL SURFACES WITH KOPR-SHIELD BEFORE MATING.
2. FOR GROUND BOND TO STEEL ONLY: INSERT A DRACON TOOTH WASHER BETWEEN THE LUG AND STEEL. COAT ALL SURFACES WITH KOPR-SHIELD.

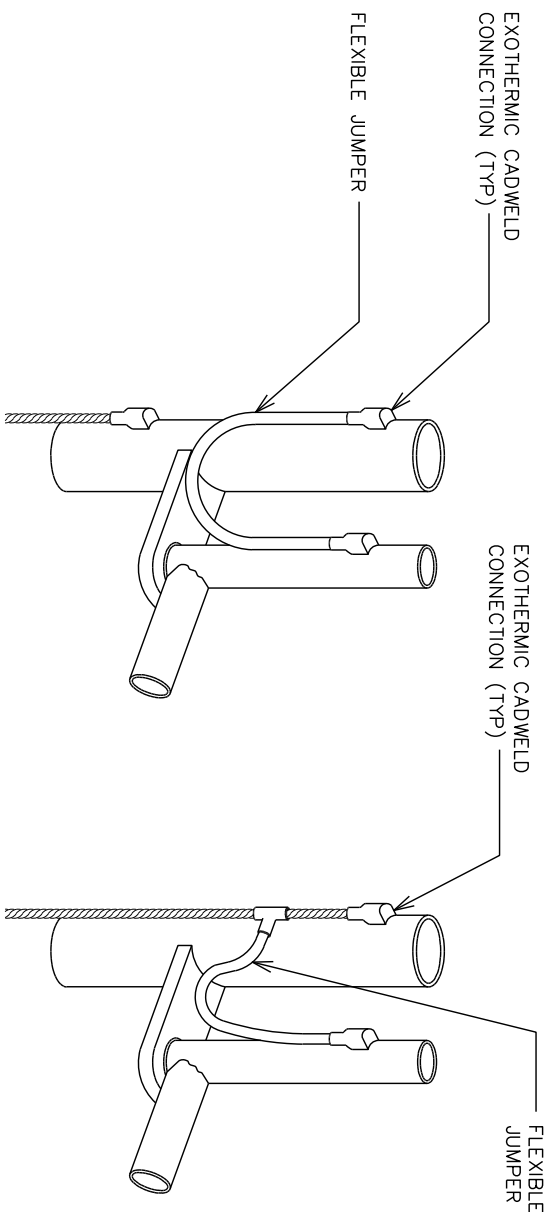


TYPICAL LUG DETAIL

SCALE: N.T.S.

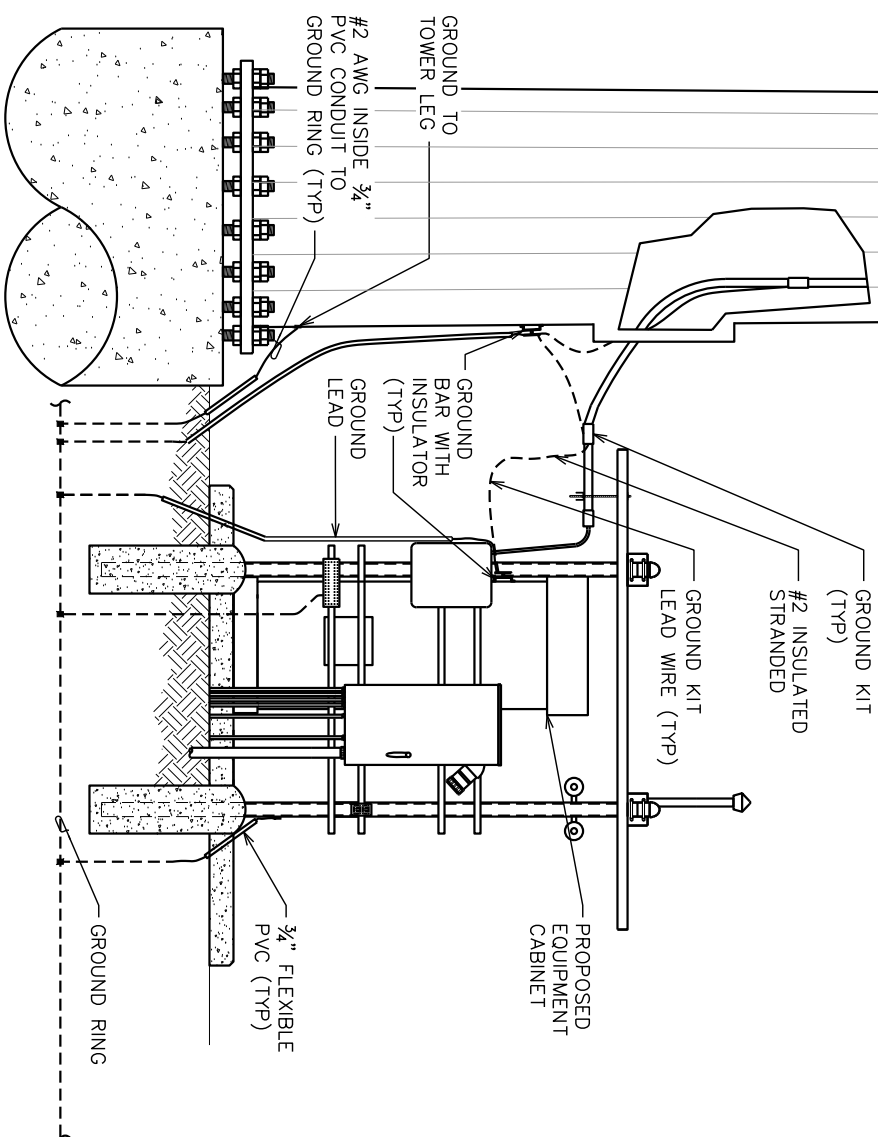
TYPICAL FENCE AND GATE BONDING DETAIL

SCALE: N.T.S.



ICE BRIDGE/COAX/GROUNDING BAR ELEVATION

SCALE: N.T.S.



NOTE:

ALL PVC CONDUITS USED FOR
GROUNDING SHALL BE SEALED WITH
SILICONE SEALANT AT BOTH ENDS

PLANS PREPARED FOR:



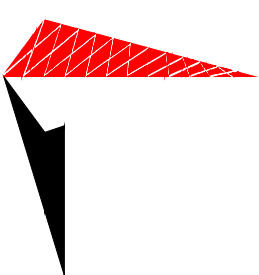
800 CORNERSTONE DRIVE
KNOXVILLE, TN 37932
(865) 777-8054

PROJECT INFORMATION:

**LINCOLN PARK
SITE #: 589403**

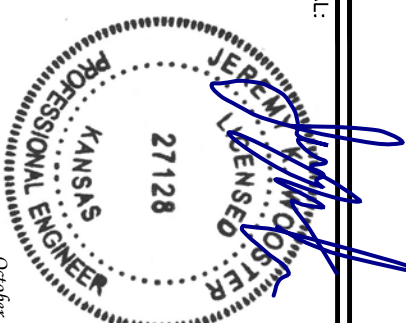
MCNALLY ROAD
(E911 ADDRESS T.B.D.)
PITTSBURG, KS 66762
(CRAWFORD COUNTY)

PLANS PREPARED BY:



326 TRYON ROAD
RALEIGH, NC 27603-3530
OFFICE: (919) 661-6351
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REV	DATE	ISSUED FOR:

DRAWN BY: GLB **CHECKED BY:** JKW

SHEET TITLE:

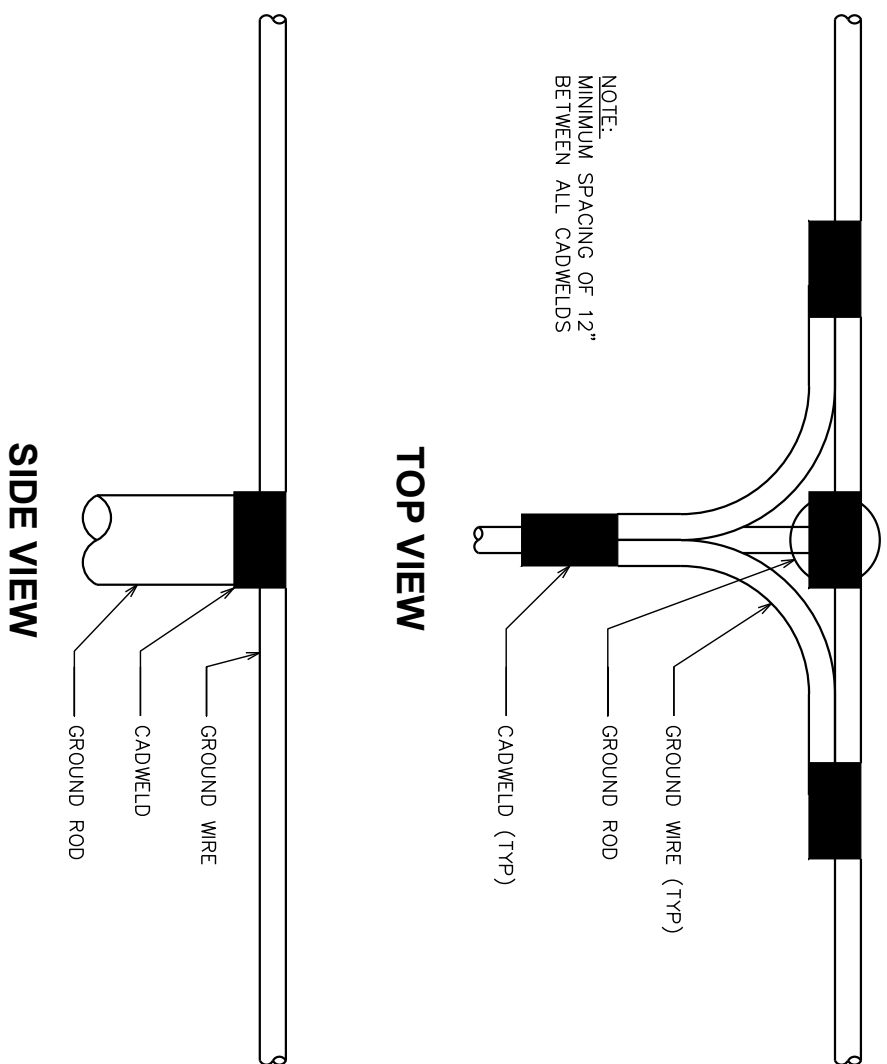
GROUNDING DETAILS I

SHEET NUMBER:

REVISION:

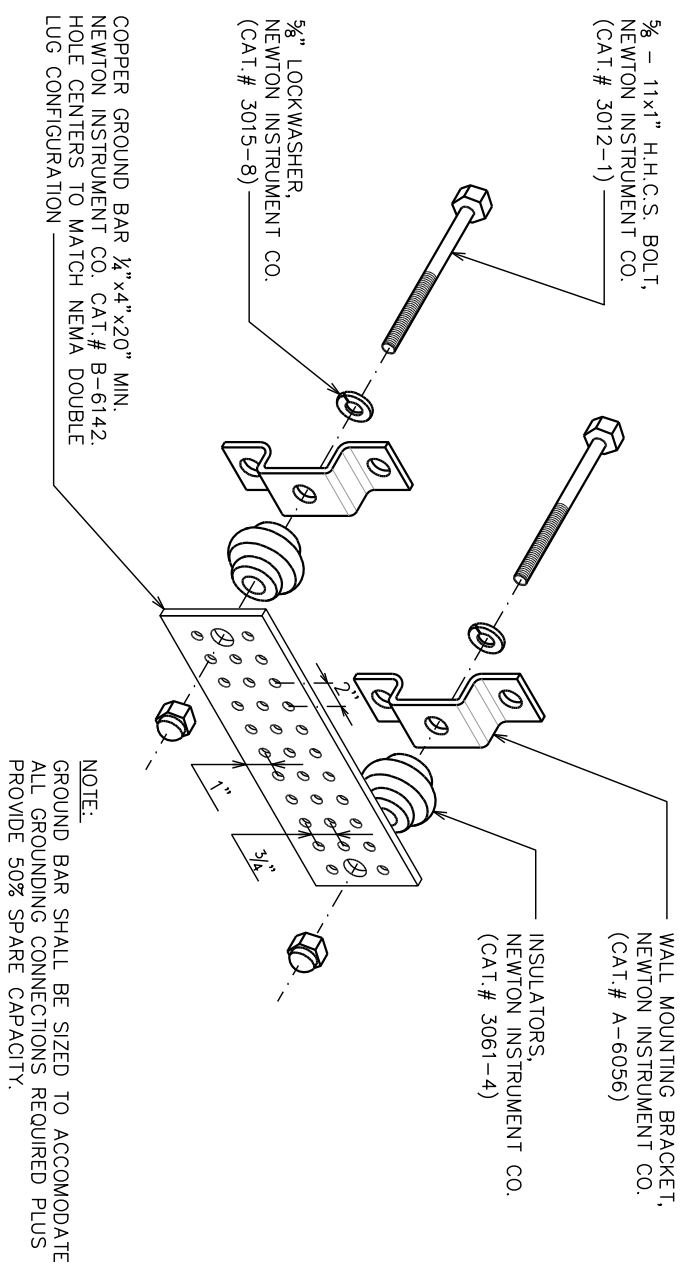
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TEP #: 257244



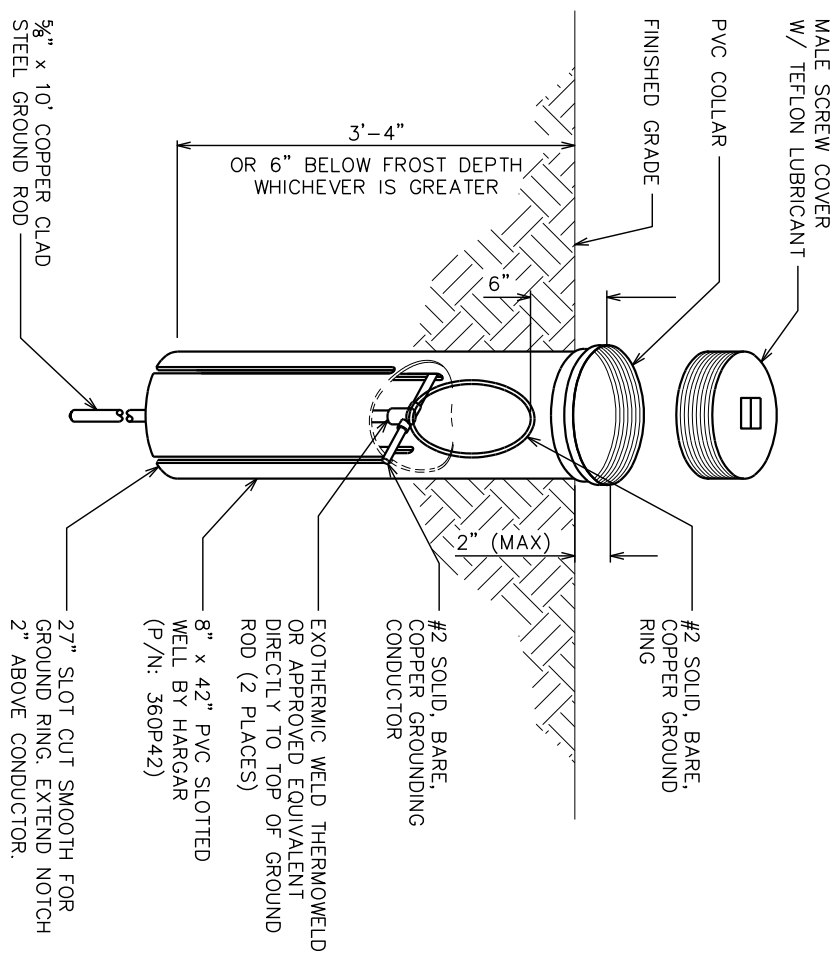
CADWELD GROUNDING DETAIL

SCALE: N.T.S.



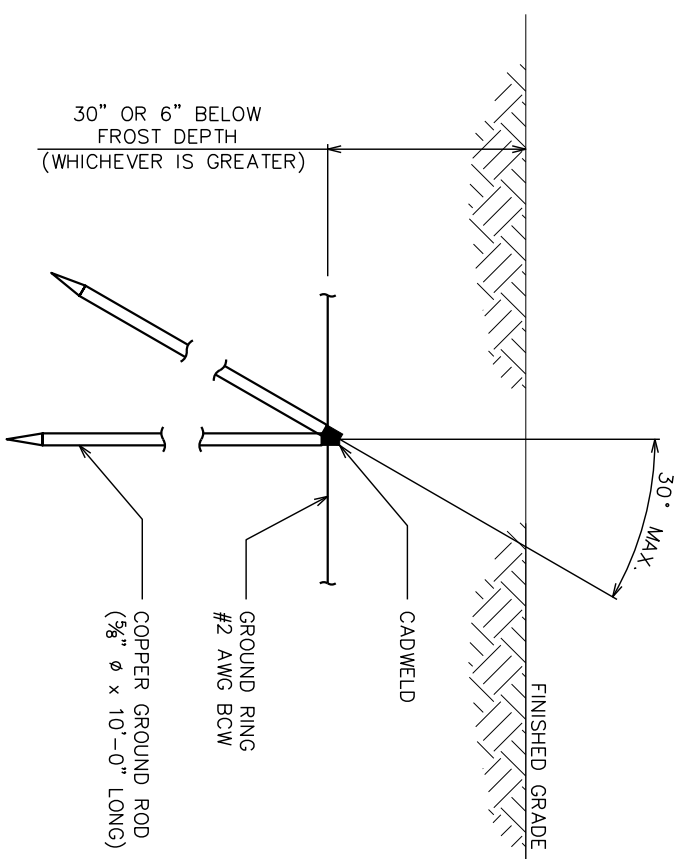
STANDARD GROUND BAR DETAIL

SCALE: N.T.S.



GROUND ROD WITH INSPECTION WELL

SCALE: N.T.S.



COPPER-CLAD STEEL GROUND ROD

SCALE: N.T.S.

PLANS PREPARED FOR:



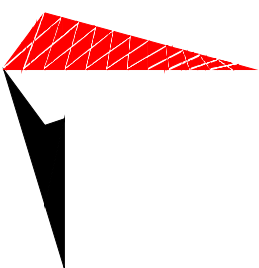
800 CORNERSTONE DRIVE
KNOXVILLE, TN 37932
(865) 777-8054

PROJECT INFORMATION:

LINCOLN PARK
SITE #: 589403

MCNALLY ROAD
(E911 ADDRESS T.B.D.)
PITTSBURG, KS 66762
(CRAWFORD COUNTY)

PLANS PREPARED BY:



TOWER ENGINEERING PROFESSIONALS

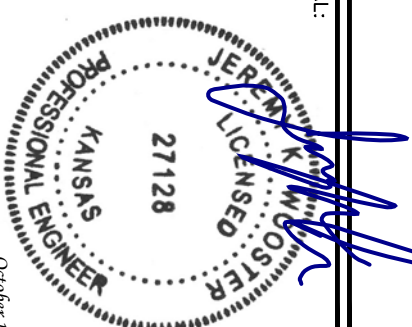
326 TRYON ROAD

RALEIGH, NC 27603-3530

OFFICE: (919) 661-6351

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SEAL:



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REV	DATE	ISSUED FOR:

DRAWN BY: GLB CHECKED BY: JKW

SHEET TITLE:

GROUNDING DETAILS II

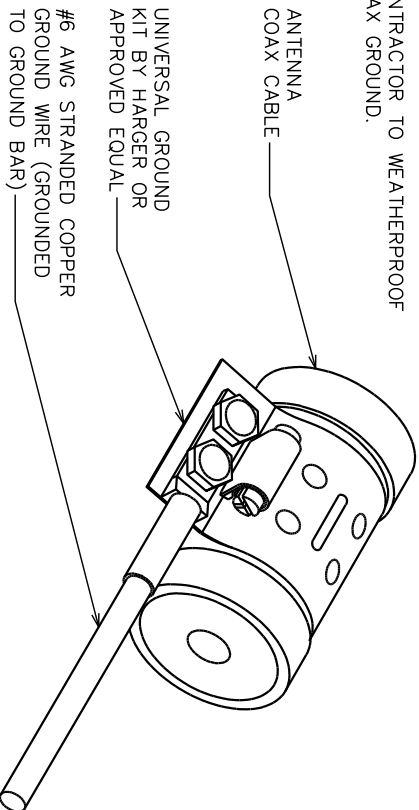
SHEET NUMBER:

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TEP #: 257244

NOTES:

- 1. DO NOT INSTALL COAX GROUND KIT AT A BEND.
- 2. CONTRACTOR TO WEATHERPROOF COAX GROUND.

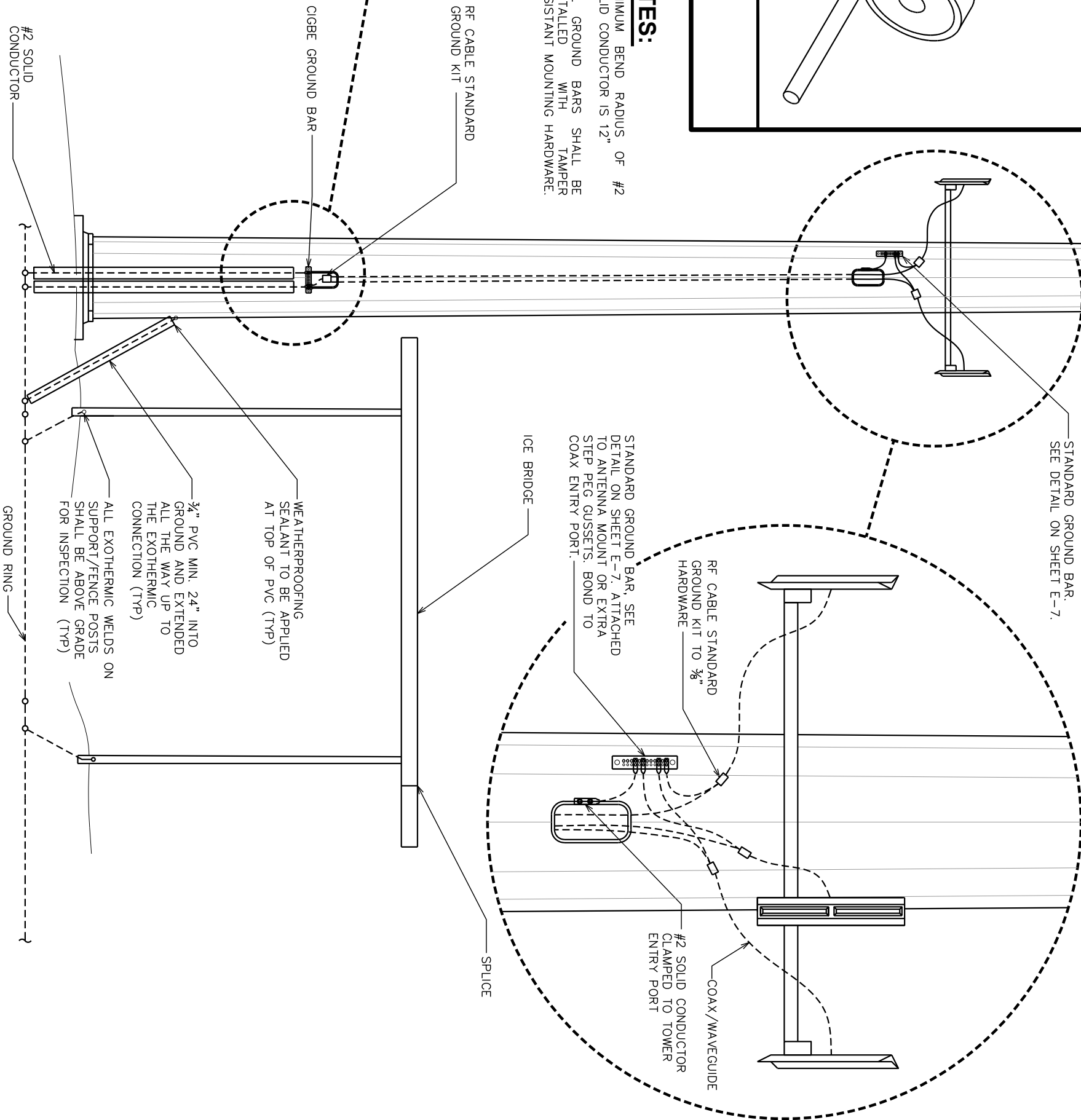
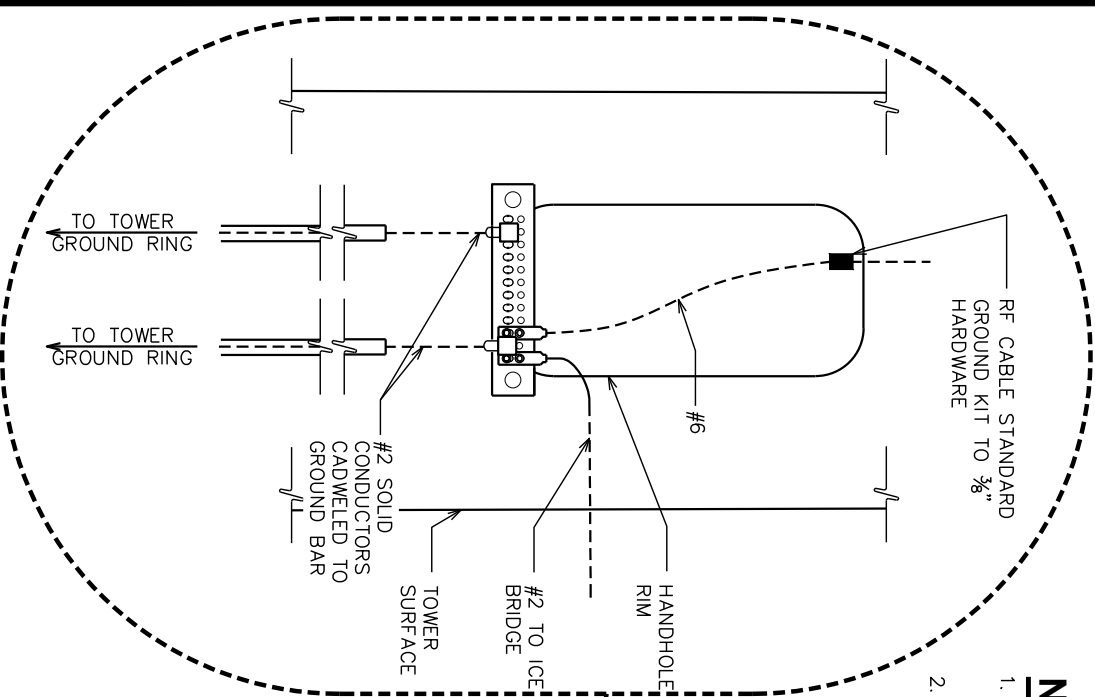


CABLE GROUNDING DETAIL

SCALE: N.T.S.

NOTES:

- 1. MINIMUM BEND RADIUS OF #2 SOLID CONDUCTOR IS 12"
- 2. ALL GROUND BARS SHALL BE INSTALLED WITH TAMPER RESISTANT MOUNTING HARDWARE.



ICE BRIDGE, COAX, STANCHION, AND TOWER GROUNDING DETAIL

SCALE: N.T.S.

PLANS PREPARED FOR:



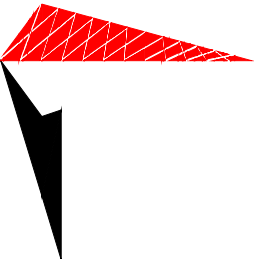
800 CORNERSTONE DRIVE
KNOXVILLE, IN 37932
(865) 777-8054

PROJECT INFORMATION:

LINCOLN PARK
SITE #: 589403

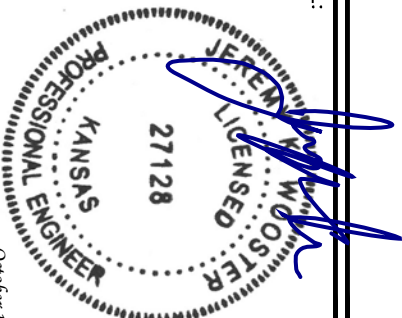
MCNALLY ROAD
(E911 ADDRESS T.B.D.)
PITTSBURG, KS 66762
(CRAWFORD COUNTY)

PLANS PREPARED BY:



TOWER ENGINEERING PROFESSIONALS
326 TRYON ROAD
RALEIGH, NC 27603-3530
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SEAL:



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0	05-17-21	PRELIMINARY
DRAWN BY: GLB CHECKED BY: JKW		

SHEET TITLE:

GROUNDING
DETAILS III

SHEET NUMBER: REVISION:

E-8

TEP #: 257244

GENERAL NOTES:

- ALL REFERENCES TO OWNER IN THESE DOCUMENTS SHALL BE CONSIDERED U.S. CELLULAR OR ITS DESIGNATED REPRESENTATIVE.
- ALL WORK PRESENTED ON THESE DRAWINGS MUST BE COMPLETED BY THE CONTRACTOR UNLESS NOTED OTHERWISE. THE CONTRACTOR MUST HAVE CONSIDERABLE EXPERIENCE IN PERFORMANCE OF WORK SIMILAR TO THAT DESCRIBED HEREIN. BY ACCEPTANCE OF THIS ASSIGNMENT, THE CONTRACTOR IS ATTESTING THAT HE DOES HAVE SUFFICIENT EXPERIENCE AND ABILITY, THAT HE IS KNOWLEDGABLE OF THE WORK TO BE PERFORMED AND THAT HE IS PROPERLY LICENSED AND PROPERLY REGISTERED TO DO THIS WORK IN THE STATE OF KANSAS.
- STRUCTURE IS DESIGNED IN ACCORDANCE WITH ANSI/TIA/EIA--222-H, 2009, AND CONFORMS TO THE REQUIREMENTS OF THE KANSAS BUILDING CODE, 2018 EDITION.
- WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE KANSAS BUILDING CODE, 2018 EDITION.
- UNLESS SHOWN OR NOTED OTHERWISE ON THE CONTRACT DRAWINGS, OR IN THE SPECIFICATIONS, THE FOLLOWING NOTES SHALL APPLY TO THE MATERIALS LISTED HEREIN, AND TO THE PROCEDURES TO BE USED ON THIS PROJECT.
- ALL HARDWARE ASSEMBLY MANUFACTURER'S INSTRUCTIONS SHALL BE FOLLOWED EXACTLY AND SHALL SUPERSEDE ANY CONFLICTING NOTES ENCLOSED HEREIN.
- IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE, TO INSURE THE SAFETY OF THE STRUCTURE AND ITS COMPONENT PARTS DURING ERECTION AND/OR FIELD MODIFICATIONS. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF TEMPORARY BRACING, GUYS OR TIE DOWNS THAT MAY BE NECESSARY. SUCH MATERIAL SHALL BE REMOVED AND SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER THE COMPLETION OF THE PROJECT.
- ALL DIMENSIONS, ELEVATIONS, AND EXISTING CONDITIONS SHOWN ON THE DRAWINGS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO BEGINNING ANY MATERIALS ORDERING, FABRICATION OR CONSTRUCTION WORK ON THIS PROJECT. CONTRACTOR SHALL NOT SCALE CONTRACT DRAWINGS IN LIEU OF FIELD VERIFICATIONS. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND THE OWNER'S ENGINEER. THE DISCREPANCIES MUST BE RESOLVED BEFORE THE CONTRACTOR IS TO PROCEED WITH THE WORK. THE CONTRACT DOCUMENTS DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY THE OWNER AND/OR THE ENGINEER SHALL NOT INCLUDE INSPECTION OF THE PROTECTIVE MEASURES OR THE PROCEDURES.
- ALL MATERIALS AND EQUIPMENT FURNISHED SHALL BE NEW AND OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS AND IN CONFORMANCE WITH THE CONTRACT DOCUMENTS. ANY AND ALL SUBSTITUTIONS MUST BE PROPERLY APPROVED AND AUTHORIZED IN WRITING BY THE OWNER AND ENGINEER PRIOR TO INSTALLATION. THE CONTRACTOR SHALL FURNISH SATISFACTORY EVIDENCE AS TO THE KIND AND QUALITY OF THE MATERIALS AND EQUIPMENT BEING SUBSTITUTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR INSURING THAT THIS PROJECT AND RELATED WORK COMPLIES WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL SAFETY CODES AND REGULATIONS GOVERNING THIS WORK.
- ACCESS TO THE PROPOSED WORK SITE MAY BE RESTRICTED. THE CONTRACTOR SHALL COORDINATE INTENDED CONSTRUCTION ACTIVITY, INCLUDING WORK SCHEDULE AND MATERIALS ACCESS, WITH THE RESIDENT LEASING AGENT FOR APPROVAL.
- BILL OF MATERIALS AND PART NUMBERS LISTED ON CONSTRUCTION DRAWINGS ARE INTENDED TO AID CONTRACTOR. CONTRACTOR SHALL VERIFY PARTS AND QUANTITIES WITH MANUFACTURER PRIOR TO BIDDING AND/OR ORDERING MATERIALS.
- ALL PERMITS THAT MUST BE OBTAINED ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR WILL BE RESPONSIBLE FOR ABIDING BY ALL CONDITIONS AND REQUIREMENTS OF THE PERMITS.
- 24 HOURS PRIOR TO THE BEGINNING OF ANY CONSTRUCTION, THE CONTRACTOR MUST NOTIFY THE APPLICABLE JURISDICTIONAL (STATE, COUNTY OR CITY) ENGINEER.
- THE CONTRACTOR SHALL REWORK (DRY, SCARIFY, ETC.) ALL MATERIAL NOT SUITABLE FOR SUBGRADE IN ITS PRESENT STATE. AFTER REMWORKING, IF THE MATERIAL REMAINS UNSUITABLE, THE CONTRACTOR SHALL UNDERCUT THIS MATERIAL AND REPLACE WITH APPROVED MATERIAL. ALL SUBGRADES SHALL BE PROOFROLLED WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK PRIOR TO PAVING. ANY SOFTER MATERIAL SHALL BE REMORKED OR REPLACED.
- THE CONTRACTOR IS REQUIRED TO MAINTAIN ALL PIPES, DITCHES, AND OTHER DRAINAGE STRUCTURES FREE FROM OBSTRUCTION UNTIL WORK IS ACCEPTED BY THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES CAUSED BY FAILURE TO MAINTAIN DRAINAGE STRUCTURE IN OPERABLE CONDITION.
- ALL MATERIALS AND WORKMANSHIP SHALL BE WARRANTED FOR ONE YEAR FROM ACCEPTANCE DATE.
- ALL BUILDING DIMENSIONS SHALL BE VERIFIED WITH THE PLANS (LATEST REVISION) PRIOR TO COMMENCING CONSTRUCTION. NOTIFY THE ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE DISCOVERED. THE OWNER SHALL HAVE A SET OF APPROVED PLANS AVAILABLE AT THE SITE AT ALL TIMES WHILE WORK IS BEING PERFORMED. A DESIGNATED RESPONSIBLE EMPLOYEE SHALL BE AVAILABLE FOR CONTACT BY GOVERNING AGENCY INSPECTORS.

STRUCTURAL STEEL NOTES:

- THE FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM TO THE AISC SPECIFICATIONS AND MANUAL OF STEEL CONSTRUCTION, 14TH EDITION.
- UNLESS OTHERWISE NOTED, ALL STRUCTURAL ELEMENTS SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:
 - STRUCTURAL STEEL, ASTM DESIGNATION A36 OR A992-GR50.
 - ALL BOLTS, ASTM A325 TYPE I GALVANIZED HIGH STRENGTH BOLTS.
 - ALL NUTS, ASTM A563 CARBON AND ALLOY STEEL NUTS.
 - ALL WASHERS, ASTM F436 HARDENED STEEL WASHERS.
- ALL CONNECTIONS NOT FULLY DETAILED ON THESE PLANS SHALL BE DETAILED BY THE STEEL FABRICATOR IN ACCORDANCE WITH AISC SPECIFICATIONS AND MANUAL OF STEEL CONSTRUCTION, 14TH EDITION.
- HOLES SHALL NOT BE FLAME CUT THRU STEEL UNLESS APPROVED BY THE ENGINEER.
- HOT-DIP GALVANIZE ALL ITEMS UNLESS OTHERWISE NOTED, AFTER FABRICATION WHERE PRACTICABLE. GALVANIZING: ASTM A123, ASTM, A153/A153M OR ASTM A653/A653M, G90, AS APPLICABLE.
- REPAIR DAMAGED SURFACES WITH GALVANIZING REPAIR METHOD AND PAINT CONFORMING TO ASTM A780 OR BY APPLICATION OF STICK OR THICK PASTED MATERIAL SPECIFICALLY DESIGNED FOR REPAIR OF GALVANIZING. CLEAN AREAS TO BE REPAIRED AND REMOVE SLAG FROM WELDS. HEAT SURFACES TO WHICH STICK OR PASTE MATERIAL IS APPLIED, WITH A TORCH TO A TEMPERATURE SUFFICIENT TO MELT THE METALLICS IN STICK OR PASTE: SPREAD MOLTEN MATERIAL UNIFORMLY OVER SURFACES TO BE COATED AND WIPE OFF ANY EXCESS.
- A NUT LOCKING DEVICE SHALL BE INSTALLED ON ALL PROPOSED AND/OR REPLACED BOLTS.
- ALL PROPOSED AND/OR REPLACED BOLTS SHALL BE OF SUFFICIENT LENGTH TO EXCLUDE THE THREADS FROM THE SHEAR PLANE.
- ALL PROPOSED AND/OR REPLACED BOLTS SHALL BE OF SUFFICIENT LENGTH SUCH THAT THE END OF THE BOLT BE AT LEAST FLUSH WITH THE FACE OF THE NUT. IT IS NOT PERMITTED FOR THE BOLT END TO BE BELOW THE FACE OF THE NUT AFTER TIGHTENING IS COMPLETED.
- ALL ASSEMBLY AND ANCHOR BOLTS ARE TO BE TIGHTENED TO A "SNUG TIGHT" CONDITION AS DEFINED IN SECTION 8.1 OF THE AISC, "SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS", DATED JUNE 30, 2004.
- FLAT WASHERS ARE TO BE INSTALLED WITH BOLTS OVER SLOTTED HOLES.
- DO NOT OVER TORQUE ASSEMBLY BOLTS. GALVANIZING ON BOLTS, NUTS, AND STEEL PARTS MAY ACT AS A LUBRICANT, THUS OVER TIGHTENING MAY OCCUR AND MAY CAUSE BOLTS TO CRACK AND SNAP OFF.
- PAL NUTS ARE TO BE INSTALLED AFTER NUTS ARE TIGHT AND WITH EDGE LIP OUT. PAL NUTS ARE NOT REQUIRED WHEN SELF-LOCKING NUTS ARE PROVIDED.
- GALVANIZED ASTM A325 BOLTS SHALL NOT BE REUSED.
- WELDING SHALL BE PERFORMED IN ACCORDANCE WITH AMERICAN WELDING SOCIETY (AWS) D1.1--2010 STRUCTURAL WELDING CODE -- STEEL.

PLANS PREPARED FOR:

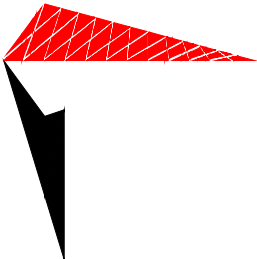

800 CORNERSTONE DRIVE
KNOXVILLE, TN 37932
(865) 777-8054

PROJECT INFORMATION:

LINCOLN PARK
SITE #: 589403

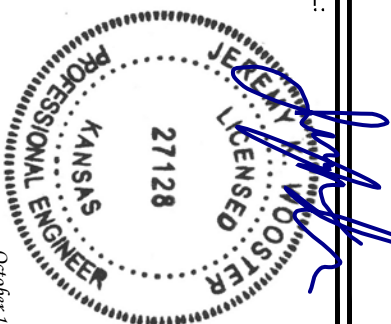
MCNALLY ROAD
(E911 ADDRESS TBD)
PITTSBURG, KS 66762
(CRAWFORD COUNTY)

PLANS PREPARED BY:



TOWER ENGINEERING PROFESSIONALS
326 TRYON ROAD
RALEIGH, NC 27603-3530
OFFICE: (919) 661-6351
www.tepgroup.net

SEAL:



October 15, 2021

2	10-15-21	CONSTRUCTION
1	08-10-21	PRELIMINARY
0	05-17-21	PRELIMINARY
REV	DATE	ISSUED FOR:

DRAWN BY: GLB CHECKED BY: JKW

SHEET TITLE:

PROJECT
NOTES

SHEET NUMBER:	REVISION:
N-1	2
TEP #:	257244

Ownership List

RECEIVED

DEC 21 2021

City of Pittsburg
Community Development

PROPERTY TAX ID: 204-19-0-20-01-001.00-0

PROPERTY OWNER & ADDRESS:

City of Pittsburg

Subject Property:
910 Memorial Dr.
Pittsburg, KS 66762

2041800002002000
2041800002003000
Hutz Ozark LLC
225 Bush St. STE 1800
San Francisco, CA 94104-4211

2041800002004000
Royce Parkview LLC
4742 N. 24th ST STE 325
Phoenix, AZ 85016-4884

2041804010008000
Lori L. McKinstry
324 W. 20th St.
Pittsburg, KS 66762-2821

2041804010009000
Linda G. & Roger N. Martinson
268 W. 690th Ave.
Farlington, KS 66734-4020

2041804010010000
Wenlyn Rentals LLC
609 W. Quincy St.
Pittsburg, KS 66762-5691

2041901003002000
Mary E. Cashero
307 W. 20th St.
Pittsburg, KS 66762-2820

2041901003003000
Kenneth R. & Linda A. Culbertson
29242 Imperial Rd.
Carl Junction, MO 64834-6175

2041901003004000
Christina M. Oberle
614 W. Jefferson St.
Pittsburg, KS 66762-4941

2041901003005000
2041901004002000
Roger P. & Heidi Jo Misasi
311 Winwood Dr.
Pittsburg, KS 66762-5647

2041901003006000
Mark & Angela Johnson
1367 W. Hwy K
Liberal, MO 64762-9512

2041901003007000
Russell L. Jones
C/O Gary Conner Realty
108 W. 5th St.
Pittsburg, KS 66762-3802

2041901004001000
CB Homes LLC
1010 N. Hwy 69
Frontenac, KS 66763-8100

2041901004003000
2041901004003010
2041901004004000
2041901009001000
2041901009002000
2041901009003000
2041901009003010
Lightning Investments LLC
308 Memorial Dr.
Pittsburg, KS 66762-3026

2041901014001010
2041904003002000
Young Men's Christian Association of Pittsburg, KS
1100 N. Miles St.
Pittsburg, KS 66762-6901

2041901014001000
2041902001001000
2041903001001000
2041903002001000
2041904004001000
City of Pittsburg
PO Box 688
Pittsburg, KS 66762-0688

We hereby certify the following to be a true and correct list of property owners within a 200 foot radius of:

The North half lying East of Highway 69, West of Olive Street, South of 20th Street, North of 12th Street and Northwest of Memorial Drive, all in Section 19, Township 30 South, Range 25 East of the 6th Principal and Meridian, Crawford County, Kansas, according to the United States Government Survey thereof.

Also that part of vacated 15th Street and vacated Olive Street lying adjacent to said tract.

And that part of Lots 6, 7 and 8 in Block 12, lying Northwest of Memorial Drive in the Kansas & Texas Coal Co's 4th Addition to Pittsburg, Crawford County, Kansas, according to the recorded Plat thereof.

Security 1st Title LLC

By: Debra L. Engstrom
Debra L. Engstrom, Licensed Abstractor

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City of Pittsburg
Community Development

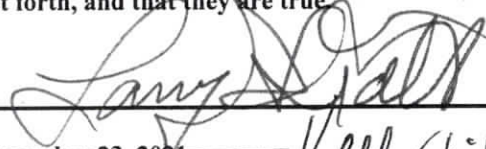
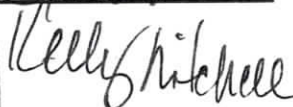
22-02: Variance - City of Pittsburg - 910 Memorial Drive

AFFIDAVIT OF PUBLICATION

STATE OF KANSAS, COUNTY OF CRAWFORD,
SS:

Larry Hiatt, of lawful age, being first duly sworn,
deposeth and saith, he/she is Legal Representative
of the Pittsburg Morning Sun.

A daily newspaper published in the City of
Pittsburg, Crawford County, Kansas, and not
a trade, religious, or fraternal publication,
and which newspaper has been entered as
second-class mail matter in the United States
Post Office, Pittsburg, Kansas. The Pittsburg
Morning Sun has been continuously and
uninterruptedly published daily for more
than fifty weeks a year and has been so
published for more than one year prior to
the first publication of the notice hereinafter
mentioned. A copy of that notice, is hereto
attached, and was published in the regular
and entire edition December 22, 2021 issue of said
Pittsburg Morning Sun. Affiant further says that
he has personal knowledge of the statements above
set forth, and that they are true.


December 23, 2021
Kelly Mitchell
Notary Public
State of Kansas
My Appt Exp: 11/1/2025

Notary Public

My Commission Expires:

Printer's Fee:

(Published in The Pittsburg Morning Sun
on Thursday, December 22nd, 2021)

Public Notice

Date: December 21, 2021

Planning Commission/Board of Zoning Appeals

Notice of Public Hearing

The Planning Commission/Board of Zoning Appeals of
the City of Pittsburg, KS, will hold a Public Hearing on
January 24, 2022 at 5:30 pm, in the Municipal Court
Room of the Law Enforcement Center, 201 N Pine, to
consider a Petition for a Variance at 910 Memorial Drive.
The property is described as: The North half lying East of
Highway 69, West of Olive Street, South of 20th Street,
North of 12th Street and Northwest of Memorial Drive, all
in Section 19, Township 30 South, Range 25 East of the
6th Principal and Meridian, Crawford County, Kansas,
according to the United States Government Survey
thereof. Also that part of vacated 15th Street and vacated
Olive Street lying adjacent to said tract. And that part of
Lots 6, 7, and 8 in Block 12, lying Northwest of Memorial
Drive in the Kansas & Texas Coal Co's 4th Addition to
Pittsburg, Crawford County, Kansas, according to the
recorded Plat thereof.

Dated this December 21, 2021.

Planning Commission/Board of Zoning Appeals

ATTEST:

Dexter Neisler

Zoning Administrator

Citizens with disabilities needing accommodations in
order to attend this Public Hearing should contact the
City Zoning Administrator's Office at 620-230-5517 no
later than 48 hours prior to the scheduled public hearing.

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JAN 14 2022

**City of Pittsburg
Community Development**

Tasks Report

22-02: Variance - City of Pittsburgh - 910 Memorial Drive — City of Pittsburgh

Generated: 20 Jan 2022 09:15



22-02: Variance - City of Pittsburgh - 910 Memorial Drive - P&Z Administrative Tasks

Active Tasks

Task	Start Date	Due Date	Responsible	Created By	Priority	Progress	Status
Prepare City Commission Agenda Item			DeAnna G.	DeAnna G.		0%	(Not started)
Send Applicant Letter			DeAnna G.	DeAnna G.		0%	(Not started)
Upload Approved Minutes			DeAnna G.	DeAnna G.		0%	(Not started)

Completed Tasks

Task	Start Date	Due Date	Responsible	Created By	Priority	Progress	Status
Completed Application Received			DeAnna G.	DeAnna G.		100%	Completed 12/21/2021 by DeAnna G.
Newspaper Publication			DeAnna G.	DeAnna G.		100%	Completed 12/21/2021 by DeAnna G.
Notice to Property Owners			DeAnna G.	DeAnna G.		100%	Completed 12/22/2021 by DeAnna G.
Notice to Utility Companies			DeAnna G.	DeAnna G.		100%	Completed 12/22/2021 by DeAnna G.
Assigned Meeting Date			DeAnna G.	DeAnna G.		100%	Completed 12/22/2021 by DeAnna G.
Distribute Packets			DeAnna G.	DeAnna G.		100%	Completed 01/20/2022 by DeAnna G.

VARIANCE APPLICATION
TO
THE DISTRICT ZONING REGULATIONS
BOARD OF ZONING APPEALS

FOR OFFICIAL USE ONLY

1. Case No. 22-03
2. Date Filed 12/7/2021
3. Date Fee Paid 12/7/2021
4. Date of Hearing 1/24/2022
5. Date Published 12/22/2022

(TO BE COMPLETED BY THE APPLICANT)

1. Applicant's Name Matthew W. + Ashley R. Sullivan
2. Applicant's Address 1515 E. 14th Pittsburg KS Phone 620-687-4580
3. Address of Property Affected 1515 E. 14th Pittsburg KS
4. Legal Description of Property The East (75) feet of Lot Number (10) in Block Number (4) in Belle Plaine Second Addition Filing,
5. Applicant's Interest in the Property To build a Garage. Lot Size 75' x 239'.
6. Nature of variance requested Instead of 900 square feet would like to build 1,200 square feet.
7. Attach a sketch of the proposed variance.

11/24/2021

(Date)


(Signature of Applicant)

(DO NOT WRITE IN THIS SPACE)

BOARD OF ZONING APPEALS

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DEC 07 2021

City of Pittsburg
Community Development

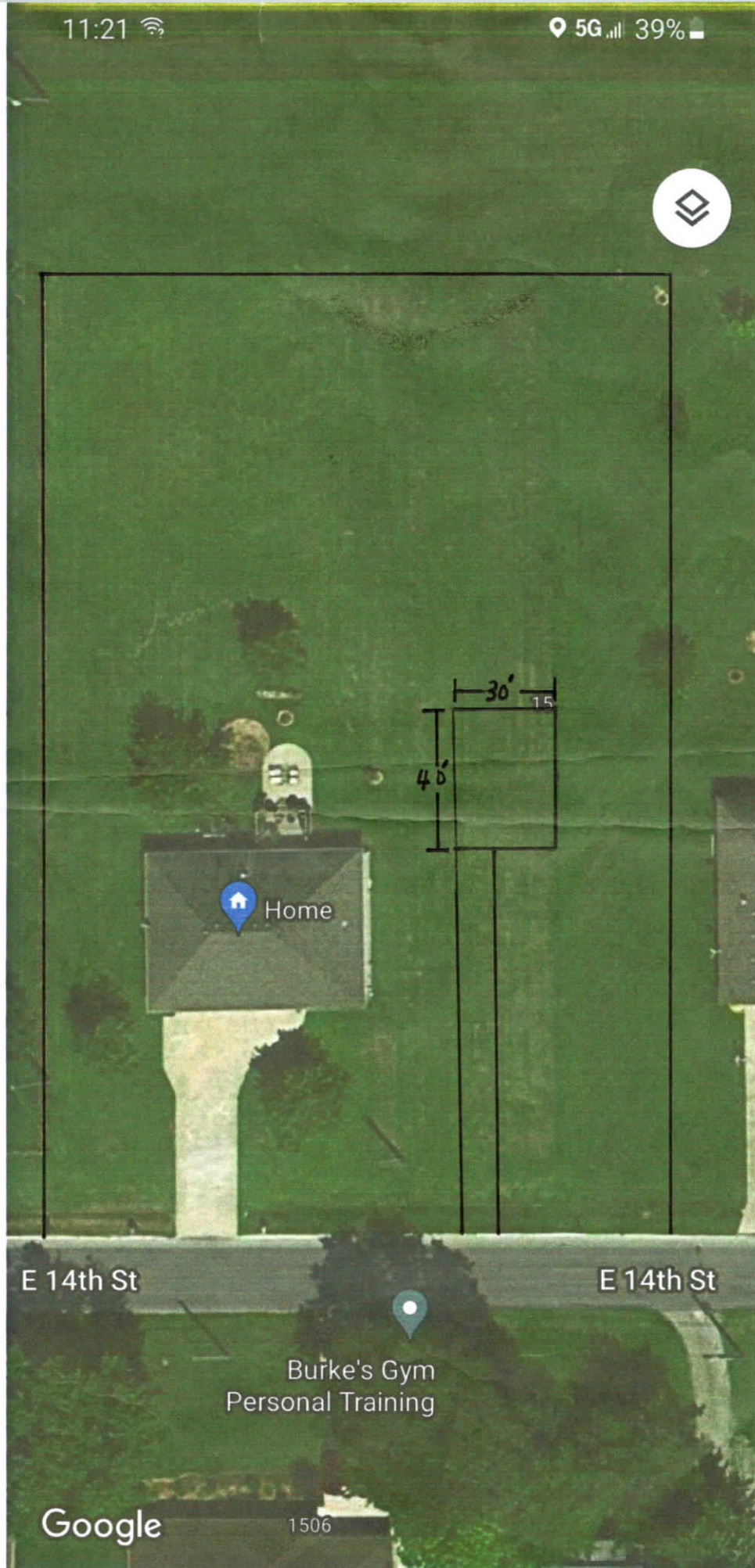
1. Action by the Board. (Approve, Disapprove)

2. Restrictions Imposed: _____

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DEC 07 2021

City of Pittsburgh
Community Development



RECEIVED

DEC 07 2021

City of Pittsburg
Community Development

(THIS FORM MUST BE FILLED OUT TO ACCOMPANY ALL ARIANCE APPLICATIONS MADE TO THE BOARD OF ZONING APPEALS AND ALL REZONING AND CONDITIONAL USE APPLICATIONS MADE TO THE PLANNING AND ZONING COMISSION and ALL CITYS)

Prepared for: Gary Edwards

The following are the names and addresses of all persons owning property within 200 feet of the outside boundary of the property for which the request is being made:

Tract I: The West One Hundred (100) feet of Lot Number Ten (10) in Block Number Four (4) in Belleplaine Second Addition Filing, an addition to Pittsburg, Crawford County, Kansas, according to the recorded Plat thereof.

Tract II: The East Seventy Five (75) feet of Lot Number Ten (10) in Block Number Four (4) in Belleplaine Second Addition Filing, an addition to Pittsburg, Crawford County, Kansas, according to the recorded Plat thereof.

Gary R. & Lori L. Edwards	4057 Parkview Dr. Frontenac, KS 66763
Romesh & Jennifer Navaratnam	1531 E. 14 th St. Pittsburg, KS 66762
Bradley & Amanda Tune	1519 E. 14 th St. Pittsburg, KS 66762
Matthew W. Sullivan	1515 E. 14 th St. Pittsburg, KS 66762
Russell & Barbara Taylor	1502 E. 16 th St. Pittsburg, KS 66762
Eric Stockebrand	1419 E. 14 th St. Pittsburg, KS 66762
Daniel Hawn & Tina Lackamp	1501 E. 14 th St. Pittsburg, KS 66762
Tracy Noel & Lashawn Noel etal	1309 Lakewood Pittsburg, KS 66762
Trent Becker & William Holloway	1307 Lakewood Dr. Pittsburg, KS 66762
Leo Large St & Margaret L. Large	1003 W. 2 nd St. Pittsburg, KS 66762
Randall G & Gina R. Burke	1506 E. 14 th St. Pittsburg, KS 66762
Kathryn M. Campbell	1502 E. 14 th St. Pittsburg, KS 66762
Kyle & Denis Herron	1408 E. 14 th St. Pittsburg, KS 66762

Done at Girard, Kansas this 21st day of October, 2021.

THE CRAWFORD COUNTY ABSTRACT COMPANY, INC.

By David J. Saia
David J. Saia, President

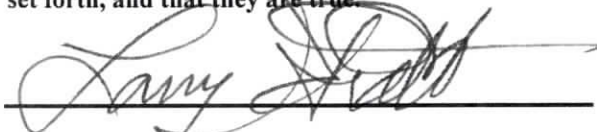
22-03: Variance-Sullivan
1515 E 14th

AFFIDAVIT OF PUBLICATION

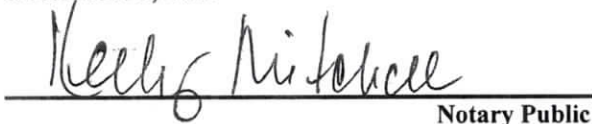
STATE OF KANSAS, COUNTY OF CRAWFORD,
SS:

Larry Hiatt, of lawful age, being first duly sworn,
deposeeth and saith, he/she is Legal Representative
of the Pittsburg Morning Sun.

A daily newspaper published in the City of
Pittsburg, Crawford County, Kansas, and not
a trade, religious, or fraternal publication,
and which newspaper has been entered as
second-class mail matter in the United States
Post Office, Pittsburg, Kansas. The Pittsburg
Morning Sun has been continuously and
uninterruptedly published daily for more
than fifty weeks a year and has been so
published for more than one year prior to
the first publication of the notice hereinafter
mentioned. A copy of that notice, is hereto
attached, and was published in the regular
and entire edition December 23, 2021 issue of said
Pittsburg Morning Sun. Affiant further says that
he has personal knowledge of the statements above
set forth, and that they are true.

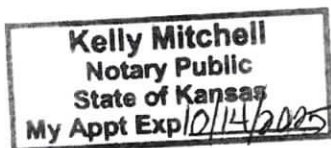


December 23, 2021


Notary Public

My Commission Expires:

Printer's Fee:



(Published in The Pittsburg Morning Sun
on Thursday, December 23rd, 2021)

Public Notice

Date: December 20, 2021

Planning Commission/Board of Zoning Appeals

Notice of Public Hearing

The Planning Commission/Board of Zoning Appeals of
the City of Pittsburg, KS, will hold a Public Hearing on
January 24, 2022 at 5:30, in the Municipal Court Room
of the Law Enforcement Center, 201 N Pine, to consider
a Petition for a Variance at 1515 E 14th. The property is
described as: The West One Hundred (100) feet of Lot
Number Ten (10) in Block Number Four (4) in Belleplaine
Second Addition Filing, an addition to Pittsburg, Crawford
County, Kansas, according to the recorded Plat thereof.
AND The East Seventy Five (75) feet of Lot Number Ten
(10) in Block Number Four (4) in Belleplaine Second
Addition Filing, an addition to Pittsburg, Crawford
County, Kansas, according to the recorded Plat thereof.
Dated this December 22, 2021.

Planning Commission/Board of Zoning Appeals

ATTEST:

Dexter Neisler

Zoning Administrator

Citizens with disabilities needing accommodations in
order to attend this Public Hearing should contact the
City Zoning Administrator's Office at 620-230-5517 no
later than 48 hours prior to the scheduled public hearing.

RECEIVED

JAN 14 2022

City of Pittsburg
Community Development

Tasks Report

22-03: Variance - Sullivan - 1515 E 14th — City of Pittsburgh



Generated: 20 Jan 2022 09:17

22-03: Variance - Sullivan - 1515 E 14th - P&Z Administrative Tasks

Active Tasks

Task	Start Date	Due Date	Responsible	Created By	Priority	Progress	Status
Prepare City Commission Agenda Item			DeAnna G.	DeAnna G.		0%	(Not started)
Send Applicant Letter			DeAnna G.	DeAnna G.		0%	(Not started)
Upload Approved Minutes			DeAnna G.	DeAnna G.		0%	(Not started)

Completed Tasks

Task	Start Date	Due Date	Responsible	Created By	Priority	Progress	Status
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Newspaper Publication			DeAnna G.	DeAnna G.		100%	Completed 12/20/2021 by DeAnna G.
Notice to Property Owners			DeAnna G.	DeAnna G.		100%	Completed 12/20/2021 by DeAnna G.
Notice to Utility Companies			DeAnna G.	DeAnna G.		100%	Completed 12/20/2021 by DeAnna G.
Assigned Meeting Date			DeAnna G.	DeAnna G.		100%	Completed 12/20/2021 by DeAnna G.
Distribute Packets			DeAnna G.	DeAnna G.		100%	Completed 01/20/2022 by DeAnna G.

APPLICATION FOR CONDITIONAL USE
PLANNING AND ZONING COMMISSION

FOR OFFICIAL USE ONLY

1. Case No. 22-04
2. Date Filed 12/13/21
3. Date Fee Paid _____
4. Date of Hearing 1/24/22
5. Date Published 12/22/22

(TO BE COMPLETED BY THE APPLICANT)

1. Applicant's Name Jose Maria Ribera
2. Applicant's Address 912 E. 4th Phone 8164199928
3. Address of Property Affected 205 W 20th
4. Legal Description of Property ~~Building + carport - need~~
deed
K3T Coal Co. 4th Addition, Block 2, Lot 3
5. Applicant's Interest in the Property ~~Church~~ own it. 0651-0144
6. Zoning of Property R-1C
7. Desired Use of Property Church
8. Description of Plans Submitted (Plot Plan, Elevations, Etc.) renovating a
house for use of a church.
9. I hereby certify that if the Conditional Use is granted, I will complete construction in accordance with plans submitted and approved by the Planning and Zoning Commission.

10/10/2021
(Date)


(Signature of Applicant)

(DO NOT WRITE IN THIS SPACE)

PLANNING AND ZONING COMMISSION

1. Action by the Planning and Zoning Commission. (Approve, Disapprove)
2. Restrictions Imposed: _____



DEC 13 2021

City of Pittsburg
Community Development

(THIS FORM MUST BE FILLED OUT TO ACCOMPANY ALL ARIANCE APPLICATIONS MADE TO THE BOARD OF ZONING APPEALS AND ALL REZONING AND CONDITIONAL USE APPLICATIONS MADE TO THE PLANNING AND ZONING COMISSION and ALL CITYS)

Prepared for: Jose Maria Ribera

The following are the names and addresses of all persons owning property within 200 feet of the outside boundary of the property for which the request is being made:

Lot Number Three (3) in Block Number Two (2) in the Kansas and Texas Coal Company's 4th Addition to Pittsburg, Crawford County, Kansas, according to the recorded Plat thereof.

Leyva Fidel & Martha Rodriguez	126 W. 20 th St. Pittsburg, KS 66762
TKO Enterprises, LLC	122 W. 20 th St. Pittsburg, KS 66762
Todd J. Madl	120 W. 20 th St. Pittsburg, KS 66762
Cathy D. Sanders	116 W. 20 th St. Pittsburg, KS 66762
Eva Weir	610 E. 10 th St. Pittsburg, KS 66762
Kenneth Stotts Trust	316 Wickware Dr. Rm 24 Frontenac, KS 66763
Timothy Palmer & Joseph Beard	1802 Briar Dr. Webb City, MO 64870
Thomas & Deanna Loughmiller	511 Pearl St. Pittsburg, KS 66762
YZ Ranch LLC	P.O Box 1159 Deerfield, IL 60015
Shawn D. Owen	201 W. 20 th St. Pittsburg, KS 66762
Dario & Leonarda Torres	207 W. 20 th St. Pittsburg, KS 66762
Wilmington Savings Fund Society	1600 Douglas Rd Ste 200-A Anaheim CA 92806
Kevin & Amy Hall	862 S. 200 th Pittsburg, KS 66762
Salas Eladia & Pedro Hernandez	524 E. 21 st St. Pittsburg, KS 66762
Glenn Clark	212 W. 19 th St. Pittsburg, KS 66762
Robert Caruso	524 E. 25 th St. Pittsburg, KS 66762
Thomas & Linda Pollom	206 W. 19 th St. Pittsburg, KS 66762
Gerson & Marie G Bocanegra	204 & 202 W. 19 th St. Pittsburg, KS 66762

Done at Girard, Kansas this 18th day of October, 2021.

THE CRAWFORD COUNTY ABSTRACT COMPANY, INC.

By _____
David J. Saia, President

Please remit to:
Crawford County Abstract Company, Inc.
106 W. Forest
Girard, KS 66743

Phone: (620) 724-6148 Fax (620) 724-6140
Pittsburg Customers: (620) 231-0870
Email Address: cca1@ckt.net

Billed to:

Jose Maria Ribera
205 W. 20th St.
Pittsburg, KS 66762
816-419-9928

Amount Due: **\$180.00**

Paid

David J. Luis

Date: 10/21/21

200 foot search
Properties (18)

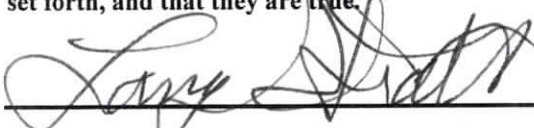
22-04: Conditional Use Permit
Ribur - 205 W 20th

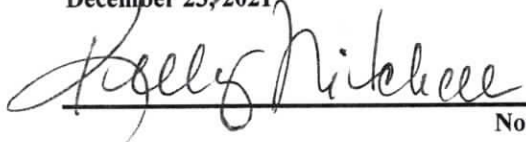
AFFIDAVIT OF PUBLICATION

STATE OF KANSAS, COUNTY OF CRAWFORD,
SS:

Larry Hiatt, of lawful age, being first duly sworn,
depose and saith, he/she is Legal Representative
of the Pittsburg Morning Sun.

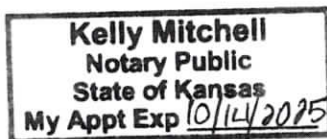
A daily newspaper published in the City of
Pittsburg, Crawford County, Kansas, and not
a trade, religious, or fraternal publication,
and which newspaper has been entered as
second-class mail matter in the United States
Post Office, Pittsburg, Kansas. The Pittsburg
Morning Sun has been continuously and
uninterruptedly published daily for more
than fifty weeks a year and has been so
published for more than one year prior to
the first publication of the notice hereinafter
mentioned. A copy of that notice, is hereto
attached, and was published in the regular
and entire edition December 23, 2021 issue of said
Pittsburg Morning Sun. Affiant further says that
he has personal knowledge of the statements above
set forth, and that they are true.


December 23, 2021


Notary Public

My Commission Expires:

Printer's Fee:



(Published in The Pittsburg Morning Sun
on Thursday, December 23rd, 2021)

Public Notice

Date: December 20, 2021

Planning Commission/Board of Zoning Appeals

Notice of Public Hearing

The Planning Commission/Board of Zoning Appeals of the
City of Pittsburg, KS, will hold a Public Hearing on January
24, 2022 at 5:30 pm, in the Municipal Court Room of the
Law Enforcement Center, 201 N Pine, to consider a Petition
for a Conditional Use Permit under the provisions of Article
30 of the Pittsburg Zoning Ordinance to allow a church at
205 W 20th. The property is described as: Lot Number
Three (3) in Block Number Two (2) in the Kansas and
Texas Coal Company's 4th Addition to Pittsburg, Crawford
County, Kansas, according to the recorded Plat thereof.
Dated this December 22, 2021.

Planning Commission/Board of Zoning Appeals

ATTEST:

Dexter Neisler

Zoning Administrator

Citizens with disabilities needing accommodations in
order to attend this Public Hearing should contact the
City Zoning Administrator's Office at 620-230-5517 no
later than 48 hours prior to the scheduled public hearing.

RECEIVED

JAN 14 2022

City of Pittsburg
Community Development

Tasks Report

22-04: Conditional Use - Ribera - 205 W 20th — City of Pittsburgh

Generated: 20 Jan 2022 09:18



22-04: Conditional Use - Ribera - 205 W 20th - P&Z Administrative Tasks

Active Tasks

Task	Start Date	Due Date	Responsible	Created By	Priority	Progress	Status
Prepare City Commission Agenda Item			DeAnna G.	DeAnna G.		0%	(Not started)
Send Applicant Letter			DeAnna G.	DeAnna G.		0%	(Not started)
Upload Approved Minutes			DeAnna G.	DeAnna G.		0%	(Not started)

Completed Tasks

Task	Start Date	Due Date	Responsible	Created By	Priority	Progress	Status
Completed Application Received			DeAnna G.	DeAnna G.		100%	Completed 12/20/2021 by DeAnna G.
Newspaper Publication			DeAnna G.	DeAnna G.		100%	Completed 12/20/2021 by DeAnna G.
Notice to Property Owners			DeAnna G.	DeAnna G.		100%	Completed 12/20/2021 by DeAnna G.
Notice to Utility Companies			DeAnna G.	DeAnna G.		100%	Completed 12/20/2021 by DeAnna G.
Assigned Meeting Date			DeAnna G.	DeAnna G.		100%	Completed 12/20/2021 by DeAnna G.
Distribute Packets			DeAnna G.	DeAnna G.		100%	Completed 01/20/2022 by DeAnna G.

RECEIVED



NOV 29 2021

Return Completed Application to:
Zoning Administrator
201 W 4th Street
Pittsburg, KS 66762

Case No.: 21-25
Date Filed: 11/29/21
Date Paid: No Charge
Publication Date: No Publication
PC/BZA Date: 12/20/21

Site Plan Application

Applicant's Information

Name: HORTON'S PIZZA PLUS, INC.
Address: 509 EAST HIGHWAY 160, FRONTENAC, KS.
Cell Phone: 620-249-3902 Email: hortonspizzaplus66763@live.com

Surveyor's Information

Name: CORNERSTONE REGIONAL SURVEYING, LLC
Address: 111 A W. 4th ST., PITTSBURGH, KS. 66762
Cell Phone: 620-235-1166 Email: r.zinn@cornerstone-rs.com

Architect's Information

Name: STUART OWSELEY, KS. #2092
Address: 106 BROOKVIEW RD., PITTSBURGH, KS 66762
Cell Phone: 620-875-9015 Email: soaarchitects@aol.com

Engineer's Information

Name: TBD
Address: _____
Phone: _____ Email: _____

Property Information

Current Land Use of Property:	Current Zoning of Property:
<input checked="" type="checkbox"/> Commercial	<input type="checkbox"/> CP-0 <input type="checkbox"/> CP-1 <input checked="" type="checkbox"/> CP-2 <input type="checkbox"/> CP-3 <input type="checkbox"/> CP-4
<input type="checkbox"/> Residential	<input type="checkbox"/> RP-3 <input type="checkbox"/> RP-4
<input type="checkbox"/> Industrial	<input type="checkbox"/> IP-1 <input type="checkbox"/> IP-2 <input type="checkbox"/> IP-3
<input type="checkbox"/> Vacant	<input type="checkbox"/> AP

Proposed Use of Property: C-STORE BUILDING
"REPLACEMENT PROJECT"

Legal Description of Property: ALL OF TRACT A IN COUNTRYSIDE
6th ADDITION to the CITY OF PITTSBURGH, KS.
CRAY/FORD COUNTY, KS. 1601 EAST 4th ST. (K-126)

NOV 29 2021

City of Pittsburgh
Community Development

Site Plan Checklist

In order to assure that proposed re-zonings to a "Planned" district and proposed uses requiring Conditional Use Permits meet the requirements of Article 23 of the Pittsburgh Zoning Ordinance and will be compatible with surrounding properties and uses, it is hereby required that all applications for one of the "Planned" districts, or a Conditional Use Permit, except those uses exempted in Section 23-101 of the Pittsburgh Zoning Ordinance, include a development plan, which must be approved as specified within Article 23 prior to any construction on the property. The development plan shall include and/or display the following information:

	Shown on Plan	Complies w/ Ordinance
Property site map drawn to a scale of 1"=20' or greater, indicating the legal description, property boundary, existing utilities and easements, and natural and man-made features of the property.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No
<ul style="list-style-type: none"> A certified topographic survey at no more than a 2-foot contour drawn to the same scale as the property site map shall be provided when either the Zoning Administrator or the City Engineer determines that development will substantially increase the runoff coefficient, alter the direction of drainage flow from the property, or might obstruct traffic visibility. 	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No
A development plan, drawn to the same scale as the property site map, indicating:		
<ul style="list-style-type: none"> Existing contours (shown as dashed lines) 	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No
<ul style="list-style-type: none"> Proposed contours (shown as solid lines) 	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No
<ul style="list-style-type: none"> Location and orientation of all existing and proposed buildings 	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No
<ul style="list-style-type: none"> Area to be used for parking, including the number and arrangement of stalls 	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No
<ul style="list-style-type: none"> Areas to be developed for screening, including the location of plant materials, screening structures, and features 	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No
<ul style="list-style-type: none"> Pedestrian and vehicular circulation and their relationship to existing streets, alleys, and public rights-of-way 	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No
<ul style="list-style-type: none"> Points of ingress and egress 	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No
<ul style="list-style-type: none"> Location of all existing and proposed utilities (sanitary sewage systems, water systems, storm drainage systems, gas lines, telephone lines, and electric power lines) 	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No
<ul style="list-style-type: none"> Drainage controls (detention-retention ponds, weirs, pooling areas) 	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No
<ul style="list-style-type: none"> Location, size, and characteristics of identification and business signs 	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No
<ul style="list-style-type: none"> Lighting layout, appurtenances, and intensity of illumination 	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No
<ul style="list-style-type: none"> Finished floor elevations of all buildings and structures 	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No
<ul style="list-style-type: none"> Landscaping in a CP-0, CP-1, CP-2, or CP-3 zone, including: <ul style="list-style-type: none"> Street yard planting 	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No
<ul style="list-style-type: none"> <ul style="list-style-type: none"> Landscape buffer 	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No
<ul style="list-style-type: none"> <ul style="list-style-type: none"> Parking lot landscaping 	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No

NOV 29 2021

City of Pittsburg
Community Development

Owner's Certification

I/we acknowledge the receipt of the instruction packet explaining the method of submitting this application. I/we realize that this application cannot be processed unless it is completed in its entirety, is accompanied by all required supporting documentation as required in the instruction packet, and is accompanied by the appropriate, non-refundable fee.

I/we further certify that the foregoing information is true and correct to the best of my/our knowledge. If my/our request is granted, I/we will complete construction in accordance with plans submitted and approved by the Planning Commission/Board of Zoning Appeals (PC/BZA).

I/we authorize unannounced inspections of the subject property by City staff for the purpose of collecting information to review and analyze this request. I/we acknowledge that the PC/BZA and the Governing Body of the City of Pittsburg, Kansas, shall have authority to impose such conditions as it deems necessary in order to serve the public interest and welfare.

Mike Horton President

Owner's Signature **MIKE HORTON, PRES.**

Date **Nov. 29th, 2021**

Jessie Gordon

Owner's Signature

11/29/21
Date

This application must bear the signature(s) of the property owner(s). If an authorized agent signs on the owner's behalf, the agent shall sign his own name and attach the Owner Authorization form to this application.

Office Use Only

Date Received: **11/29/21**

Date Reviewed: **12/20/21**

☐ Approved

☐ Denied

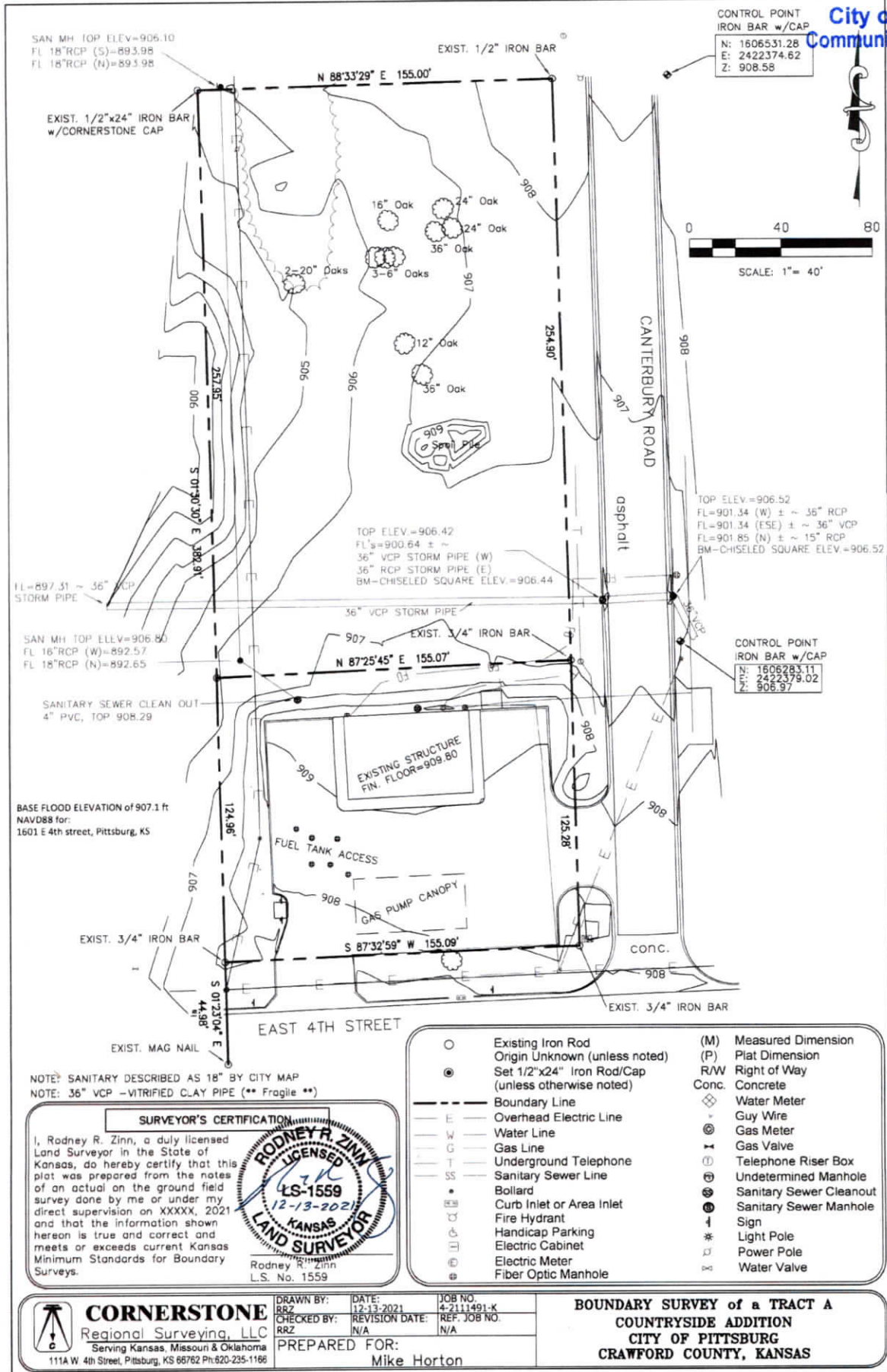
Conditions of Approval/Reasons for Denial

Signature of Zoning Administrator

(seal)

DEC. 14 2021

City of Pittsburg
Community Development



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NOV 29 2021

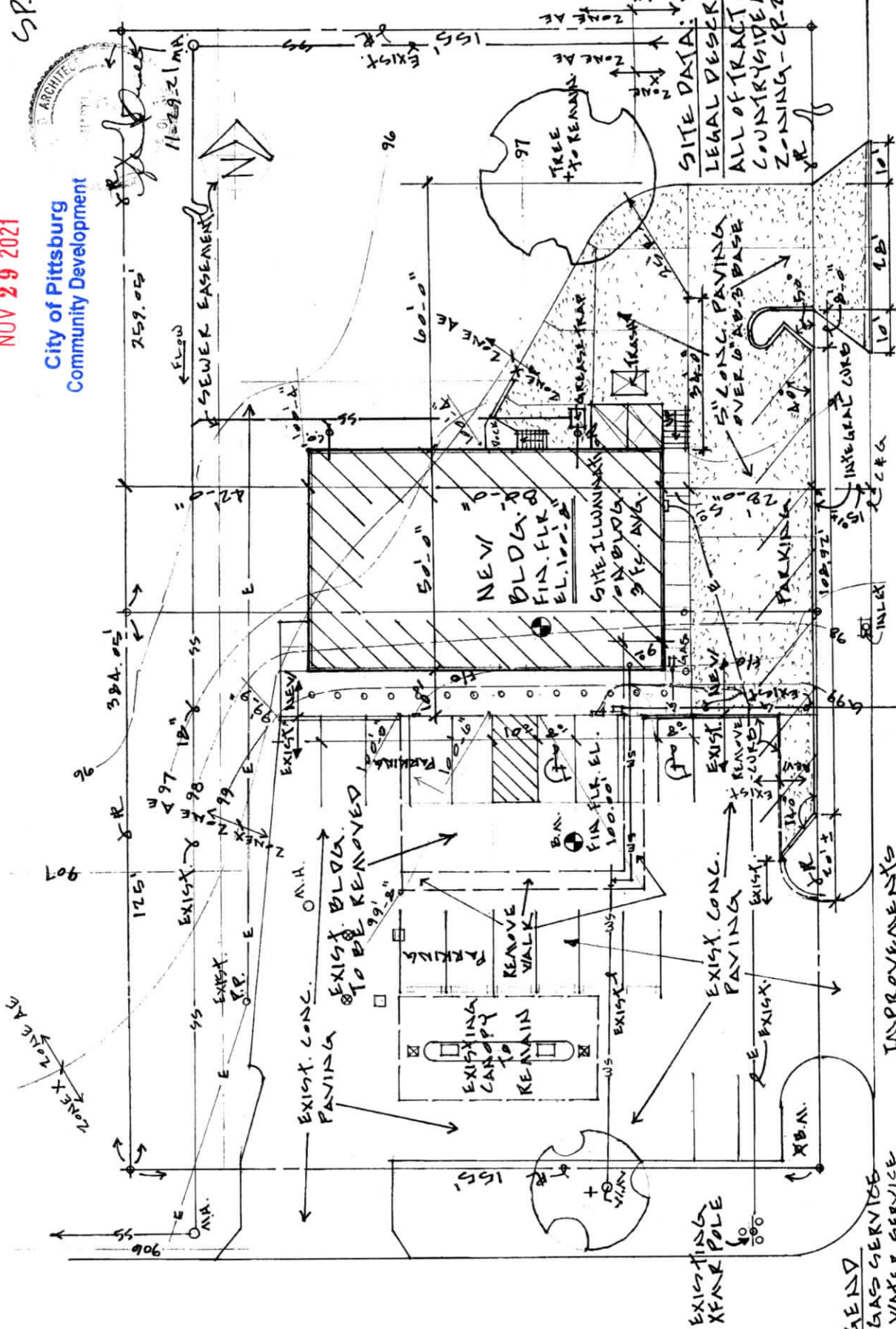
City of Pittsburgh
Community Development

SP-1a

Replacement Building for Horton's Pizza Plus, Inc., 1601 East 4th St. Pittsburgh, KS



W. R. Burlingame Construction
Stuart Owsley, Architect KS # 2092



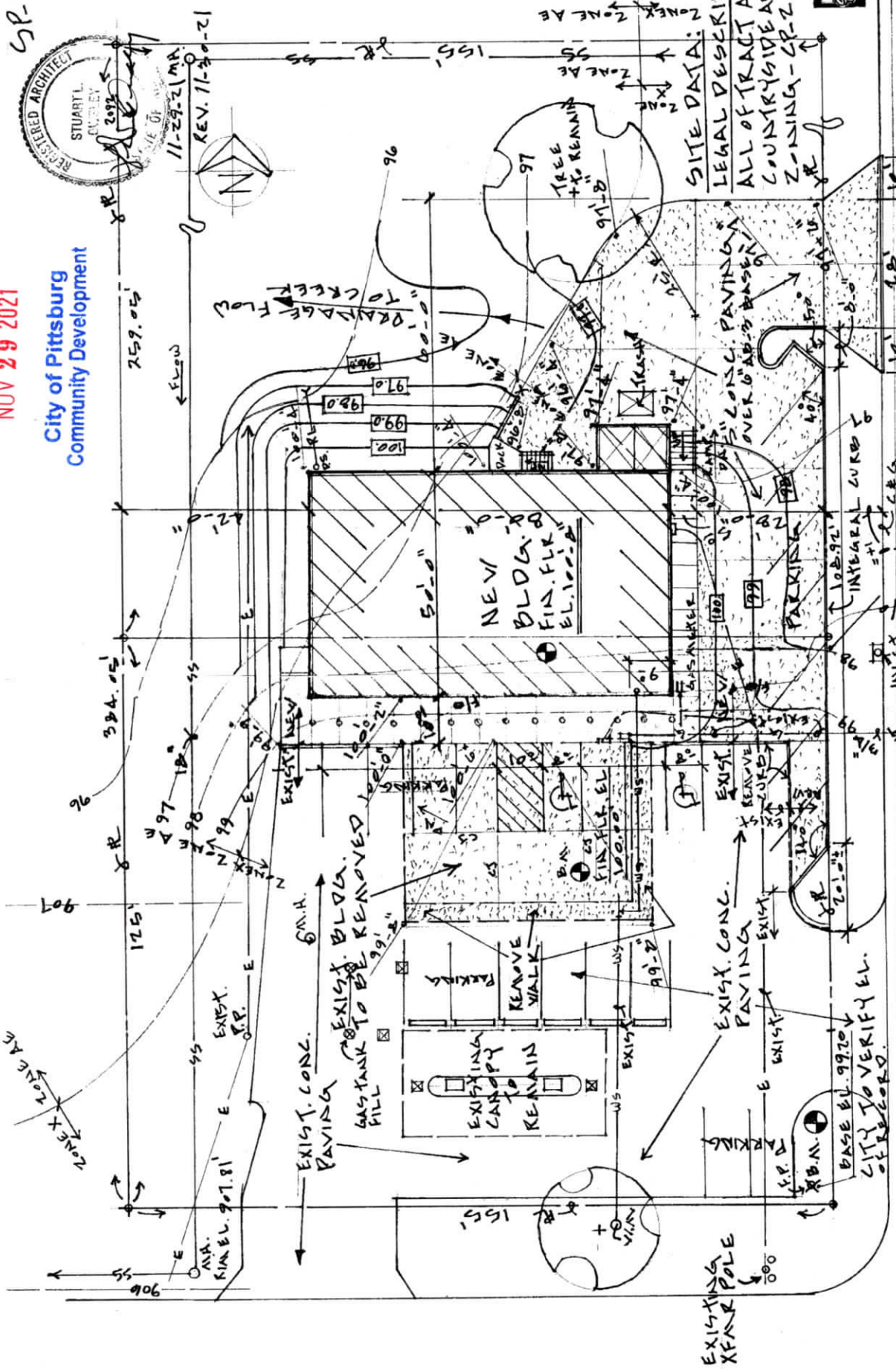
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NOV 29 2021

City of Pittsburgh
Community Development



Replacement Building for Horton's Pizza Plus, Inc., 1601 East 4th St. Pittsburgh, KS



Site Plan GRADING WORK
CONDITIONAL
11-29-21

TOTAL PARKING-23
ACCESSIBLE-2

W. R. Burlingame Construction
Stuart Owsley, Architect KS # 2092

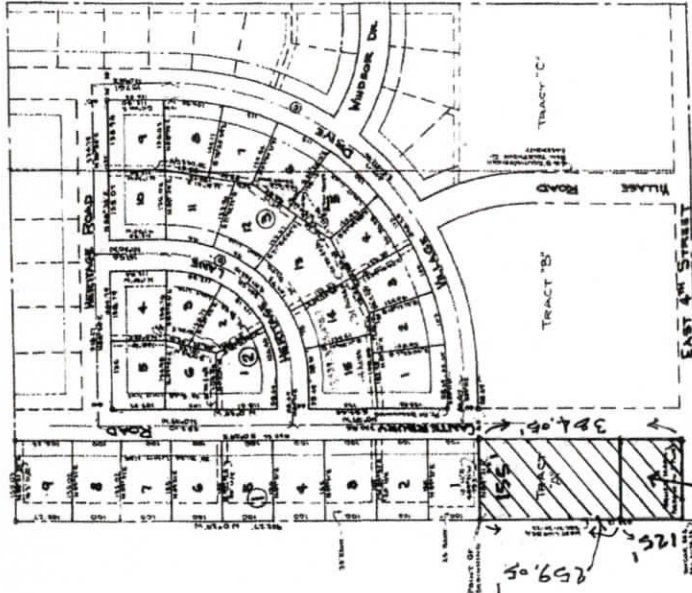
RECEIVED

NOV 29 2021

City of Pittsburg
Community Development

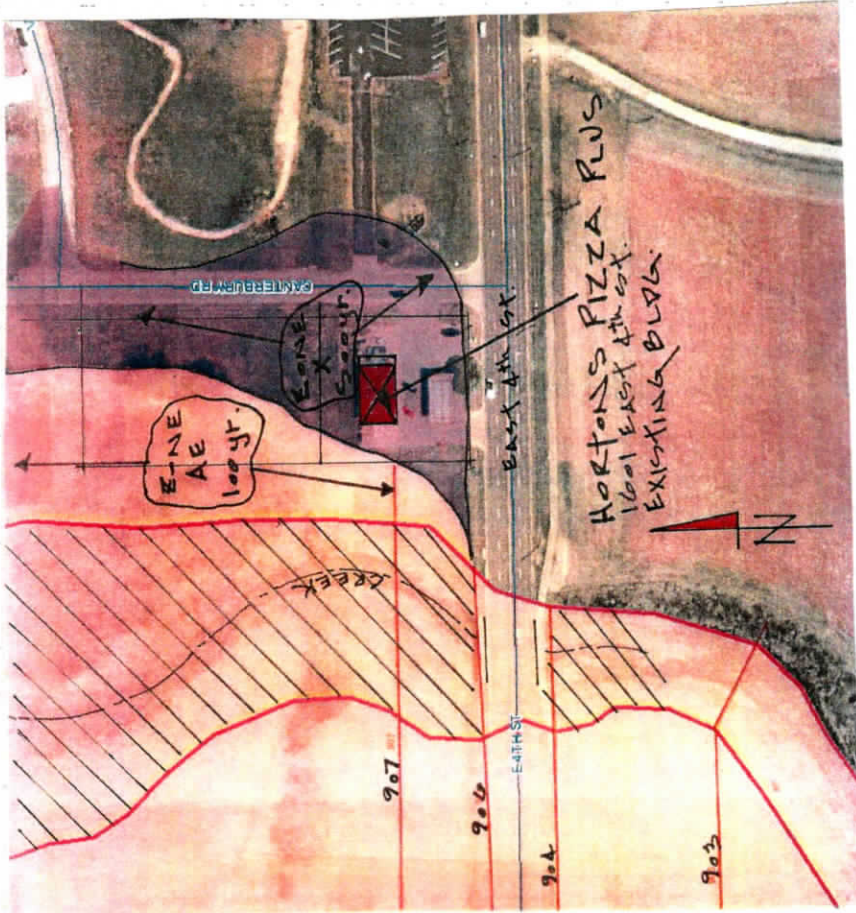
Replacement Building for Horton's Pizza Plus, Inc., 1601 East 4th St. Pittsburg, KS

COUNTRYSIDE 6TH ADDITION

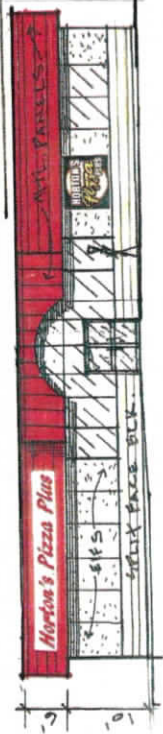


Horton's Property E-101-CP-2
1601 E. 4th

N
VICINITY MAP



FLOOD ZONE MAP



NEW BLDG. CONCEPTUAL
ELEVATION

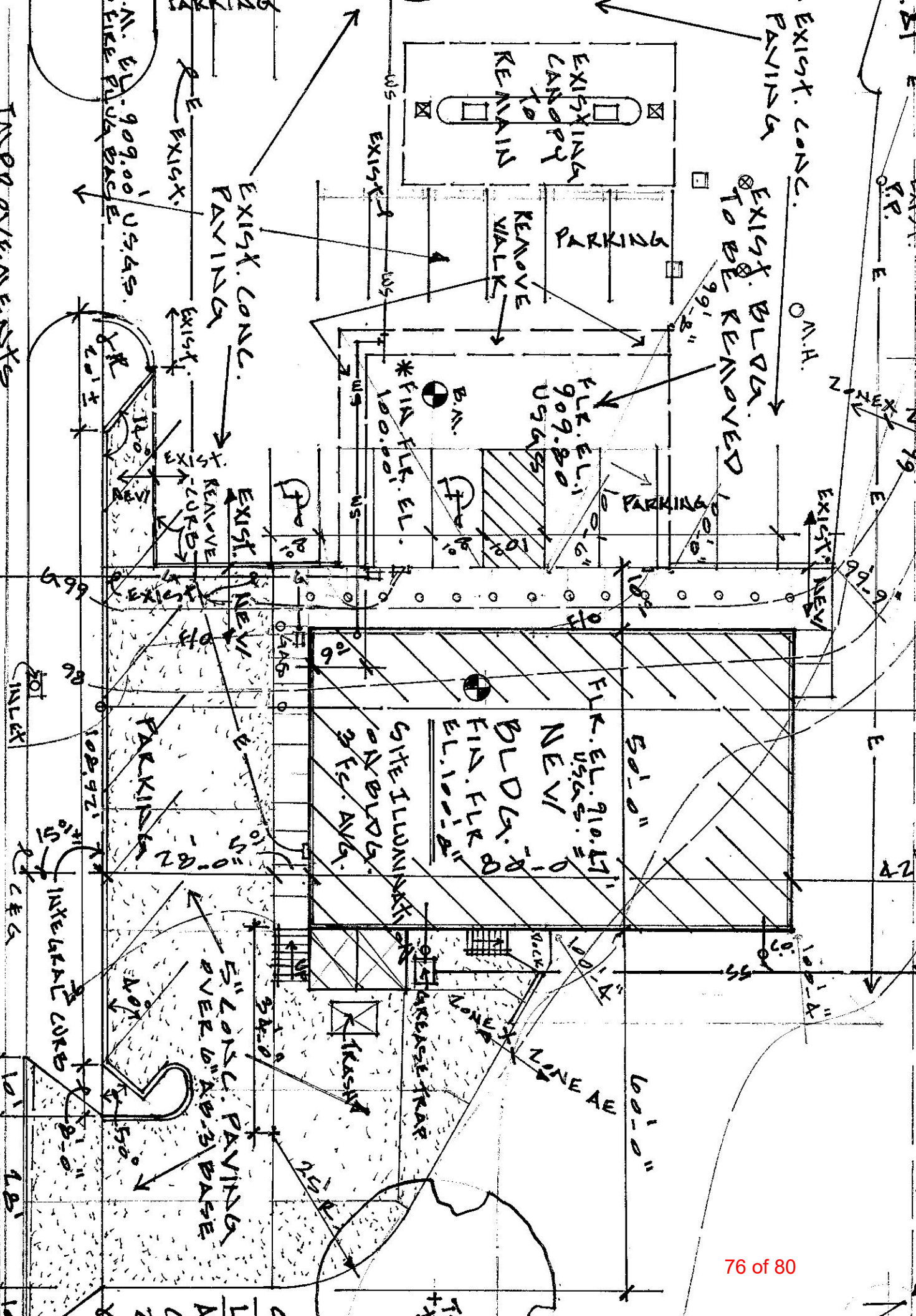
Plan
= 20' 0" = 20' 0"

IMPROVEMENTS
CONDITIONAL
11-29-21

CHAPTER BOOK ROAD

TOTAL PARKING-23
ACCESSIBLE-2

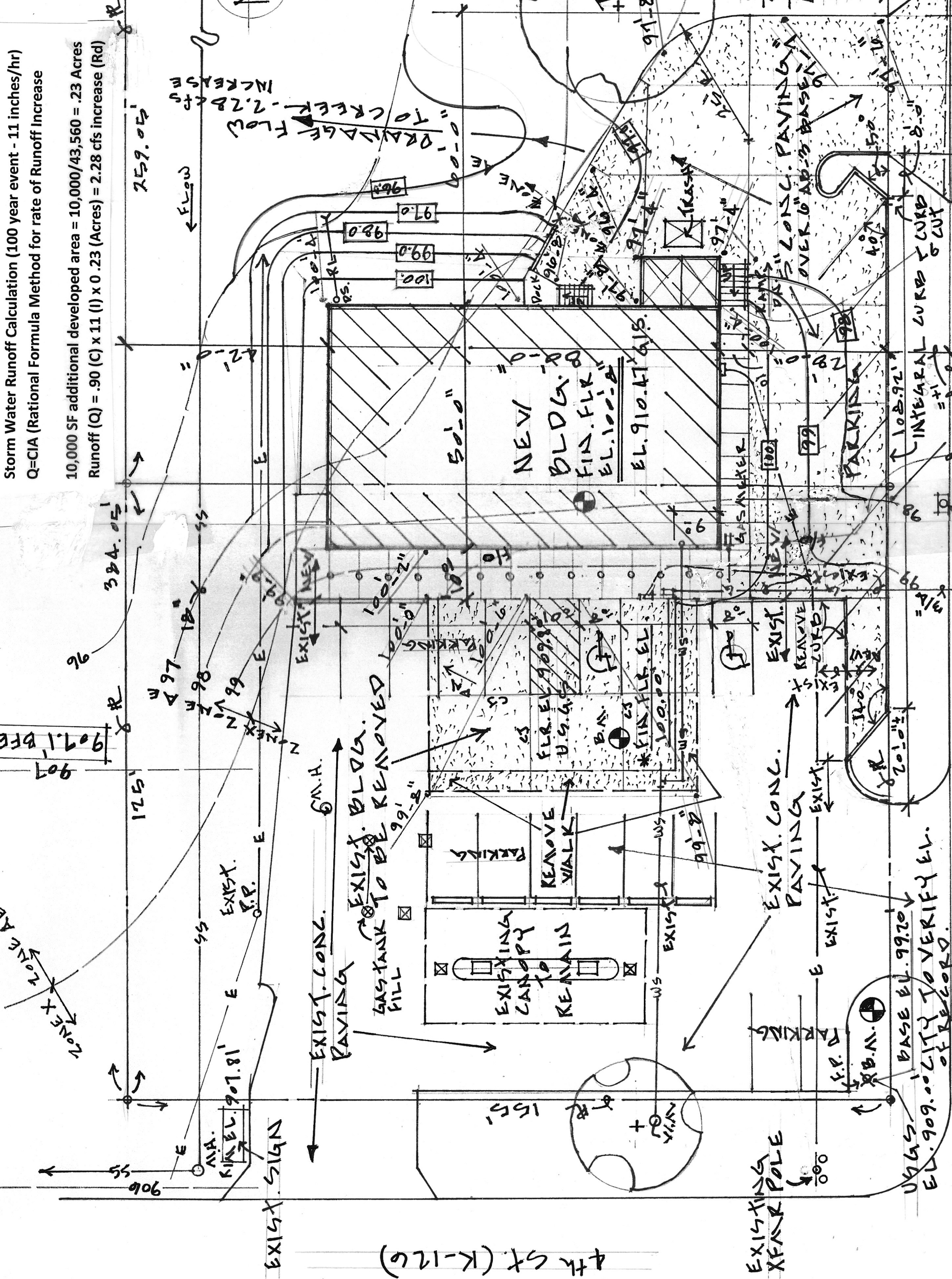
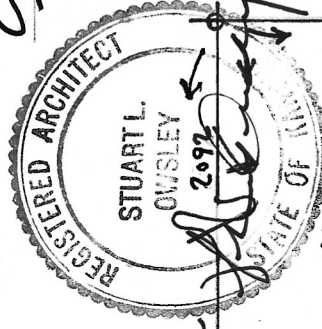
W. R. E.
Stuart C.



Storm Water Runoff Calculation (100 year event - 11 inches/hr)
Q=CIA (Rational Formula Method for rate of Runoff Increase

10,000 SF additional developed area = 10,000/43,560 = .23 Acres
Runoff (Q) = .90 (C) x 11 (I) x 0.23 (Acres) = 2.28 cfs increase (Rd)

SP-1b



SITE DATA:
LEGAL DESCRIPTION:
ALL OF TRACT A
COUNTY DEED
ZONING - GP-2

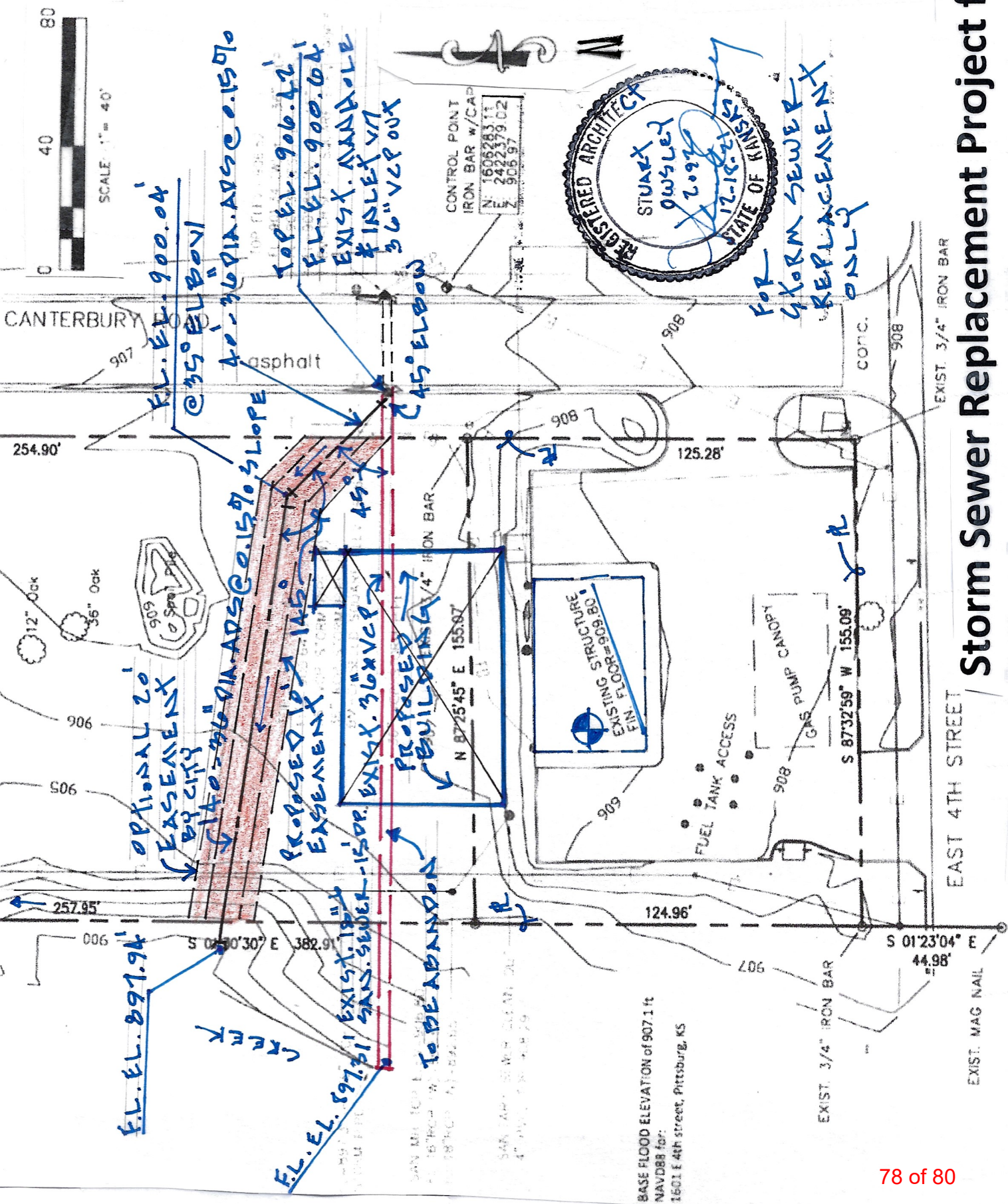


W. R. Burlingame Construction
Stuart Owsley, Architect KS # 2092

TOTAL PARKING - 23
ACCESSIBLE - 2

CANTERBURY ROAD

Site Plan GRADING WORK
Scale: 1" = 20'-0"
CONDITIONAL
11-29-21



Stuart Owsley, Architect, 106 Brookview Rd., Pittsburg, KS. e-mail: soarchitects@aol.com Cell: 620-875-9015

Storm Sewer Replacement Project for

Horton's Pizza Plus, Inc. 1601 East 4th Street, Pittsburg, Kansas

DIVISION 2 SITEWORK (Storm Sewer Piping for Horton's Pizza Plus Site)

All work shall comply with adopted City of Pittsburg storm water management requirements and ordinances.

- a) Storm sewer piping (STS) shall be 36 inch diameter x 20 foot long ADS Dual Wall N-12 high-density polyethylene (HDPE) solid pipe or ADS HP Storm Pipe sections with corrugated exterior and smooth interior, and plain end for gasketed bell and spigot joint design; or Reinforced Concrete Pipe (RCP) sections with grouted joints.
- b) Trench installed pipe sections with Class C granular embedment material both 4" below and 8" above pipe. Install pipe with uniform slope elevation at flow line as indicated on the drawings.
- c) HDPE Storm Sewer Piping system shall be installed complete with all pipe fittings, elbow bends, couplings and corrugated pipe adapters as required. Connection to existing manhole shall have grouted waterstop connection, flexible boot connection or pre-cast compression gasket connection with manhole adapter.
- d) Backfill trench with compacted native soil free of rocks, debris and vegetation.

Tasks Report

21-25: Site Plan - 1601 E 4th - Horton's Pizza — City of Pittsburgh

Generated: 20 Jan 2022 09:20



P&Z Administrative Tasks

Active Tasks

Task	Start Date	Due Date	Responsible	Created By	Priority	Progress	Status
Prepare City Commission Agenda Item			DeAnna G.	DeAnna G.		0%	(Not started)
Send Applicant Letter			DeAnna G.	DeAnna G.		0%	(Not started)
Upload Approved Minutes			DeAnna G.	DeAnna G.		0%	(Not started)

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